

DESIGN REVIEW BOARD

Monday, October 3, 2022

7:30 p.m.

Virtual Meeting using Zoom

Meeting ID: 845-1987-6965

(Instructions for accessing below)

Under Governor Baker's Act "Extending Certain COVID-10 Measures Adopted During the State of Emergency", extending the "Executive Order Suspending Certain Provisions of the Open Meeting Law G.L. c. 30A, S20," issued June 16, 2021, and in effect until April 1, 2022, and extended again through July 15, 2022 meeting of public bodies may be conducted virtually provided that adequate access is provided to the public. On July 16, 2022 Lt. Gov. Karyn Polito, as acting governor, signed legislation to extend key pandemic-era accommodations, including remote local government meeting authorizations, through March 31, 2023 effective immediately.

To view and participate in this virtual meeting on your phone, download the "Zoom Cloud Meetings" app in any app store or at www.zoom.us. At the above date and time, click on "Join a Meeting" and enter the following Meeting ID: 845-1987-6965 Link: <https://us02web.zoom.us/j/84519876965>

To view and participate in this virtual meeting on your computer, at the above date and time, go to www.zoom.us click "Join a Meeting" and enter the following ID: 845-1987-6965

APPLICANTS:

Marie Mercier, Sign Design representing M&T Bank located at 827 Highland Avenue and applying for signage.

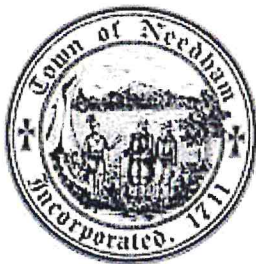
Rick DeAngelis, Boston Properties located at 140 Kendrick Street and applying for site plan review of a solar garage roof.

Pam Jagiello, Signs by J representing the Sheraton Hotel located at 100 Cabot Street and applying for signage.

REVIEW

No minutes to review.

Next Public Meeting – October 17, 2022 at 7:30pm via Zoom Webinar



TOWN OF NEEDHAM

DESIGN REVIEW BOARD

Public Service Administration Building
500 Dedham Avenue
Needham, MA 02492
Application and Report

Property Location: 827 Highland Ave Date: 9/23/22

Owner: Allred Capital Properties

Address: 1308 Beacon St Ste 109 Brookline Ma 02446
Street City State Zip

Telephone: 617-232-7777

Applicant: Sign Design Inc

Address: 170 Liberty St. Brockton Ma 02301
Street City State Zip

Telephone: 508-580-0094

Designer/Installer: Sign Design Inc - Marie Mercier

Address: 170 Liberty St. Brockton Ma 02301
Street City State Zip

Telephone: 508-580-0094

Type of Application
☒ Sign
☐ Minor Project
☐ Exterior Alterations
Major Project (Site Plan Review)
☐ - preliminary
☐ - final
☐ Flexible Subdivision
☐ Planned Residential Development
☐ Residential Compound

Brief description of sign or project:

Bank has a name change and Rebrand -
Looking to Replace Main entrance sign

Please email completed application to elitchman@needhamma.gov



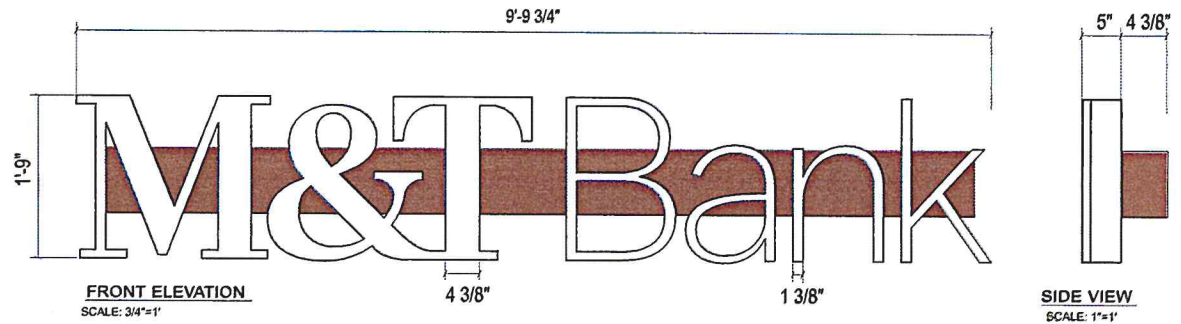
EXISTING: 1'-2" X 16'-3"

19.0 SF



PROPOSED

17.16 SF



1a FACE LIT CHANNEL LETTERS ON RACEWAY
SCALE: 3/4"=1'-0"

SQ. FT: 17.16

FINISHES

- WHITE ACRYLIC FACE
- RACEWAY COLOR TO MATCH BRICK FACADE

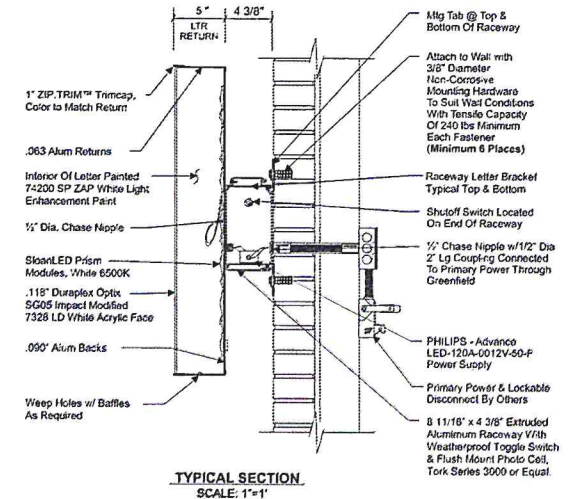


image one

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215.826.0880

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SHEET #	CLIENT	BY	DESCRIPTION	REV./DATE/DESCRIPTION	BY	DATE	BY	SHEET #
002-00	M&T Bank	WA	INITIAL BRANDING	1/20/2011	WA			2
002-01								
002-02								
002-03								
002-04								
002-05								
002-06								
002-07								
002-08								
002-09								
002-10								

LOCAL BUSINESS SIGNAGE



141887

Version 01
09-23-22

Imageone Industries

M & T Bank
827 Highland Ave
Needham, MA



170 Liberty Street
Brockton, MA 02301
508-580-0094

SALES REPRESENTATIVE

Wiley Knight

INTERNAL PROJECT MANAGER

Marie Mercier

FIELD MANAGER

Shaun White

ACCOUNT COORDINATOR

Laurie Kalivas

DESIGNER

CW

SCALE NONE

SHEET
01 of 01

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TOWN OF NEEDHAM

DESIGN REVIEW BOARD

Public Service Administration Building
500 Dedham Avenue
Needham, MA 02492
Application and Report

Property Location: 140 Kendrick Street Date: August 16, 2022

Owner: BP 140 Kendrick Street LLC c/o Boston Properties

Address: Suite 1900, 800 Boylston Street Boston MA 02199
Street City State Zip

Telephone: (617)512-0319 (cell)

Applicant: BP 140 Kendrick Street LLC attn: Frederick J. DeAngelis.

Address: 800 Boylston Street, Suite 1900 Boston MA 02199
Street City State Zip

Telephone: (617)512-0319

Designer/Installer: Sunwealth Power, Inc., attn: Marcel Rodgers

Address: 2067 Massachusetts Avenue Cambridge MA 02140
Street City State Zip

Telephone: (617)506-9612

Type of Application
☐ Sign
☒ Minor Project
☐ Exterior Alterations
Major Project (Site Plan Review)
☐ - preliminary
☐ - final
☐ Flexible Subdivision
☐ Planned Residential Development
☐ Residential Compound

Brief description of sign or project: Please see attached.

Please email completed application to elitchman@needhamma.gov

Brief Description of Project

The 140 Kendrick Street Project was originally approved and constructed pursuant to Special Permit/Site Plan Review issued by the Planning Board on June 15th, 1999. The Special Permit/Site Plan Review was amended by Amendment dated December 1, 2020 on Application No. 99-2. That Amendment approved the Owner's request to renovate the existing single tenant office space to allow multiple tenants to lease the buildings, including exterior improvements as shown on the Plans referred to in the Amendment consisting of adding entrance locations to the buildings, patio improvements, and accessible parking and landscape improvements at the new entrance locations. The Special Permit/Site Plan Review was further amended by Amendment to Decision dated July 12, 2022 for the construction and operation of a rooftop deck on the roof of the low rise building.

The current Application seeks a minor project site plan approval for the construction and operation of a roof over the parking garage which contains a solar array, all as shown on the plans submitted herewith. The roof meets all of the dimensional requirements of the Needham Zoning By-Law including, but not limited to, all height requirements and limitations. Concurrently herewith, the Applicant is filing an Application with the Needham Design Review Board for the Design Review Board's review and approval of this component of the Kendrick Street renovation.

BP 140 KENDRICK STREET LLC

Signature of Applicant (or representative)

By: 
Frederick J. DeAngelis, SVP & Senior Counsel

Address if not applicant

Telephone #

617-236-3333 and 617-512-0319 (cell)

Owner's permission if other than applicant

FREDERICK J. DEANGELIS, ESQUIRE
Senior Vice President & Senior Counsel

September 19, 2022

VIA FEDEX (Tracking No. 7779 7362 4585)

VIA EMAIL (elitchman@needhamma.gov)

Elisa Litchman
Administrative Specialist
Planning & Community Development
Town of Needham
500 Dedham Street, Suite 118
Needham, MA 02492

Boston

Los Angeles

New York

San Francisco

Washington, DC

RE: 140 Kendrick Street, Needham, Massachusetts
Application to Design Review Board

Dear Members of the Board:

Boston Properties and its affiliated property owning entities including the Applicant named herein, BP 140 Kendrick Street LLC (collectively called "BXP") have been leaders in developing onsite renewable energy systems at our properties. To date we have completed 13 projects totaling 8 megawatts (MW) of onsite solar photovoltaic capacity on rooftops, garages and surface parking in Massachusetts and New Jersey. We are a pioneer in developing solar roofs over garages, and delivered our first solar roof over a parking garage in Waltham at Bay Colony. Since then, we've completed a second phase at Bay Colony and a third garage project at CityPoint in Waltham.

We are proposing to install a similar solar garage roof on/over the existing garage at 140 Kendrick Street. The purpose of the solar roof is to:

- Provide onsite generation of renewable energy that will result in net zero carbon operation of 140 Kendrick Street Building A. This is our first fully net zero project and will serve as a model project for net zero carbon office building design and redevelopment.
- Generate approximately 1,300 megawatt-hours (MWh) of renewable energy onsite from 2,900 405 watt (W) modules.
- Advance the transition to a low carbon economy by building a high quality distributed energy generation system with storage (336 kW). This project is emblematic of projects BXP is pursuing to achieve carbon neutral operations by 2025 and to meet our climate action goals, which include a science-based emissions reduction target for the company.

BXP has extensive experience with these projects and has assembled a team of expert designers to design, permit and execute an exemplary garage solar roof system. We look forward to working with the Town of Needham to complete this important project at 140 Kendrick Street.

Enclosed herewith is our Application to the Design Review Board for design review. Also enclosed are the Plans prepared by Sunwealth Power, Inc., for the solar roof system and an Updated Parking Plan prepared by VHB showing the relocation of the three (3) parking spaces necessitated to accommodate the solar battery equipment. Six (6) sets of all plans are enclosed herewith.

In addition, a separate email is also being sent to you with a link to our Application to the Design Review Board along with all the requisite plans.

We are also submitting to the Planning Board an Application for Site Plan Review/Approval for the aforesaid solar garage roof and associated equipment and the relocation of three (3) parking spaces. A copy of that Application is enclosed.

If possible, please schedule us for the Design Review Board's October 3, 2022 hearing.

Lastly, please feel free to call me or email me with any questions or comments you may have.

Thank you for your cooperation.

Sincerely,

BP 140 KENDRICK STREET LLC

By 
Frederick J. DeAngelis
SVP & Senior Counsel

cc by email:

Christopher Hiserman (chiserman@bxp.com)

Ellesse Lunde (elunde@bxp.com)

PARASOL
STRUCTURES



sunwealth

Boston Properties

140 Kendrick St

Needham Heights, MA 02494

Francois Attal

August 16, 2022

Single Tilt 2°
System Size – 1,263.84 kWp DC

PARASOL
STRUCTURES



CLIENT: SUNWEALTH
CARPORT: PARASOL SOLFLEX

LOCATION: BOSTON PROPERTIES
140 KENDRICK ST
NEEDHAM HEIGHTS, MA 02494

PANELS: HANWHA G11.3 480WW
DATE: AUGUST 16, 2022



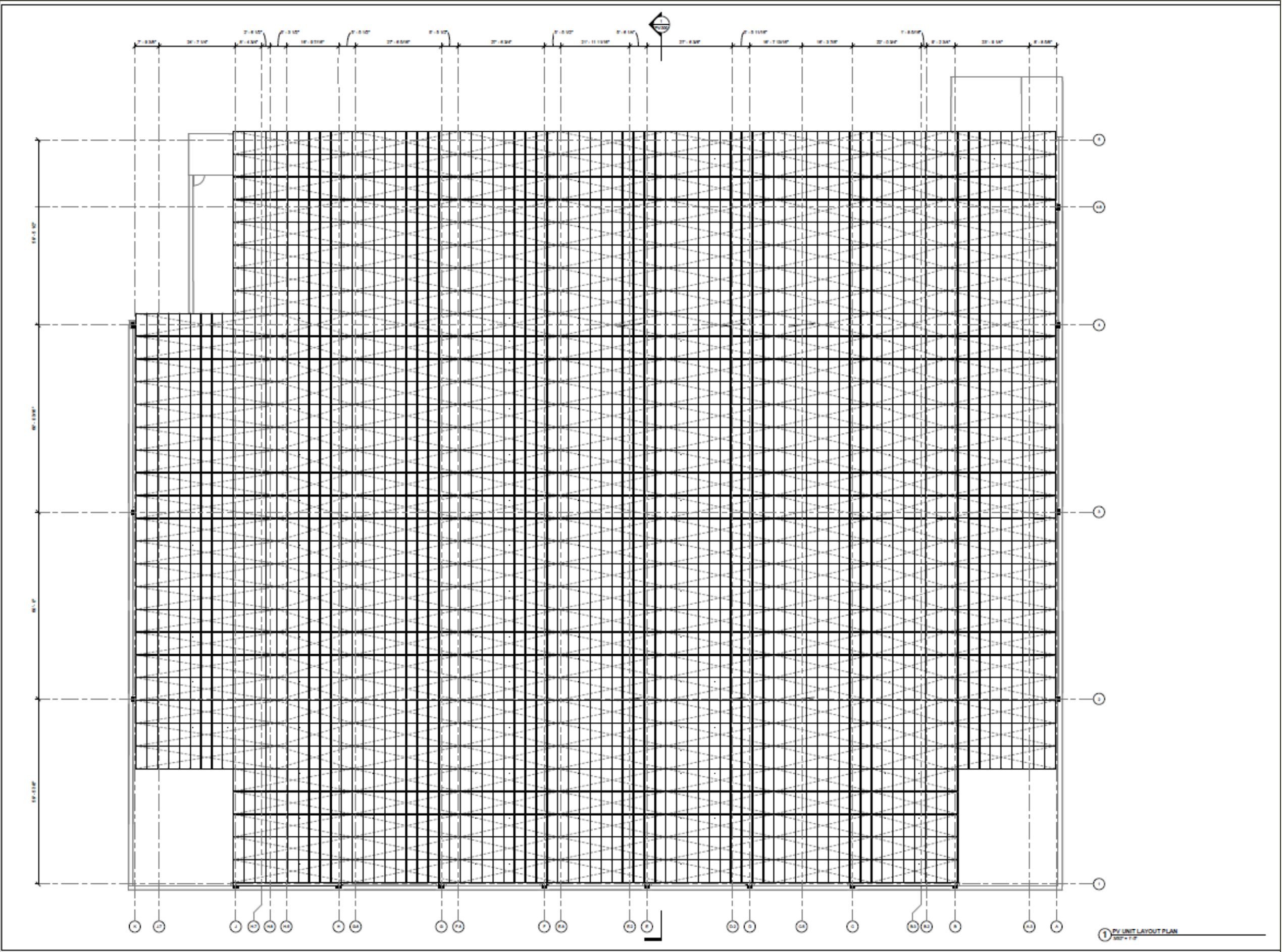
GENERAL NOTES:

1. Result of easement reports and underground utilities may affect final placement of solar arrays.
2. Conflicting trees and other obstructions will have to be removed, trimmed, or relocated
3. Detailed analysis of the effect of shade on arrays has not been performed.
4. Soil analysis has not been performed
5. It is assumed that the site is not in a flood plain.
6. Structural Analysis of the Garage has not been performed

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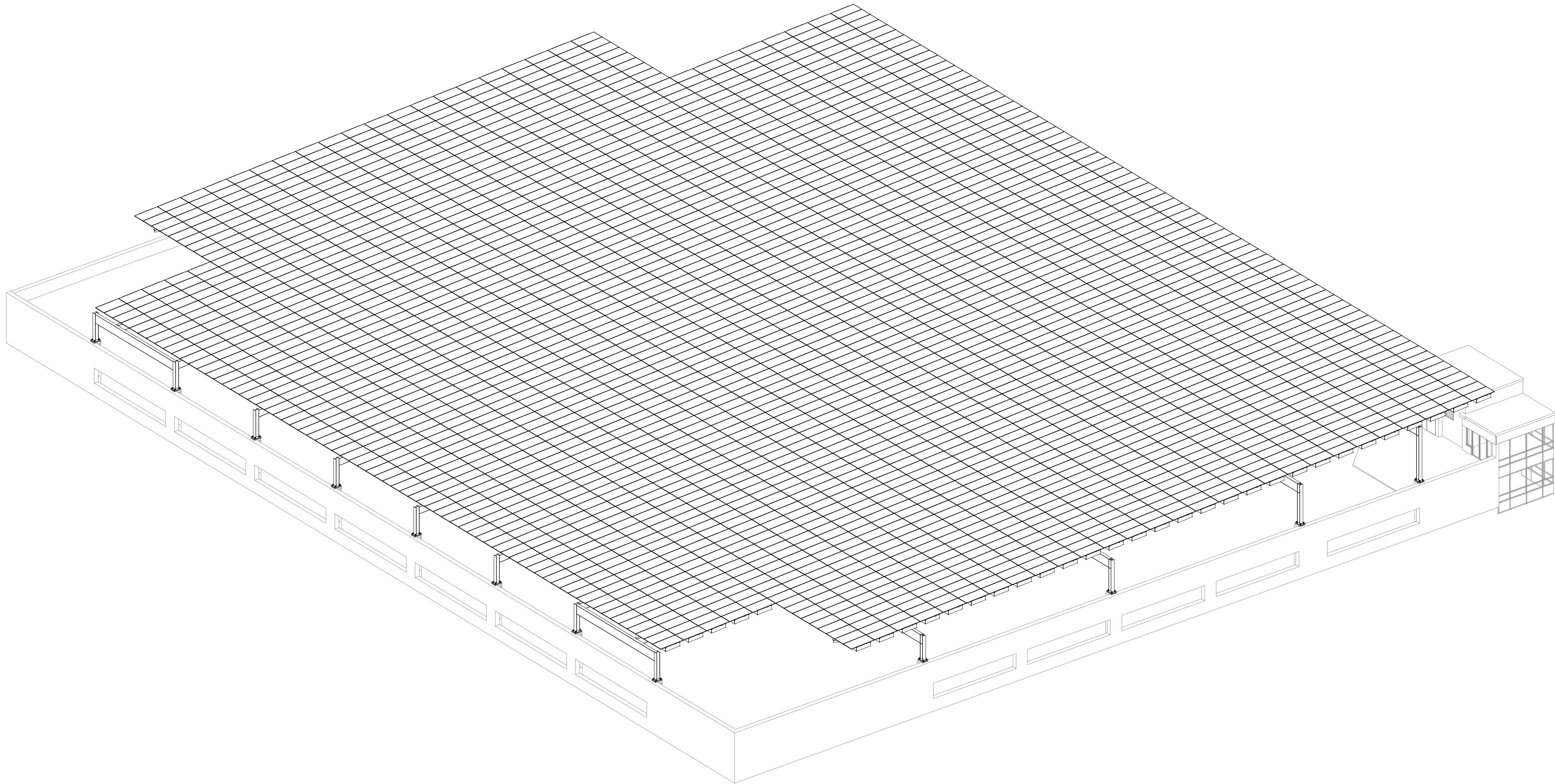
1. PRIOR TO THE START OF CONSTRUCTION, THE SITE CONTRACTOR SHALL VERIFY THE EXACT LOCATION, SIZE AND DIMENSION OF ALL UTILITIES IN AREA WHERE WORK IS TO BE PERFORMED. SUBCONTRACTOR AND/OR PARASOL ASSUMES NEITHER THE RESPONSIBILITY FOR THE LOCATION OF ENCASED AND/OR HIDDEN UTILITIES SHOWN NOR THE LACK THEREOF.
2. ANY DISCREPANCIES IN REFERENCE, COORDINATES, ELEVATIONS, EXISTING DIMENSIONS, AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF PARASOL AND/OR OWNER'S REPRESENTATIVES BEFORE PROCEEDING WITH WORK.
3. ALL WORK SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH THE MOST RECENT LOCAL AND NATIONAL CONSTRUCTION STANDARDS AND BUILDING CODES.
4. IN INSTANCES WHERE THE AHJ PROVIDES NO DETAILED SPECIFICATIONS, THE MATERIALS AND METHODS OF CONSTRUCTION SHALL MEET AND CONFORM TO THE REQUIREMENTS OF LOCAL CODES AND UFC REQUIREMENTS.
5. THE CONTRACTOR SHALL VERIFY ALL INFORMATION PERTAINING TO EXISTING CONDITIONS BY ACTUAL MEASUREMENT AND OBSERVATION AT THE SITE. ALL DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN IN THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE ENGINEER OF RECORD AND PARASOL PRIOR TO FABRICATION.

1. PARASOL ANTICIPATES THAT THE TOPS OF ALL EXISTING CONCRETE PIERS AND WALLS SHALL BE AT ELEVATIONS SPECIFIED HEREIN.
2. INSTALLATION ERRORS IN PRECAST CONSTRUCTION ARE TO BE CORRECTED BY THE GENERAL CONTRACTOR PRIOR TO THE ARRIVAL OF THE ERECTION CREW AND PRIOR TO THE ERECTION OF THE STRUCTURE.
3. ANY EXISTING UTILITY FINDINGS THAT CONFLICT WITH THE RECORD OF KNOWN CONDITIONS SHALL BE REPORTED TO PARASOL AND/OR THE OWNER'S REPRESENTATIVE.

1. ALL STEEL FABRICATED FOR THIS PROJECT IS ARCHITECTURALLY EXPOSED STRUCTURAL STEEL (A.E.S.S.)
2. PURLINS ARE TO BE FINISHED AS FOLLOWS:
 - A. HOT DIP GALVANIZING G90 PER ASTM 653
3. COLUMNS AND CROSSBEAMS ARE TO BE FINISHED AS FOLLOWS:
 - A. HOT DIP GALVANIZING PER ASTM 123
4. NUTS, BOLTS & WASHERS
 - A. HOT DIP GALVANIZING PER ASTM 153
5. FOR TOUCH UP AND CLEANING
 - A. USE SOLVENTS OR MECHANICAL CLEANING METHODS THAT COMPLY WITH THE STEEL STRUCTURES PAINTING COULCIS (SSPC)
 - B. WIRE BRUSH CLEAN WITH SOLVENTS RECOMMENDED BY FINISH MANUFACTURER AND TOUCH-UP WITH SAME FINISH SYSTEMS DESCRIBED ABOVE

1. IN COLD WEATHER CONDITIONS PLEASE NOTE THAT COMPLETION OF SOME TEMPERATURE DEPENDENT WORK MAY BE DELAYED UNTIL TEMPERATURES REACH 45 DEGREES F AND RISING THIS WORK MAY INCLUDE:

- A. BASE PLATE GROUTING
- B. PARGING
- C. LINE STRIPING
- D. TOUCH-UP PAINTING

[illegible]

1 PROJECT LOCATION MAP
N.T.S.

SHEET NUMBER	SHEET NAME	
PV-000	PROJECT LOCATION & DRAWING LIST	•
PV-001	GENERAL STRUCTURAL NOTES	•
PV-010	ISOMETRICS	•
PV-100	COLUMN LAYOUT PLAN	•
PV-101	HRS FRAMING LAYOUT PLAN (GIRDERS & BEAMS)	•
PV-102	CFS FRAMING LAYOUT PLAN (RAILS)	•
PV-103	PV UNIT LAYOUT PLAN	•
PV-300	CANOPY SECTIONS	•
TOTAL: 8		



NEW YORK BOSTON
WWW.PARASOLSTRUCTURES.COM

PROJECT # :22004

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Consulting Engineers
5131 Camino Del Rio North, Suite 1000
San Diego, California 92108
(619) 521-0500 Fax (619) 521-0501

KPEE Job # : 2000519

KPFF Job #: 2000519

ENGINEER'S STAMP

PROJECT TITLE
140 KENDRICK
PROJECT ADDRESS
140 KENDRICK STREET
NEEDHAM, MA 02494
SHEET TITLE
PROJECT LOCATION & DRAWING LIST

DATE	06/05/2022

ISSUED SET / REVISIONS	DESCRIPTION
	10% DESIGN SUBMISSION

DESIGNED BY : PARASOL

DRAWN BY: NB

CHECKED BY : KPFF

APPROVED BY: KPFF

SCALE

PV-000

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2022
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DESIGN CRITERIA

CODE: 9th EDITION OF THE MA STATE BUILDING CODE (780 CMR) BASED ON THE 2015 IBC

GOVERNING JURISDICTION: NEEDHAM, MA

LIVE LOADS:

WIND ANALYSIS METHOD 2 - ANALYTICAL PROCEDURE
BASIC WIND SPEED V = 126 mph
IMPORTANCE FACTOR I_w = 1.0
WIND EXPOSURE C
OCCUPANCY CATEGORY II
GUST EFFECT FACTOR G = 0.85

SNOW DESIGN CRITERIA
P_s = 40 psf
I_s = 1.0
C_e = 1
P_f = 35 psf

SEISMIC ANALYSIS EQUIVALENT LATERAL FORCE PROCEDURE HAS BEEN USED:

SITE CLASSIFICATION D
OCCUPANCY CATEGORY II
SEISMIC DESIGN CATEGORY B
IMPORTANCE FACTOR I_e = 1.2

S₁ = 0.252 g S_{0.1} = 0.289 g
S₁ = 0.063 g S_{0.1} = 0.191 g

SEISMIC LOAD RESISTING SYSTEM OTHER MECHANICAL OR ELECTRIC COMPONENTS
RESPONSE MODIFICATION COEFFICIENT R_m = 1.5
COMPONENT AMPLIFICATION FACTOR a_m = 1.0
IMPORTANCE FACTOR I_e = 1.0
SEISMIC DESIGN FORCE F_p = 0.21 W

SCOPE OF WORK

1. SCOPE OF WORK INCLUDES THE DESIGN OF CANTILEVER STEEL SUPPORT STRUCTURES FOR PV PANELS AT AN EXISTING PARKING GARAGE.

GENERAL

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION. DO NOT SCALE THE DRAWINGS. THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES OR INCONSISTENCIES. IN CASE OF CONFLICT, MORE COSTLY REQUIREMENTS GOVERN FOR BIDDING. SUBMIT CLARIFICATION REQUEST PRIOR TO PROCEEDING WITH WORK.
2. ALL DRAWINGS ARE CONSIDERED TO BE A PART OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REVIEW AND COORDINATION OF ALL DRAWINGS AND SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES THAT OCCUR SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO START OF CONSTRUCTION SO THAT A CLARIFICATION CAN BE ISSUED. ANY DEVIATION FROM THE APPROVED SET OF CONTRACT DOCUMENTS SHALL ONLY BE MADE AFTER WRITTEN APPROVAL BY THE ENGINEER OF RECORD. ANY WORK PERFORMED IN CONFLICT WITH THE CONTRACT DOCUMENTS OR ANY CODE REQUIREMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
3. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE GIVEN, CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR WORK, UNLESS NOTED OTHERWISE. DETAILS IN STRUCTURAL DRAWINGS ARE TYPICAL AS INDICATED BY CUTS, REFERENCES OR TITLES.
4. ALL WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF THE FOLLOWING: LOCAL BUILDING CODE, ANY OTHER REGULATING AGENCIES WHICH HAVE AUTHORITY OVER ANY PORTION OF THE WORK, AND THOSE CODES AND STANDARDS LISTED IN THESE NOTES AND SPECIFICATIONS.
5. THE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION THE CONTRACTOR SHALL PROVIDE. ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION, SUCH AS MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, BRACING, SHORING FOR LOADS DUE TO CONSTRUCTION EQUIPMENT, ETC. OBSERVATION VISITS TO THE SITE BY THE STRUCTURAL ENGINEER SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS.
6. ASTM SPECIFICATIONS ON THE DRAWINGS SHALL BE OF THE LATEST REVISION.
7. CONTRACTOR SHALL INVESTIGATE SITE DURING CLEARING AND EARTHWORK OPERATIONS FOR FILLED EXCAVATIONS OR BURIED STRUCTURES, SUCH AS CESSPOOLS, CISTERNS, FOUNDATIONS, ETC. IF ANY SUCH STRUCTURES ARE FOUND, STRUCTURAL ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
8. CONTRACTOR TO PROVIDE A LIST OF ALL PROPOSED SUBSTITUTIONS, WITH APPLICABLE MANUFACTURER'S ICC REPORTS TO ARCHITECT, ENGINEER OF RECORD AND GOVERNING JURISDICTION FOR REVIEW AND APPROVAL BEFORE FABRICATION.
9. NOTICE TO THE APPLICANT / OWNER / OWNER'S AGENT / ARCHITECT: BY USING THIS PERMITTED CONSTRUCTION DRAWINGS FOR CONSTRUCTION / INSTALLATION OF THE WORK SPECIFIED HEREIN, YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF THE GOVERNING JURISDICTION FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING, AND OFF-SITE FABRICATION OF BUILDING COMPONENTS CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND AS REQUIRED BY THE GOVERNING BUILDING CODES.
10. NOTICE TO THE CONTRACTOR / BUILDER / INSTALLER / SUBCONTRACTOR / OWNER-BUILDER: BY USING THIS PERMITTED CONSTRUCTION DRAWINGS FOR CONSTRUCTION / INSTALLATION OF THE WORK SPECIFIED HEREIN, YOU ACKNOWLEDGE AND ARE AWARE OF THE REQUIREMENTS CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS. YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF THE GOVERNING JURISDICTION FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING, AND OFF-SITE FABRICATION OF BUILDING COMPONENTS CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND AS REQUIRED BY THE GOVERNING BUILDING CODES.

SPECIAL INSPECTION

THE FOLLOWING ELEMENTS OF CONSTRUCTION SHALL REQUIRE SPECIAL INSPECTION PER CHAPTER 17 OF THE CODE.

STEEL: SPECIAL INSPECTION TASK	CONTINUOUS	PERIODIC
1. MATERIAL VERIFICATION OF HIGH-STRENGTH BOLTS, NUTS AND WASHERS: A. IDENTIFICATION MARKINGS TO CONFORM TO ASTM STANDARDS. B. MANUFACTURER'S CERTIFICATE OF COMPLIANCE.	- -	X X
2. INSPECTION OF HIGH-STRENGTH BOLTING (SEE NOTES F & G): A. SNUG-TIGHT JOINTS B. PRETENSIONED AND SLIP-CRITICAL JOINTS CONFORMING TO 1704.3.3.2 C. PRETENSIONED AND SLIP-CRITICAL JOINTS NOT CONFORMING TO 1704.3.3.2	- - X	X X -
3. MATERIAL VERIFICATION OF STRUCTURAL STEEL AND COLD-FORMED STEEL DECK: A. FOR STRUCTURAL STEEL, IDENTIFICATION MARKINGS CONFORMING TO AISC 360, LATEST EDITION B. FOR OTHER STEEL, IDENTIFICATION MARKINGS TO CONFORM TO ASTM STANDARDS SPECIFIED IN THE APPROVED CONSTRUCTION DOCUMENTS. C. MANUFACTURERS' CERTIFIED TEST REPORTS.	- - -	X X X
4. MATERIAL VERIFICATION OF WELD FILLER MATERIALS: A. IDENTIFICATION MARKINGS TO CONFORM TO AWS SPECIFICATION IN THE APPROVED CONSTRUCTION B. MANUFACTURER'S CERTIFICATE OF COMPLIANCE.	- -	X X
5. INSPECTION OF WELDING: A. STRUCTURAL STEEL AND COLD-FORMED STEEL DECK: 1) COMPLETE AND PARTIAL PENETRATION GROOVE WELDS. 2) MULTIPASS FILLET WELDS 3) SINGLE-PASS FILLET WELDS > 5/16" 4) PLUG AND SLOT WELDS 5) SINGLE-PASS FILLET WELDS < 5/16" 6) VISUAL INSPECTION OF HSS SEAM WELDS. NON-DESTRUCTIVE TESTING OF SEAM WELDS MAY BE REQUIRED BY THE ENGINEER OF RECORD IF ANY OF THE SEAM WELDS APPEAR TO BE DEFECTIVE. 7) SHOP WELDING: SPECIAL INSPECTION IS NOT REQUIRED WHERE THE WORK IS DONE ON THE PREMISES OF A FABRICATOR REGISTERED AND APPROVED BY THE GOVERNING JURISDICTION.	X X X X - - X	- - - - X - -

STEEL: SPECIAL INSPECTION TASK	CONTINUOUS	PERIODIC
1. POST-INSTALLED ANCHORS IN HARDENED CONCRETE (SEE NOTE H).	-	X
2. HIGH STRENGTH GROUT UNDER COLUMN BASE PLATES.	-	X

1. THE SPECIAL INSPECTIONS IDENTIFIED ON PLANS ARE, IN ADDITION TO, AND NOT A SUBSTITUTE FOR, THOSE INSPECTIONS REQUIRED TO BE PERFORMED BY THE GOVERNING JURISDICTION, SPECIALLY INSPECTED WORK WHICH IS INSTALLED OR COVERED WITHOUT THE APPROVAL OF AN INSPECTOR FROM THE GOVERNING JURISDICTION IS SUBJECT TO REMOVAL OR EXPOSURE.
2. FOR CONTINUOUS INSPECTION, WHEN WORK IN MORE THAN ONE CATEGORY OF WORK REQUIRING SPECIAL INSPECTION IS TO BE PERFORMED SIMULTANEOUSLY, OR THE GEOGRAPHIC LOCATION OF THE WORK IS SUCH THAT IT CANNOT BE CONTINUOUSLY OBSERVED IN ACCORDANCE WITH THE PROVISIONS OF THE CODE, IT IS THE AGENT'S RESPONSIBILITY TO EMPLOY A SUFFICIENT NUMBER OF INSPECTORS TO ASSURE THAT ALL WORK IS INSPECTED IN ACCORDANCE WITH THOSE PROVISIONS.
3. THE SPECIAL INSPECTORS MUST BE CERTIFIED BY THE GOVERNING JURISDICTION IN THE CATEGORY OF WORK REQUIRED TO HAVE SPECIAL INSPECTION. EXCEPTIONS:
a. WHEN WAIVED BY THE GOVERNING JURISDICTION
4. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INFORM THE SPECIAL INSPECTOR OR INSPECTION AGENCY AT LEAST ONE WORKING DAY PRIOR TO PERFORMING ANY WORK THAT REQUIRES SPECIAL INSPECTION. ALL WORK PERFORMED WITHOUT REQUIRED SPECIAL INSPECTION IS SUBJECT TO REMOVAL.
5. A CERTIFICATE OF SATISFACTORY COMPLETION OF WORK REQUIRING SPECIAL INSPECTION MUST BE COMPLETED AND SUBMITTED TO THE GOVERNING JURISDICTION AND ENGINEER OF RECORD.
6. PROVIDE SPECIAL INSPECTION FOR CONNECTIONS BOLTED WITH A325 AND A490 BOLTS. INSPECTIONS SHALL BE DONE PER APPROVED NATIONALLY RECOGNIZED STANDARDS AND THE REQUIREMENTS OF THE CODE AND THE GOVERNING JURISDICTION. WHILE THE WORK IS IN PROGRESS, THE SPECIAL INSPECTOR SHALL DETERMINE THE BOLTS, NUTS, WASHERS AND PAINT; BOLTED PARTS; AND INSTALLATION AND TIGHTENING MEET THE STANDARDS REQUIREMENTS.
7. THE SPECIAL INSPECTOR FOR HIGH STRENGTH BOLTED CONNECTIONS SHALL:
a. OBSERVE THE CALIBRATION PROCEDURES WHEN SUCH PROCEDURES ARE REQUIRED BY THE PLANS OR SPECIFICATIONS.
b. MONITOR THE INSTALLATION OF BOLTS TO DETERMINE THAT ALL PLIES OF CONNECTED MATERIALS HAVE BEEN DRAWN TOGETHER.
c. MONITOR THAT THE SELECTED PROCEDURE IS PROPERLY USED TO TIGHTEN ALL BOLTS.
8. THE SPECIAL INSPECTOR FOR EPOXY ANCHORS SHALL VERIFY THE DRILLING OF ANY HOLES, THE CLEANLINESS OF THE HOLE, THE MOISTURE IN THE HOLE, MIXING THE EPOXY, THE BRAND OF EPOXY, AND THE PROPER MATERIAL FOR ASSEMBLY.
9. THE SPECIAL INSPECTOR SHALL PROVIDE PERIODIC REPORTS AND A FINAL REPORT TO THE STRUCTURAL ENGINEER.
10. THE SPECIAL INSPECTOR SHALL ENSURE THAT ALL DEFICIENCIES NOTED BY THE STRUCTURAL ENGINEER IN STRUCTURAL OBSERVATION REPORTS ARE CORRECTED. SUCH COMPLIANCE SHALL BE REFERENCED IN SPECIAL INSPECTOR REPORT.
11. THE CONSTRUCTION MATERIALS TESTING LABORATORY MUST BE APPROVED BY THE GOVERNING JURISDICTION FOR TESTING OF MATERIALS, SYSTEMS, COMPONENTS AND, EQUIPMENTS.
12. A PROPERTY OWNER'S FINAL REPORT FORM FOR WORK REQUIRED TO HAVE SPECIAL INSPECTIONS, TESTING AND STRUCTURAL OBSERVATIONS MUST BE COMPLETED BY THE PROPERTY OWNERS AGENT OF RECORD, ARCHITECT OF RECORD OR, ENGINEER OF RECORD AND SUBMITTED TO THE GOVERNING JURISDICTION.
13. PERIODIC INSPECTION SHALL OCCUR FREQUENTLY ENOUGH TO INSPECT ALL OF THE INSTALLED ITEMS AND TO PERIODICALLY WITNESS THE INSTALLATION OF THE ITEMS

STRUCTURAL OBSERVATION

STRUCTURAL OBSERVATION PER THE REQUIRMENTS OF THE CODE IS REQUIRED. THE STRUCTURAL ENGINEER WILL VISIT THE PROJECT AT THE FOLLOWING STAGES OF CONSTRUCTION.

ITEM	STAGE
STRUCTURAL STEEL	AFTER ERECTION

- a. STRUCTURAL OBSERVATION DOES NOT INCLUDE OR WAIVE THE INSPECTIONS REQUIRED BY THE CODE.
- b. ALL OBSERVED DEFICIENCIES SHALL BE REPORTED IN WRITING TO THE OWNER'S REPRESENTATIVE, SPECIAL INSPECTOR, AND CONTRACTOR. THE STRUCTURAL OBSERVER SHALL SUBMIT A FINAL WRITTEN STATEMENT TO THE GOVERNING JURISDICTION THAT SITE VISITS HAVE BEEN MADE AND IDENTIFYING ANY REPORTED DEFICIENCIES THAT HAVE NOT BEEN RESOLVED. THE STRUCTURE WILL NOT BE IN COMPLIANCE UNTIL THE DESIGNER HAS NOTIFIED THE GOVERNING JURISDICTION THAT ALL DEFICIENCIES ARE RESOLVED.

SHOP DRAWINGS/SUBMITTALS

1. THE STRUCTURAL SHOP DRAWING REVIEW IS INTENDED TO HELP THE ENGINEER VERIFY THE DESIGN CONCEPT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK THEIR OWN SHOP DRAWINGS.
2. THE STRUCTURAL SHOP DRAWINGS WILL BE RETURNED FOR RESUBMITTAL IF A CURSORY REVIEW SHOWS MAJOR ERRORS WHICH SHOULD HAVE BEEN FOUND BY THE CONTRACTOR'S CHECKING.
3. THE FOLLOWING SHOP DRAWINGS ARE NOT REQUIRED FOR SUBMITTAL FOR STRUCTURAL REVIEW.
a. SHORING AND BRACING
b. STRUCTURAL STEEL MILL REPORTS
4. THE FOLLOWING SHOP DRAWINGS (AND CALCULATIONS WHEN APPLICABLE) ARE REQUIRED FOR SUBMITTAL FOR STRUCTURAL REVIEW.
a. GROUT MIX DESIGNS, INCLUDING STRENGTH AND SHRINKAGE TEST RESULTS
b. STRUCTURAL STEEL
c. WELDING PROCEDURE SPECIFICATIONS (SEE NOTE 9 BELOW)
d. PV PANEL CUTSHEET
5. ANY SUBMITTAL OF A DETAIL SHEET WITH ADDED INFORMATION NOT SHOWN ON PLANS SHALL BE ACCOMPANIED BY LOCATION PLAN IDENTIFYING THE MEMBERS INVOLVED AND CLOUDING AROUND ADDED INFORMATION.
6. ANY ENGINEERING SUBMITTED FOR REVIEW SHALL BE APPROPRIATELY SEALED. FULL RESPONSIBILITY OF SUCH ENGINEERING RESTS WITH THE PERSON SEALING THE DESIGN.
7. THE SHOP DRAWINGS SHALL REFERENCE THE DATE OF THE DESIGN USED TO PRODUCE THE SUBMITTAL.
8. CONTRACTOR/SUBCONTRACTOR TO PROVIDE A DIGITAL COPY (PDF) OF SHOP DRAWINGS FOR REVIEW BY THE ENGINEER OF RECORD. REDLINED DIGITAL SET WILL BE RETURNED TO THE CONTRACTOR WITH REDLINES FOR REPRODUCTION AND DISTRIBUTION.
9. WPS CHECK LIST

GENERAL

- a. SUPPORTING FOR NO.
b. PROCESS (SMAW, FCAW, ETC)

JOINT DESIGN & BASE MATERIAL

- a. JOINT TYPE (CORNER, BUTT, LAP, T)
b. MAX ROOT OPENING
c. BACKING (THICKNESS, MATERIAL TYPE)
d. GROOVE ANGLE
e. TOTAL # OF PASSES
f. BASE MATERIAL SPEC, GRADE & THICKNESS
g. WPS SHOULD INCLUDE FIGURE
h. MAX ROOT & FIL PASS THICKNESS

FILLER MATERIAL & SHIELDING

- a. ELECTRODE SPECIFICATION (AWS A5.1, A5.20, ETC)
b. ELECTRODE CLASSIFICATION (E7018, E71T-1, ETC)
c. ELECTRODE DIAMETER (5/32", 3/8", ETC) AND STICK-OUT (IF APPLICABLE)
d. SHIELDING GAS (IF APPLICABLE) (GAS COMPOSITION, FLOW RATE)
e. FLUX, IF APPLICABLE
f. AS WELDED TOUGHNESS (SUCH AS 20 FT-LBS @ -20 DEGREES) PER FILLER SPECS

PREHEAT

- a. MIN & MAX PREHEAT TEMPERATURE
b. MIN & MAX INTERPASS TEMPERATURE

ELECTRICAL PARAMETERS

- a. POLARITY (AC, DC+, DC-)
b. WELDING CURRENT (AMPERAGE)/WIRE FEED SPEED (IPM)
c. ARC VOLTAGE (VOLTS)
d. TRAVEL SPEED (IPM) (FCAW/GMAW)

TECHNIQUE/MISC

- a. WEAVE/STRINGER, MULTIPASS/SINGLE PASS
b. PEENING
c. POSITION (F, H, V, O)
d. VERTICAL PROGRESSION (IF APPLICABLE)

NOTES:

1. THE ABOVE LIST SHOWS THE MINIMUM VARIABLES. OTHER VARIABLES MAY BE INCLUDED.
2. OTHER VARIABLES MAY BE REQUIRED PER STRUCTURAL PLANS OR SPECS. SEE D1.1 ANNEX IV, ANNEX E, AND TABLE 4.5 FOR QUALIFIED WPS. ANNEX F AND TABLE 3.67 FOR PREQUALIFIED WPS.

STRUCTURAL STEEL

1. STRUCTURAL STEEL SHALL BE DETAILED, FABRICATED, AND ERECTED BY AN APPROVED AND LICENSED FABRICATOR IN ACCORDANCE WITH THE LATEST EDITION OF AISC 360 (EXCLUDING SECTION A4).
2. ALL STRUCTURAL STEEL SHALL CONFORM TO THE ASTM DESIGNATION AS INDICATED BELOW (U.N.O.):

DESCRIPTION	DESIGNATION
ALL BASE PLATES, CAP PLATES	A572, GRADE 50
ALL ANGLES AND CHANNELS	A36, U.N.O.
ALL WF SECTIONS	A992, GRADE 50
HSS SECTIONS	A500, GRADE B
HIGH STRENGTH BOLTS	A325
MACHINE BOLTS AND THREADED RODS	A307
MISC. PLATES	A572, GRADE 50
ANCHOR BOLTS	F1554, GRADE 105

3. THE STRUCTURAL STEEL FABRICATOR SHALL FURNISH SHOP DRAWINGS OF ALL STEEL FOR ARCHITECT'S AND STRUCTURAL ENGINEER'S REVIEW BEFORE FABRICATION.
4. HOLES IN STEEL SHALL BE AS FOLLOWS, UNLESS:
a. FOR NOMINAL BOLT SIZE LESS THAN 1", HOLE DIAMETER SHALL BE 1/16" LARGER.
b. FOR NOMINAL BOLT SIZE EQUAL TO OR LARGER THAN 1", HOLE DIAMETER SHALL BE 1/8" LARGER.
c. COLUMN BASE PLATE HOLES MAY BE OVERSIZED PER AISC MANUAL TB 14-2.
5. ALL STRUCTURAL STEEL SURFACES THAT ARE ENCASED IN CONCRETE, MASONRY, OR SPRAY ON FIREPROOFING, OR ARE ENCASED BY BUILDING FINISH, SHALL BE LEFT UNPAINTED.
6. ALL STRUCTURAL STEEL AND MISCELLANEOUS METAL EXPOSED TO THE WEATHER SHALL BE HOT DIP GALVANIZED AFTER FABRICATION. GALVANIZING AT FIELD WELDS SHALL BE REPAIRED WITH A GALVANIZING REPAIR PAINT ACCORDING TO ASTM A780.
7. PROVIDE BEVELED WASHERS PER ANSI B18.23.1 AS REQUIRED ON SLOPED SURFACES.
8. STRUCTURAL MEMBERS AND CONNECTIONS EXPOSED TO VIEW IN THE COMPLETED STRUCTURE SHALL BE DESIGNATED ARCHITECTURALLY EXPOSED STRUCTURAL STEEL (AESS) WHERE NOTED ON PLAN.
9. WELDING:
a. ALL WELDING IS TO BE DONE BY CERTIFIED WELDERS USING E70XX ELECTRODES (U.N.O.). ALL WELDS SHALL BE IN CONFORMITY WITH THE PROJECT SPECIFICATIONS AND THE CODE FOR WELDING IN BUILDING CONSTRUCTION (AWS D1.1 LATEST REVISION) OF THE AMERICAN WELDING SOCIETY. SEE SPECIAL INSPECTION SECTION FOR WELDING INSPECTION REQUIREMENTS.
b. WELD LENGTHS CALLED FOR ON PLANS ARE THE NET EFFECTIVE LENGTH REQUIRED, WHERE FILLET WELD SYMBOL IS GIVEN WITHOUT INDICATION OF SIZE, USE MINIMUM SIZE WELDS AS SPECIFIED IN AISC MANUAL OF STEEL CONSTRUCTION, LATEST EDITION.
c. WELDS TERMINATING AT ENDS OR SIDES, WHERE PRACTICAL, SHALL BE RETURNED CONTINUOUSLY AROUND CORNERS A DISTANCE 2 TIMES THE NOMINAL SIZE OF THE WELD PER AISC 360 SECTION J2.2B, U.N.O.
d. ALL FULL-PENETRATION FIELD WELDS SHALL BE ULTRASONICALLY TESTED.
e. ALL TWO-SIDED FILLET WELDS SHOWN SHALL BE WELDED WITH THE SAME (GIVEN) WELD SIZE ON BOTH SIDES.
f. ALL UNSIZED GROOVE OR BUTT WELDS SHOWN SHALL BE COMPLETE PENETRATION. ALL PROVISIONS OF AWS SHALL BE OBSERVED INCLUDING REQUIREMENTS FOR BACK-UP PLATES AND WELD TRANSITIONS WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN.
g. A WRITTEN WELDING PROCEDURE SPECIFICATION SHALL BE SUBMITTED TO THE TESTING LABORATORY. IT SHALL INCLUDE ALL WELDING PROCEDURES TO BE USED AS DESCRIBED IN AWS, CHAPTER 4.
h. SPECIAL CONSIDERATION SHALL BE GIVEN TO WELDING TECHNIQUE AND SEQUENCE, PARTICULARLY WHERE THERE IS A POTENTIAL FOR LAMELLAR (THROUGH-THICKNESS) TEARING.
i. WHERE FIELD WELDING IS INDICATED, THE FIELD DESIGNATION IS GIVEN AS A RECOMMENDATION ONLY.
11. ALL ANCHOR BOLTS SHALL BE HEADED STUD BOLTS OR THREADED RODS WITH NUTS. J BOLTS ARE NOT ACCEPTABLE IN ANY APPLICATION.
12. GROUT OTHER THAN FOR MASONRY CELLS SHALL BE NON-SHRINK, NON-METALLIC GROUT, MEETING ASTM C-1107, MIXED AND INSTALLED PER MANUFACTURERS' SPECIFICATIONS. MINIMUM COMPRESSIVE STRENGTH SHALL BE 8,000 PSI IN 28 DAYS, UNLESS APPROVED BY THE STRUCTURAL ENGINEER.

COLD-FORMED STEEL

1. GENERAL

- A. ALL COLD-FORMED METAL FRAMING CONSTRUCTION SHALL BE IN ACCORDANCE WITH AISI SPECIFICATIONS FOR DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS, * CURRENT EDITION.
- B. ALL COLD-FORMED STRUCTURAL MEMBERS SHALL BE PER ICC ECR-3064P.
- C. ALL COLD-FORMED STEEL SHALL CONFORM TO THE FOLLOWING:

43 MIL AND LIGHTER	ASTM A653 GR 33
54 MIL AND HEAVIER	ASTM A653 GR 55

- D. ALL COLD-FORMED STEEL SHALL HAVE A MINIMUM COATING CONFORMING TO THE FOLLOWING:

LOAD-BEARING AND EXTERIOR STRUCTURAL MEMBERS	COATING PROTECTION G90 PLUS AN APPROVED COATING PER CURRENT ASTM C655
--	---

- E. WELDING IS NOT PERMITTED UNLESS SPECIFICALLY APPROVED BY ENGINEER OF RECORD.
- F. ALL APPROVED WELDING SHALL BE PERFORMED BY WELDERS CERTIFIED FOR ALL APPROPRIATE DIRECTIONS COMPLYING WITH AWS D1.3. WELDING RODS SHALL CONFORM TO THE FOLLOWING:

43 MIL AND LIGHTER	E60XX
54 MIL AND HEAVIER	E70XX OR E6013
COLD-FORMED TO STRUCTURAL STEEL	E70XX LOW HYDROGEN

- G. WIRE TYING OF FRAMING COMPONENTS SHALL NOT BE PERMITTED.

H. TEMPORARY BRACING REQUIREMENTS ARE THE RESPONSIBILITY OF THE CONTRACTOR.

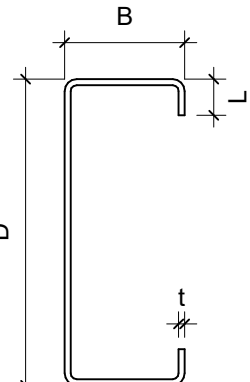
- I. ALL SCREWS SHALL BE FULLY DRIVEN AND PROTRUDE THE LARGER OF 3 THREADS OR 1/4" THROUGH THE LAST MATERIAL JOINED. THERE SHALL BE NO SPACE BETWEEN JOINING MEMBERS AT THE SCREW LOCATION.

2. LOAD-BEARING AND EXTERIOR STRUCTURAL MEMBERS

- A. FIELD CUTS THROUGH FLANGES OF STUD OR TRACK SHALL NOT BE PERMITTED UNLESS SPECIFICALLY APPROVED BY THE ENGINEER OF RECORD.
- B. ALL FIELD CUTTING OF MEMBERS SHALL BE BY SAWING OR SHEARING. TORCH OR PLASMA CUTTING OF MEMBERS SHALL NOT BE PERMITTED.
- C. ALL FRAMING COMPONENTS SHALL BE CUT SQUARELY FOR ATTACHMENT TO PERPENDICULAR MEMBERS OR AS REQUIRED ON AN ANGULAR FIT AGAINST ABUTTING MEMBERS. MEMBERS SHALL BE HELD POSITIVELY IN PLACE UNTIL PROPERLY FASTENED.
- D. SPLICING OF STUDS, JOISTS, OR OTHER LOAD CARRYING MEMBERS SHALL NOT BE PERMITTED UNLESS SPECIFICALLY APPROVED BY THE ENGINEER OF RECORD.
- E. IF ADDITIONAL HOLES ARE REQUIRED IN LOAD CARRYING MEMBERS, CONTACT THE ENGINEER OF RECORD FOR GUIDANCE BEFORE CUTTING HOLES.
- F. WHEN CLIP ANGLES ARE USED TO ATTACH A COMPONENT TO THE PRIMARY STRUCTURE, THE CLIP ANGLE SHALL BE FASTENED TO THE PRIMARY STRUCTURE FIRST, THEN THE COMPONENT SHALL BE BROUGHT TO BEAR ON THE STRUCTURE AND FASTENED TO THE CLIP ANGLE.
- G. EACH FRAMING MEMBER AND BUNDLES OF LIKE MEMBERS SHALL BE IDENTIFIED WITH THE MANUFACTURER'S NAME, YIELD STRENGTH, MINIMUM UNCOATED BASE METAL THICKNESS, PROTECTIVE COATING WEIGHT AND STUD SIZE EMBOSSED OR STAMPED ON THE WEB OF EACH SECTION AT A MAXIMUM OF 48" O.C. STUD MUST BE DESIGNED TO MEET THE REQUIREMENTS OF CODE SECTION 2209.

3. ALL CALCULATED MEMBER PROPERTIES PER AISI SPECIFICATIONS ARE BASED ON THE FOLLOWING THICKNESSES:

MINIMUM THICKNESS	REFERENCE GAUGE	DESIGN THICKNESS
33 MIL	20 GA	0.0346"
43 MIL	18 GA	0.0451"
54 MIL	16 GA	0.0566"
68 MIL	14 GA	0.0713"
97 MIL	12 GA	0.1017"
118 MIL	10 GA	0.1242"



MINIMUM SECTION PROPERTIES FOR CEE SHAPES								
SHAPE	D (in)	B (in)	L (in)	t (in)	A (in ²)	Wt (plf)	I _x (in ⁴)	I _y (in ⁴)



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kpff
Consulting Engineers
PROFESSIONAL ENGINEER
REGISTERED PROFESSIONAL ENGINEER
STATE OF MASSACHUSETTS

KPFF Job # : 2000519

ENGINEER'S STAMP

PROJECT TITLE

140 KENDRICK

PROJECT ADDRESS

140 KENDRICK STREET

NEEDHAM, MA 02464

SHEET TITLE

GENERAL STRUCTURAL NOTES

DATE

08/03/2022

SYN

ISSUED SET / REVISIONS

DESCRIPTION

3RD DESIGN SUBMISSION

DESIGNED BY

PARASOL

DRAWN BY

NB

CHECKED BY

KPFF

APPROVED BY

KPFF

ORIGINAL SHEET SIZE: 42" x 36"

SCALE

0 1/2" 1"

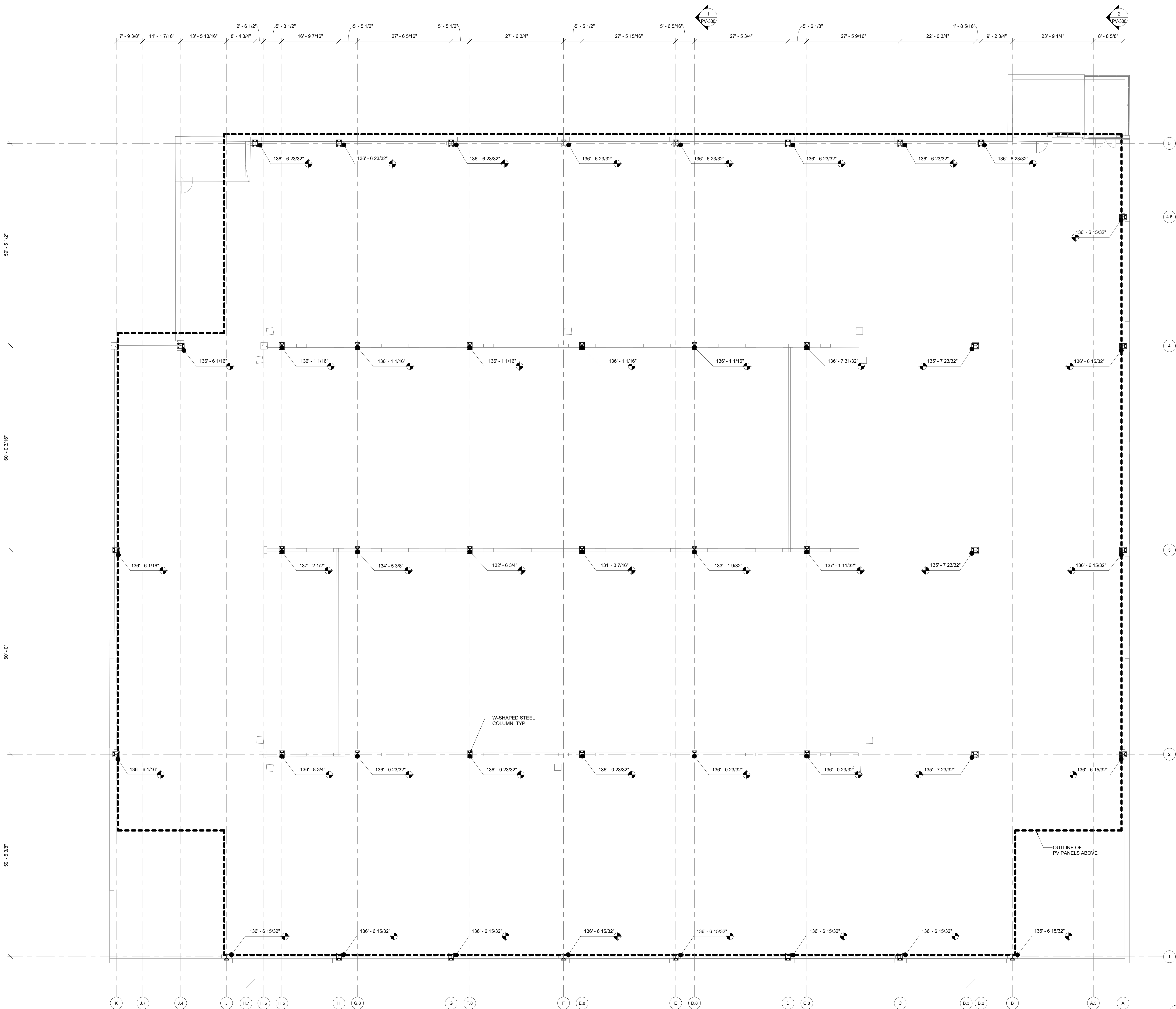
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PV-001

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1 COLUMN LAYOUT PLAN
3/32" = 1'-0"



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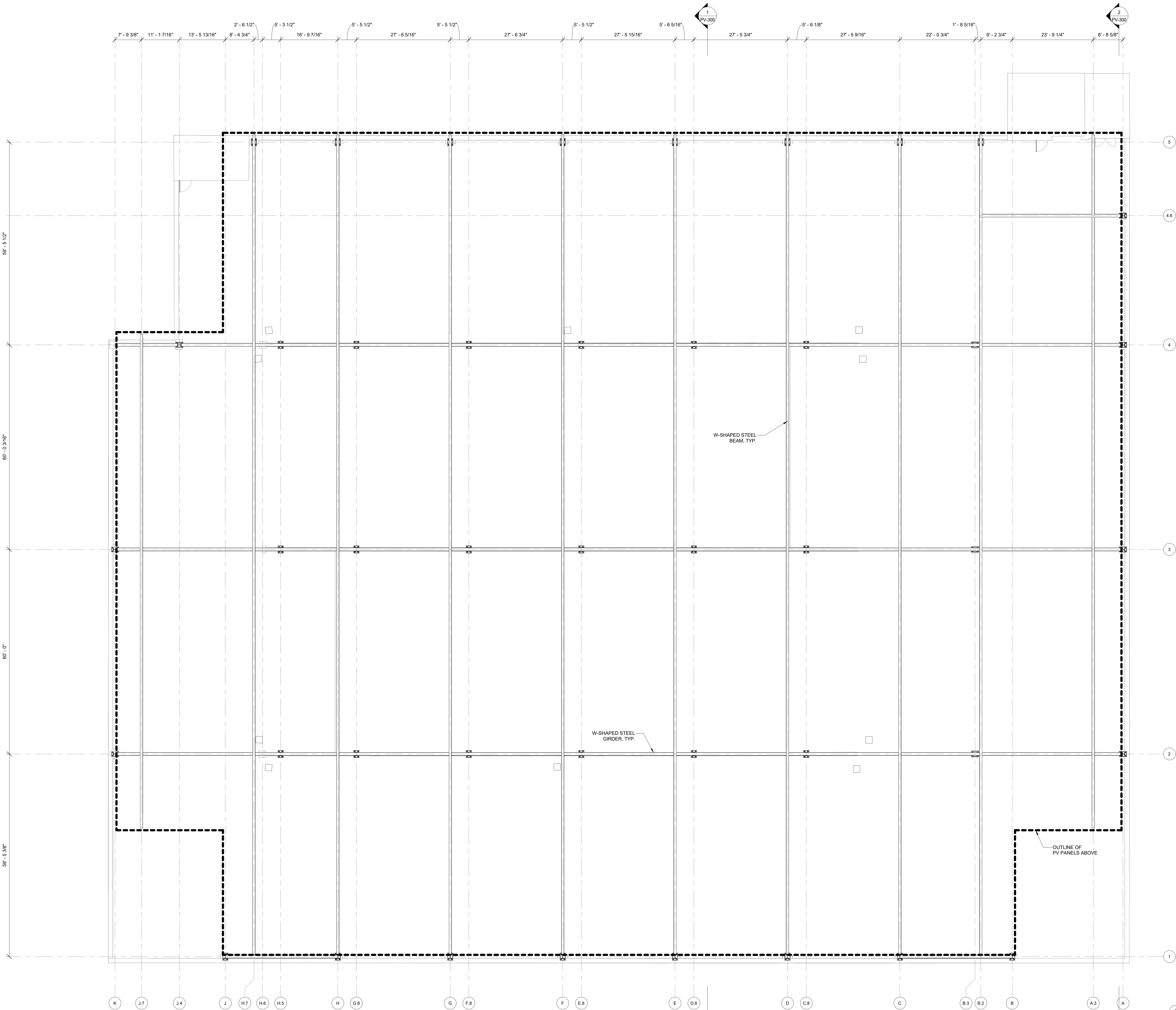
PROJECT TITLE
140 KENDRICK
PROJECT ADDRESS
140 KENDRICK STREET
NEEDHAM, MA 02464
SHEET TITLE
COLUMN LAYOUT PLAN

ISSUED SET / REVISIONS	
DATE	DESCRIPTION
03/05/2024	30% DESIGN SUBMISSION
SYM	

DESIGNED BY: PARASOL
DRAWN BY: NB
CHECKED BY: KPFF
APPROVED BY: KPFF
ORIGINAL SHEET SIZE: 42" x 30"
SCALE
0 1/2" 1"
DATE: 03/05/2024
DRAWN BY: NB
CHECKED BY: KPFF
APPROVED BY: KPFF

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1 HRS FRAMING LAYOUT PLAN (GIRDERS & BEAMS)
3/32" = 1'-0"



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ENGINEER'S STAMP

PROJECT TITLE
140 KENDRICK
PROJECT ADDRESS
140 KENDRICK STREET
NEEDHAM, MA 02464
SHEET TITLE
HRS FRAMING LAYOUT PLAN (GIRDERS & BEAMS)

ISSUED SET / REVISIONS	
DATE	DESCRIPTION
08/08/2022	30% DESIGN SUBMISSION
SYM	

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APPROVED BY: KPFF

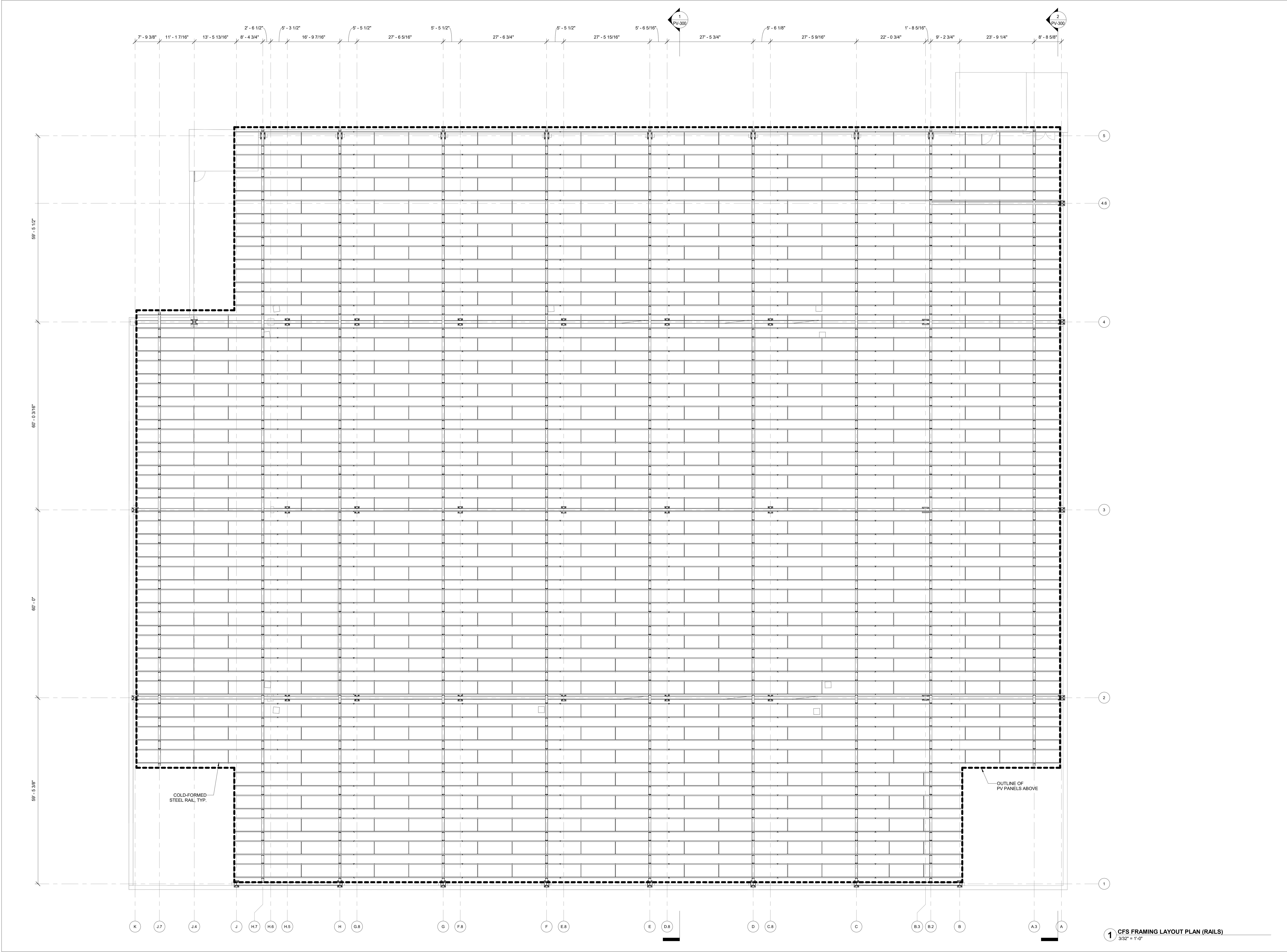
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SCALE
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KPFF Job # : 2000519

ENGINEER'S STAMP

PROJECT TITLE	
140 KENDRICK	PROJECT ADDRESS
140 KENDRICK STREET	PROJECT ADDRESS
NEEDHAM, MA 02464	PROJECT ADDRESS
CFS FRAMING LAYOUT PLAN (RAILS)	SHEET TITLE

ISSUED SET / REVISIONS	
DATE	DESCRIPTION
08/01/2024	30% DESIGN SUBMISSION
SYM	

DESIGNED BY: PARASOL

DRAWN BY: NB

CHECKED BY: KPFF

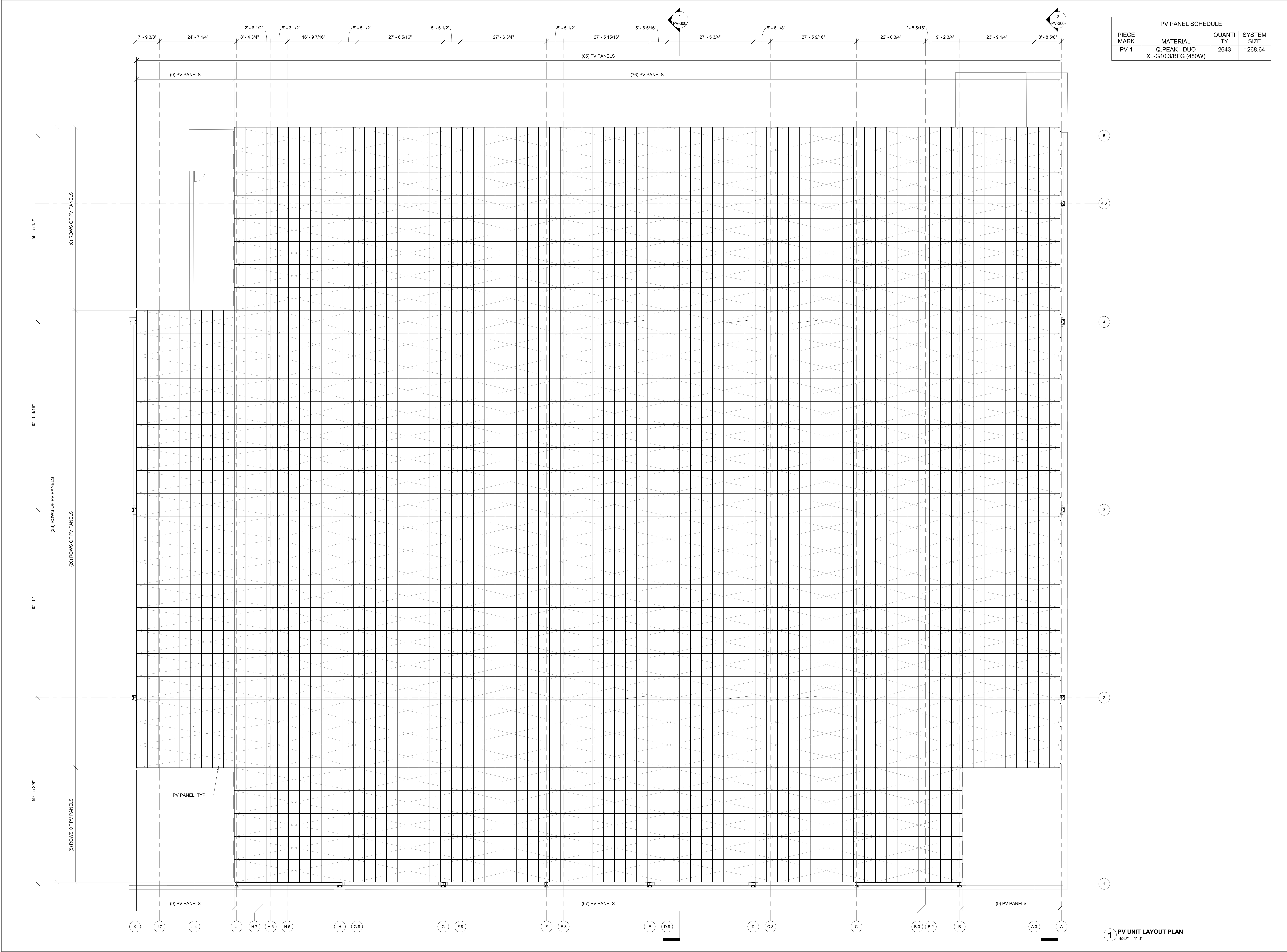
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ORIGINAL SHEET SIZE: 42" x 30"

SCALE: 0 1/2" 1"

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PV PANEL SCHEDULE			
PIECE MARK	MATERIAL	QUANTITY	SYSTEM SIZE
PV-1	Q.PEAK - DUO XL-G10.3/BFG (480W)	2643	1268.64



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ENGINEER'S STAMP

PROJECT TITLE
140 KENDRICK
PROJECT ADDRESS
140 KENDRICK STREET
NEEDHAM, MA 02464
SHEET TITLE
PV UNIT LAYOUT PLAN

ISSUED SET / REVISIONS
DATE
DESCRIPTION
SYM

DESIGNED BY: PARASOL
DRAWN BY: NB
CHECKED BY: KPFF
APPROVED BY: KPFF
ORIGINAL SHEET SIZE: 42" x 30"

SCALE
0 1/2" 1"
1" = 1' 0"

1 PV UNIT LAYOUT PLAN
3/32" = 1'-0"
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KPFF Job #: 2000519

ENGINEER'S STAMP

[illegible]

1 CANOPY SECTION AT GRID 'E'
1/8" = 1'-0"

This elevation view illustrates the roof and garage structure. The roof is supported by W-shaped steel columns and girders. PV panels are mounted on the roof using a cold-formed steel rail and W-shaped steel beams. The structure is shown with various dimensions and labels for components and clearances.

Dimensions and Spacing:

- Overall length: 59' - 5 3/8"
- Panel spacing: 7'-3 3/4" (multiple instances)
- End spacing: 1'-10"
- Final end spacing: 5'-4 13/16"
- Horizontal dimensions from grid lines: 60' - 0", 60' - 0 3/16", 37' - 10 25/32", 21' - 6 23/32"
- Vertical dimensions: 3'-3 7/8" (from roof to top of PV panels), 20' - 10" (from roof to garage deck), 8'-0" (from garage deck to ground level)

Labels and Components:

- GUTTER AT LOW EDGE DOWNSPOUT ROUTING TBD
- COLD-FORMED STEEL RAIL
- W-SHAPED STEEL GIRDER
- PV PANEL
- W-SHAPED STEEL COLUMN
- GASKET BETWEEN PANELS
- W-SHAPED STEEL BEAM
- (E) GARAGE STRUCTURE
- H.P. PV PANELS 154' - 0"
- T.O. ELEV. ROOF 147' - 6 21/32"
- MIN. CLEAR - GIRDER AT GRID '2' 141' - 2"
- H.P. GARAGE DECK - GRID '2' 133' - 2"

2 CANOPY SECTION AT GRID 'A.3'
1/8" = 1'-0"

	PROJECT TITLE	140 KENDRICK	PROJECT ADDRESS	140 KENDRICK STREET NEEDHAM, MA 02464	SHEET TITLE	CANOPY SECTIONS
	DATE	09/06/2002				
	SYMBOL					
ISSUED SET / REVISIONS DESCRIPTION 30% DESIGN SUBMISSION						
DESIGNED BY: PARASOL DRAWN BY: NPB CHECKED BY: KPFF APPROVED BY: KPFF ORIGINAL SHEET SIZE: 42" x 30" SCALE 0 1/2" 1" DWG. NO. PV-300 COPYRIGHT PARASOL STRUCTURES 2002 ALL RIGHTS RESERVED						

From: [Rick DeAngelis](#)
To: [Alexandra Clee](#); [Lee Newman](#); [Elisa Litchman](#); [David Roche](#)
Cc: nskoly@vhb.com; [Marcel Rodgers](#); [Ellesse Lunde](#); [Christopher Hiserman](#); [Madeleine Timin](#); [Roxane Argueta](#)
Subject: 140 Kendrick Street- Solar Roof Drainage
Date: Monday, September 26, 2022 8:55:48 AM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[C2.0_DRAIN.pdf](#)

All

Attached is a plan prepared by VHB detailing the new HDPE drainage pipe and downspout connections which will replace the existing concrete drainage pipe .

This replacement pipe will have the roof tied into it and the pipe will collect the same volume of water as previously collected from the top deck/ story of the garage which in the past fell to the pavement and went into ground level drains.

The new pipe and system will collect the water from the solar canopy and avoid water falling onto the garage surface. This in turn will prevent grit/sand/oils from entering the drainage system by avoiding contact with that surface.

This plan is submitted in response to David Roche's questions as to how we are handling storm water drainage from the new roof.

Please add this plan to both our Design Review Board submission and to our Planning Board submission.

Please do not hesitate to call or email with any questions you may have.

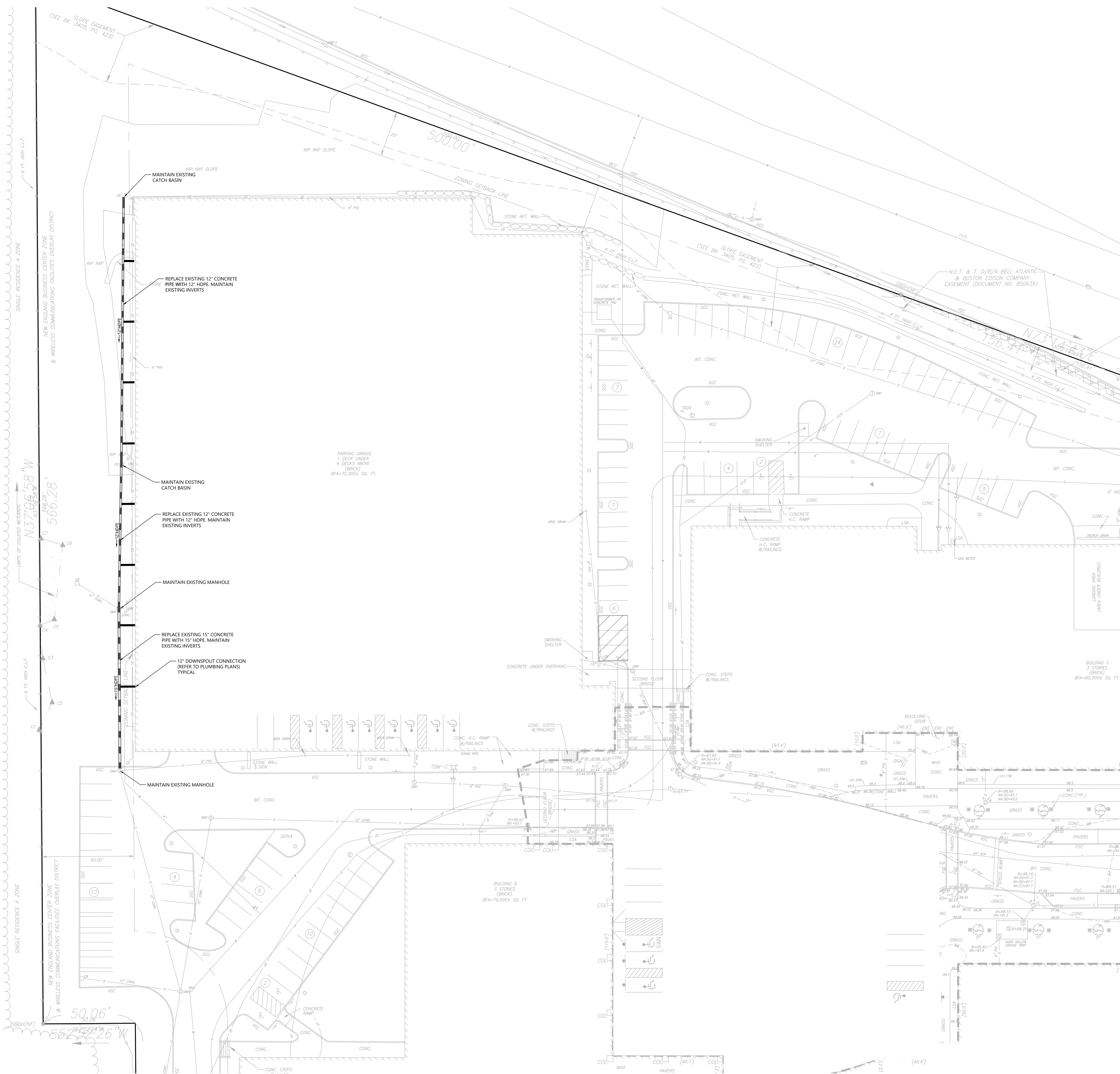
Rick DeAngelis

627-512-0319

Nicholas Skoly, P.E.

Project Manager

Land Development





101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770



0 10 20 40 Feet

140 Kendrick St

No.	Revision	Date	App'd.

Designed by	AP	Checked by	NS
Issued for		Date	9/22/22

Drawing Title

Drainage Plan

Drawing Number	C 2.00
Sheet	2 of 2
Project Number	15060.00



TOWN OF NEEDHAM

DESIGN REVIEW BOARD

Public Service Administration Building
500 Dedham Avenue
Needham, MA 02492
Application and Report

Property Location: 100 Cabot Street **Date:** 9/12/22

Owner: WCP Needham Cabot c/o Sheraton Hotel & Step Stone Hospitality

Address: 100 Cabot Street, Needham, MA 02494

Telephone: 978-790-8156

Applicant: Stratus c/o Signs by J, Inc.

Address: 100 Tenean Street, Dorchester, MA 02122

Telephone: 617-825-9855

Designer/Installer: Signs by J, Inc.

Address: 100 Tenean Street, Dorchester, MA 02122

Telephone: 617-825-9855

Type of Application
☒ Sign
☐ Minor Project
☐ Exterior Alterations
Major Project (Site Plan Review)
☐ - preliminary
☐ - final
☐ Flexible Subdivision
☐ Planned Residential Development
☐ Residential Compound

Brief description of sign or project:

Sign type E01 (Northwest Elev.) + E02 (Southwest Elev.) replace existing facelift channel letters with reverse channel aluminum halo lit.

Please email completed application to elitchman@needhamma.gov

Existing size is approx 153.3 sq ft.
Proposed size is 133.7 sq ft.

Revised 2/2020

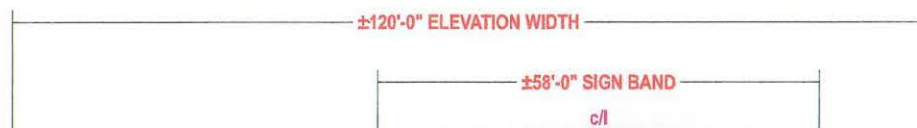
EXISTING SIGN SF:	±153.3
PROPOSED SIGN SF:	133.7



EXISTING CONDITIONS



EXISTING $\pm 5'-0"$ x $\pm 30'-8"$ SIGNAGE TO BE REMOVED &
REPLACED WALL TO BE REPAIRED AS REQUIRED



-- c/l $\pm 6'-6"$ SIGN BAND

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CLIENT:

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ORDER NUMBER:

1176033

SITE NUMBER:

989936

ELECTRONIC FILE NAME:

G:\ACCOUNTS\MMARRIOTT\SHERATON\2022\MA\Needham\Needham_R2.cdr

PROJECT NUMBER:

85894

PROJECT MANAGER:

JAMES PEAKE / TIM FENSKE

[illegible]

E02

SOUTHWEST ELEVATION

Scale: $\pm 1/32" = 1'-0"$

HL-D | 48"

EXISTING SIGN SF:	± 153.3
PROPOSED SIGN SF:	133.7



EXISTING CONDITIONS



EXISTING $\pm 5'-0" \times \pm 30'-8"$ SIGNAGE TO BE REMOVED & REPLACED WALL TO BE REPAIRED AS REQUIRED

$\pm 6'-0"$
SIGN BAND

$\pm 62'-0"$ SIGN BAND

c/l



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3

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SITE NUMBER:

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ELECTRONIC FILE NAME:

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PROJECT NUMBER:

85894

PROJECT MANAGER:

JAMES PEAKE / TIM FENSKE

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	382225	05/12/22 SC					
Rev 1	393300	08/03/22 SC					
Rev 2	398160	09/02/22 AS					

REVISIONS: THE FOLLOWING REVISIONS TO THE ORIGINAL DESIGN HAVE BEEN MADE: 1. CORRECTED SIGNAGE TO BE REMOVED & REPLACED WALL TO BE REPAIRED AS REQUIRED

E01
E02

HALO LIT CHANNEL LETTERS

Scale: 1/4"=1'-0"

HL-D | 48"

133.7 square feet



Reverse Lit Channel Letter Specification:

- Construction: 3" deep, .080" aluminum channel letter with 3/16" clear polycarbonate backs
- Face Material: .125" aluminum
- Returns: Painted Pantone® 8405 C, Warm Tungsten
- Illumination: GE 7100K White LED's (as required)
- Exterior finish: Pantone® 8405 C, Warm Tungsten
- Interior Finish: Painted reflective white

INSTALL: Letters to stand-off building 1-1/2" using min. 3/8" all thread studs with wood blocking as required; Stand off brackets to be provided and painted to match bkgd

QUANTITY: (2) TWO LETTERSETS REQUIRED FOR NORTHWEST & SOUTHWEST ELEVATIONS

- color key:
- Pantone® 8405 C - Warm Tungsten
 - STAND OFF BRACKET COLOR - Paint to match building TBD



Daytime Appearance



Nighttime Appearance

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ADDRESS: Sheraton
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ORDER NUMBER: 1176033

PROJECT NUMBER: 85894

SITE NUMBER: 989936

PROJECT MANAGER: JAMES PEAKE / TIM FENSKE

ELECTRONIC FILE NAME: G:\ACCOUNTS\MMARRIOTT\SHERATON\2022\MA\Needham\ Needham_R2.cdr

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	382225	05/12/22 SC					
Rev 1	393300	08/03/22 SC	Added "spacer" to dim call out / Added stand off brackets				
Rev 2	398160	09/02/22 AS					

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TOWN OF NEEDHAM

DESIGN REVIEW BOARD

Public Service Administration Building

500 Dedham Avenue

Needham, MA 02492

Application and Report

Property Location: 100 Cabot Street **Date:** 9/12/22

Owner: WCP Needham Cabot c/o Sheraton Hotel & Step Stone Hospitality

Address: 100 Cabot Street, Needham, MA 02494

Telephone: 978-790-8156

Applicant: Stratus c/o Signs by J, Inc.

Address: 100 Tenean Street, Dorchester, MA 02122

Telephone: 617-825-9855

Designer/Installer: Signs by J, Inc.

Address: 100 Tenean Street, Dorchester, MA 02122

Telephone: 617-825-9855

Type of Application
☒ Sign
☐ Minor Project
☐ Exterior Alterations
Major Project (Site Plan Review)
☐ - preliminary
☐ - final
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☐ Residential Compound

Brief description of sign or project:

Sign type 13. remove existing logo, repair wall and install one halo illuminated LED logo. Logo proposed to be same

Please email completed application to elitchman@needhamma.gov

size as existing. 8' diameter,
(64 sq ft.)

EXISTING SIGN SF:	±64
PROPOSED SIGN SF:	64



EXISTING CONDITIONS



EXISTING ±8'-0" x ±8'-0" SIGNAGE TO BE REMOVED & REPLACED WALL TO BE REPAIRED AS REQUIRED



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ORDER NUMBER:
1176033

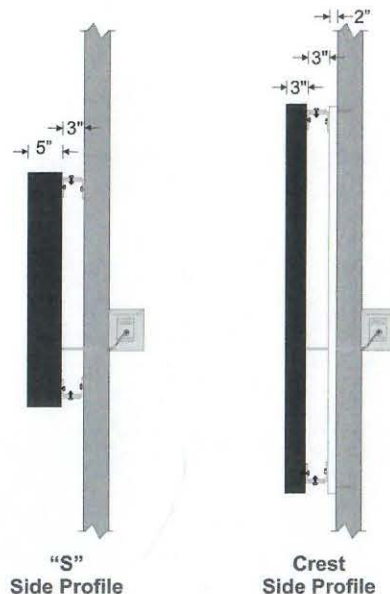
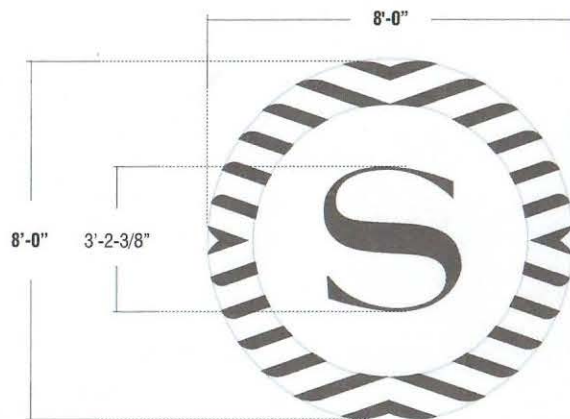
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989936

ELECTRONIC FILE NAME:
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PROJECT NUMBER:
85894

PROJECT MANAGER:
JAMES PEAKE / TIM FENKE

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	382225	05/12/22 SC					
Rev 1	393300	08/03/22 SC					
Rev 2	398160	09/02/22 AS					



Reverse Lit Channel Letter Specification:

Construction: .080" aluminum channel letter
with 3/16" clear polycarbonate backs

Face Material: .125" aluminum

Returns: Painted Pantone® 8405 C, Warm Tungsten

Illumination: GE 7100K White LED's (as required)

Exterior finish: Pantone® 8405 C, Warm Tungsten

Interior Finish: Painted reflective white

Crest Details: 2" deep wireway painted to match building color

INSTALL: Letters to stand-off building 3" using min. 3/8" all thread studs with wood blocking as required; Stand off brackets to be provided and painted to match bkgd

QUANTITY: (1) ONE LETTERSET REQUIRED
FOR EAST ELEVATION

color key:



Daytime Appearance



Nighttime Appearance

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ORDER NUMBER:
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SITE NUMBER:
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ELECTRONIC FILE NAME:

PROJECT NUMBER:
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PROJECT MANAGER:
JAMES PEAKE / TIM FENSKE

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TOWN OF NEEDHAM

DESIGN REVIEW BOARD

Public Service Administration Building
500 Dedham Avenue
Needham, MA 02492
Application and Report

Property Location: 100 Cabot Street **Date:** 9/12/22

Owner: WCP Needham Cabot c/o Sheraton Hotel & Step Stone Hospitality

Address: 100 Cabot Street, Needham, MA 02494

Telephone: 978-790-8156

Applicant: Stratus c/o Signs by J, Inc.

Address: 100 Tenean Street, Dorchester, MA 02122

Telephone: 617-825-9855

Designer/Installer: Signs by J, Inc.

Address: 100 Tenean Street, Dorchester, MA 02122

Telephone: 617-825-9855

Type of Application
☒ Sign
☐ Minor Project
☐ Exterior Alterations
Major Project (Site Plan Review)
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☐ Residential Compound

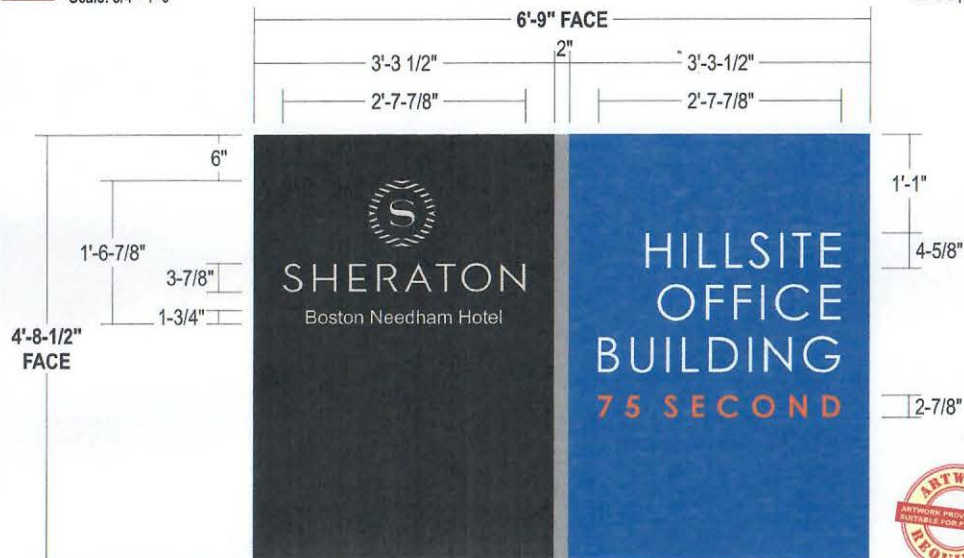
Brief description of sign or project:

Sign type E04: Recover existing
sign with new push-thru alum
panels with acrylic letters. Sign is
to be double faced monument as
existing.

E04

REPLACEMENT FACE

Scale: 3/4"=1'-0"



SIDE B

Face Specifications:

Face Construction: .125" Routed aluminum with push-thru letters

Face Decoration: Paint Pantone® 419 C, Graphite
Push-thru Details: 1/8" clear acrylic with frosted edges mounted to 2447 white acrylic backer ("Sheraton" and crest logo)

INSTALL: Secure faces to existing face lip with c/s screws painted to match as required

QUANTITY: (2) TWO replacement faces for D/F monument required

color key:

— Pantone® Warm Gray 1 C - Oyster

— Pantone® 419 C - Graphite



Nighttime Appearance



SIDE A



FONT OR ARTWORK & COLORS
REQUIRED FOR HILLSITE OFFICE FACE



EXISTING CONDITIONS



EXISTING FACES TO B
REMOVED & REPLACED

PROPOSED SIGNAGE

Scaled Proportionally



SIDE A



SIDE B

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SITE NUMBER:

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PROJECT NUMBER:

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PROJECT MANAGER:

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Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	382225	05/12/22 SC					
Rev 1	393300	08/03/22 SC	Added "Boston" copy / Moved copy up on panel				
Rev 2	399160	09/02/22 AS	Revised dimensions & scope				

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TOWN OF NEEDHAM

DESIGN REVIEW BOARD

Public Service Administration Building
500 Dedham Avenue
Needham, MA 02492
Application and Report

Property Location: 100 Cabot Street **Date:** 9/12/22

Owner: WCP Needham Cabot c/o Sheraton Hotel & Step Stone Hospitality

Address: 100 Cabot Street, Needham, MA 02494

Telephone: 978-790-8156

Applicant: Stratus c/o Signs by J, Inc.

Address: 100 Tenean Street, Dorchester, MA 02122

Telephone: 617-825-9855

Designer/Installer: Signs by J, Inc.

Address: 100 Tenean Street, Dorchester, MA 02122

Telephone: 617-825-9855

Type of Application
☒ Sign
☐ Minor Project
☐ Exterior Alterations
Major Project (Site Plan Review)
☐ - preliminary
☐ - final
☐ Flexible Subdivision
☐ Planned Residential Development
☐ Residential Compound

Brief description of sign or project:

Sign type E05 - Recover existing sign with new aluminum face, non-illuminated. Paint existing posts + frame, 2'10 1/2" x 5'10 1/2" face size.

Please email completed application to elitchman@needhamma.gov



EXISTING CONDITIONS



EXISTING FACES TO BE REMOVED
AND REPLACED AS REQUIRED.

PROPOSED SIGNAGE

Scaled Proportionally



FACES: .090 aluminum faces; painted as shown

GRAPHICS: Surface applied vinyls to match colors shown

POSTS: Paint existing posts and framing to match colors show

INSTALL: Secure faces to existing framing with c/s screws painted to match as required.

QUANTITY: (1) ONE replacement face
for post & panel sign required

color key:

 Pantone® Warm Gray 1 C - Oyster

 Pantone® 419 C - Graphite

 Pantone® Cool Gray 10 C - French Gray

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PROJECT NUMBER:

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PROJECT MANAGER:

JAMES PEAKE / TIM FENSKE

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TOWN OF NEEDHAM

DESIGN REVIEW BOARD

Public Service Administration Building

500 Dedham Avenue

Needham, MA 02492

Application and Report

Property Location: 100 Cabot Street **Date:** 9/12/22

Owner: WCP Needham Cabot c/o Sheraton Hotel & Step Stone Hospitality

Address: 100 Cabot Street, Needham, MA 02494

Telephone: Street 978-790-8156 City State Zip

Applicant: Stratus c/o Signs by J, Inc.

Address: 100 Tenean Street, Dorchester, MA 02122

Telephone: Street 617-825-9855 City State Zip

Designer/Installer: Signs by J, Inc.

Address: 100 Tenean Street, Dorchester, MA 02122

Telephone: Street 617-825-9855 City State Zip

Type of Application
☒ Sign
☐ Minor Project
☐ Exterior Alterations
Major Project (Site Plan Review)
☐ - preliminary
☐ - final
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☐ Planned Residential Development
☐ Residential Compound

Brief description of sign or project:

Sign type E06: Three sided post + panel sign. Install replacement faces with new text as needed. Paint existing frame + posts. Faces each: 4'8" high x 3'4" directional signs.

Revised 2/2020



EXISTING CONDITIONS



EXISTING FACES TO BE REMOVED AND REPLACED AS REQUIRED.

PROPOSED SIGNAGE



- CABINET:** Existing cabinet to remain; painted as shown
- FACES:** 1-1/2" thick foam with beveled edges painted to match colors shown
- GRAPHICS:** Surface applied vinyls to match colors shown
- POSTS:** Paint existing posts and framing to match colors shown
- INSTALL:** Faces screw mounted from behind sign
- QUANTITY:** (3) THREE replacement faces for directional required

color key:

- Pantone® Warm Gray 1 C - Oyster
- Pantone® 419 C - Graphite



TOWN OF NEEDHAM

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Needham, MA 02492
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Address: 100 Cabot Street, Needham, MA 02494

Telephone: Street 978-790-8156 City State Zip

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Address: 100 Tenean Street, Dorchester, MA 02122

Telephone: Street 617-825-9855 City State Zip

Designer/Installer: Signs by J, Inc.

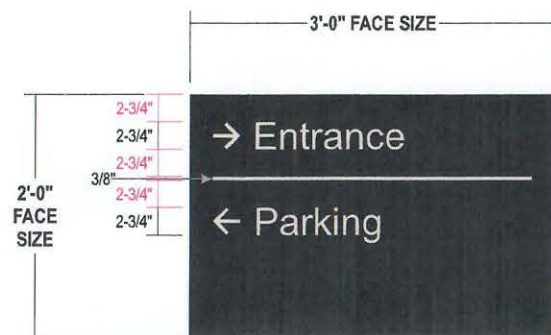
Address: 100 Tenean Street, Dorchester, MA 02122

Telephone: Street 617-825-9855 City State Zip

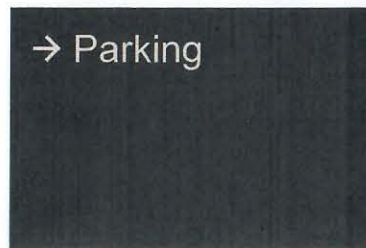
Type of Application
☒ Sign
☐ Minor Project
☐ Exterior Alterations
Major Project (Site Plan Review)
☐ - preliminary
☐ - final
☐ Flexible Subdivision
☐ Planned Residential Development
☐ Residential Compound

Brief description of sign or project:
Sign type E07 - Recover existing
faces with new. Double faced
post + panel sign. Paint existing
posts & frame. Directional sign.

Please email completed application to elitchman@needhamma.gov



SIDE A



SIDE B

FACES: .090 aluminum faces; painted as shown

GRAPHICS: Surface applied digitally printed vinyls w/ UV overlaminate to match colors shown

POSTS: Paint existing posts and framing to match colors show

FONT: Arial

INSTALL: Secure faces to existing framing with c/s screws painted to match as required.

QUANTITY: (2) TWO replacement faces
for post & panel sign required

color key:

 Pantone® Warm Gray 1 C - Oyster

 Pantone® 419 C - Graphite

 Pantone® Cool Gray 10 C - French Gray

EXISTING CONDITIONS



SIDE A

**SIDE B**

EXISTING FACES TO BE REMOVED
AND REPLACED AS REQUIRED

PROPOSED SIGNAGE

Scaled Proportionally



SIDE A



SIDE B

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ORDER NUMBER:

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SITE NUMBER:

989936 JAMES PEAKE / TIM FEN
ELECTRONIC FILE NAME:
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PROJECT NUMBER:

85894

PROJECT MANAGER:

JAMES PEAKE / TIM FENSKE

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TOWN OF NEEDHAM

DESIGN REVIEW BOARD

Public Service Administration Building

500 Dedham Avenue

Needham, MA 02492

Application and Report

Property Location: 100 Cabot Street **Date:** 9/12/22

Owner: WCP Needham Cabot c/o Sheraton Hotel & Step Stone Hospitality

Address: 100 Cabot Street, Needham, MA 02494

Telephone: Street 978-790-8156 City State Zip

Applicant: Stratus c/o Signs by J, Inc.

Address: 100 Tenean Street, Dorchester, MA 02122

Telephone: Street 617-825-9855 City State Zip

Designer/Installer: Signs by J, Inc.

Address: 100 Tenean Street, Dorchester, MA 02122

Telephone: Street 617-825-9855 City State Zip

Type of Application
☒ Sign
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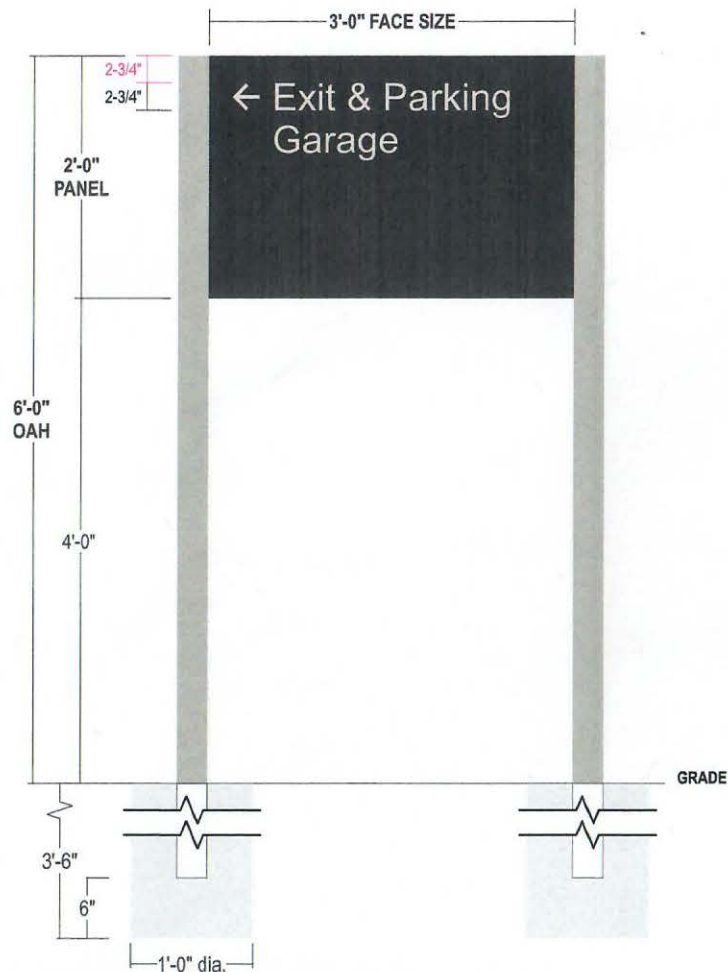
Brief description of sign or project:

Sign type E 08 - Replace existing alum panel & square tube post with one new 2' high x 3' wide, double post

Please email completed application to elitchman@needhamma.gov

& panel sign, to match others on property, directional sign. Single sided.

Revised 2/2020



FACES: .125 aluminum faces welded to posts; painted as shown

GRAPHICS: Surface applied digitally printed vinyls w/ UV overlamine to match colors shown

FONT: Arial

SUPPORTS: 3" x 3" square tube supports;
paint to match colors show

INSTALL: Direct burial installation into 1'-0" dia. concrete footing;
3000 PSI concrete or greater

QUANTITY: (1) ONE post & panel sign required

color key:

 Pantone® Warm Gray 1 C - Oyster

 Pantone® 419 C - Graphite

 Pantone® Cool Gray 10 C - French Gray

EXISTING CONDITIONS



EXISTING SIGN TO BE REMOVED
AND REPLACED AS REQUIRED.

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PROJECT MANAGER:

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TOWN OF NEEDHAM

DESIGN REVIEW BOARD

Public Service Administration Building

500 Dedham Avenue

Needham, MA 02492

Application and Report

Property Location: 100 Cabot Street **Date:** 9/12/22

Owner: WCP Needham Cabot c/o Sheraton Hotel & Step Stone Hospitality

Address: 100 Cabot Street, Needham, MA 02494

Telephone: 978-790-8156

Applicant: Stratus c/o Signs by J, Inc.

Address: 100 Tenean Street, Dorchester, MA 02122

Telephone: 617-825-9855

Designer/Installer: Signs by J, Inc.

Address: 100 Tenean Street, Dorchester, MA 02122

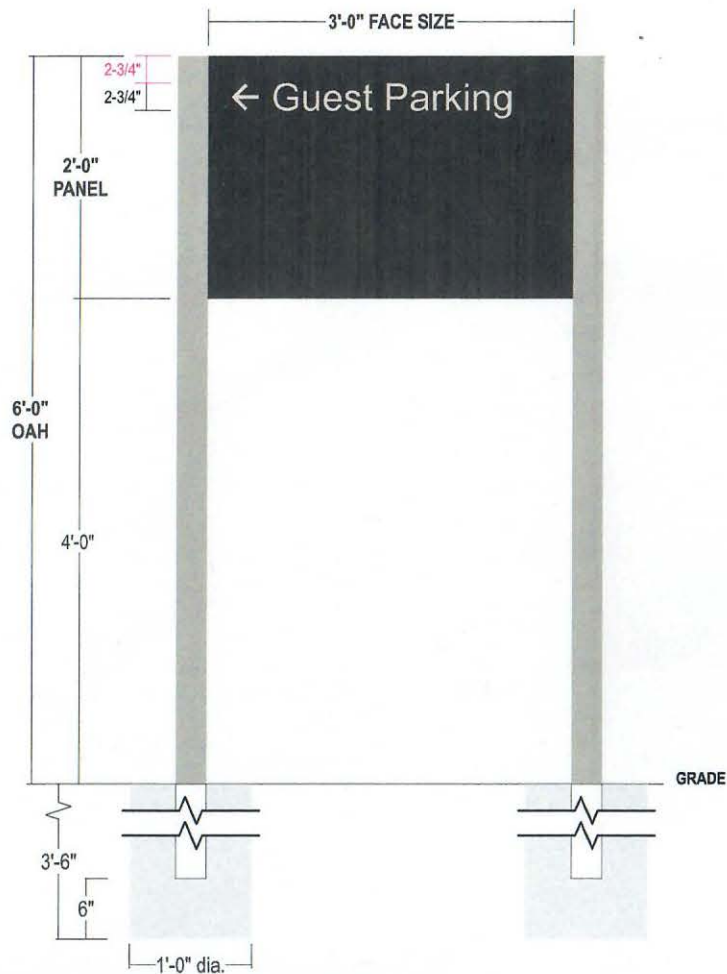
Telephone: 617-825-9855

Type of Application
☒ Sign
☐ Minor Project
☐ Exterior Alterations
Major Project (Site Plan Review)
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☐ - final
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☐ Residential Compound

Brief description of sign or project:

Sign type E09 Replace existing 2' high
x 3' wide Flat alum panel on U-channel
posts with one new double post +
panel sign to match others on
property. Single sided directional sign.

Revised 2/2020



FACES: .125 aluminum faces welded to posts; painted as shown

GRAPHICS: Surface applied digitally printed vinyls w/ UV overlamine to match colors shown

FONT: Arial

SUPPORTS: 3" x 3" square tube supports;
paint to match colors show

INSTALL: Direct burial installation into 1'-0" dia. concrete footing;
3000 PSI concrete or greater

QUANTITY: (1) ONE post & panel sign required

color key:

 Pantone® Warm Gray 1 C - Oyster

 Pantone® 419 C - Graphite

 Pantone® Cool Gray 10 C - French Gray

EXISTING CONDITIONS



EXISTING SIGN TO BE REMOVED
AND REPLACED AS REQUIRED.

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12

ORDER NUMBER:

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SITE NUMBER:

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PROJECT NUMBER:

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PROJECT MANAGER:

JAMES PEAKE / TIM FENSKE

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TOWN OF NEEDHAM

DESIGN REVIEW BOARD

Public Service Administration Building

500 Dedham Avenue

Needham, MA 02492

Application and Report

Property Location: 100 Cabot Street **Date:** 9/12/22

Owner: WCP Needham Cabot c/o Sheraton Hotel & Step Stone Hospitality

Address: 100 Cabot Street, Needham, MA 02494

Telephone: 978-790-8156

Applicant: Stratus c/o Signs by J, Inc.

Address: 100 Tenean Street, Dorchester, MA 02122

Telephone: 617-825-9855

Designer/Installer: Signs by J, Inc.

Address: 100 Tenean Street, Dorchester, MA 02122

Telephone: 617-825-9855

Type of Application
☒ Sign
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☐ Flexible Subdivision
☐ Planned Residential Development
☐ Residential Compound

Brief description of sign or project:

Sign type E10 - Replace existing 3'x3' flat aluminum panel at garage entrance with new. Same size + location.

Please email completed application to elitchman@needhamma.gov



FACES: .125 flat aluminum panel; painted as shown

GRAPHICS: Surface applied digitally printed vinyls w/ UV overlamine to match colors shown

POSTS: Paint existing post to match colors shown

FONT: Arial

PANEL COPY: TBV

INSTALL: *Secure faces to wall with studs backed with silicone as required*

QUANTITY: (1) ONE replacement face for post & panel sign required

color key:

 Pantone® Warm Gray 1 C - Oyster

 Pantone® 419 C - Graphite

EXISTING CONDITIONS



EXISTING PANEL TO BE REMOVED AND REPLACED AS REQUIRED.

Stratus™

stratusunlimited.com

8969 Tyler Boulevard
Mentor, Ohio 44060
888.503.1569

CLIENT:

SHERATON

ADDRESS:

Sheraton
100 Cabot Street
Needham, MA 02494

PAGE NO.:

13

ORDER NUMBER:

1176033

SITE NUMBER:

989936

ELECTRONIC FILE NAME:

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PROJECT NUMBER:

85894

PROJECT MANAGER:

JAMES PEAKE / TIM FENSKE

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	382225	05/12/22 SC					
Rev 1	393300	08/03/22 SC	Revised sizing				
Rev 2	398180	09/02/22 AS	Revised dimensions				

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TOWN OF NEEDHAM

DESIGN REVIEW BOARD

Public Service Administration Building

500 Dedham Avenue

Needham, MA 02492

Application and Report

Property Location: 100 Cabot Street **Date:** 9/12/22

Owner: WCP Needham Cabot c/o Sheraton Hotel & Step Stone Hospitality

Address: 100 Cabot Street, Needham, MA 02494

Telephone: Street 978-790-8156 City State Zip

Applicant: Stratus c/o Signs by J, Inc.

Address: 100 Tenean Street, Dorchester, MA 02122

Telephone: Street 617-825-9855 City State Zip

Designer/Installer: Signs by J, Inc.

Address: 100 Tenean Street, Dorchester, MA 02122

Telephone: Street 617-825-9855 City State Zip

Type of Application
☒ Sign
☐ Minor Project
☐ Exterior Alterations
Major Project (Site Plan Review)
☐ - preliminary
☐ - final
☐ Flexible Subdivision
☐ Planned Residential Development
☐ Residential Compound

Brief description of sign or project:

Sign type E11 - Two new proposed
13'12" high x 15" wide, stainless steel
etched plaques to be mounted on
columns at hotel entrance.

Please email completed application to elitchman@needhamma.gov

E11

ENTRANCE PLAQUE

Scale: 3"=1'-0"

EP

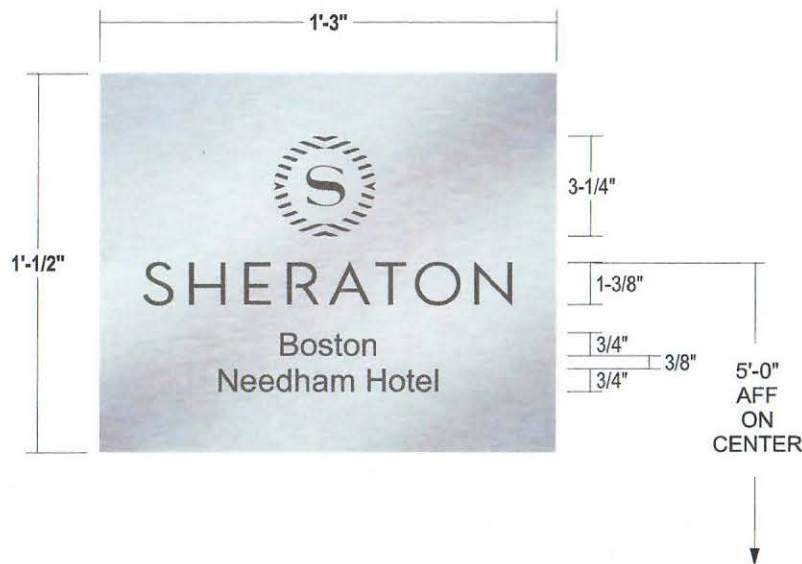
3.3 square feet



EXISTING CONDITIONS



COLUMNS ARE 1'-3-1/2" WIDE



Entrance Specifications:

Construction: 1/4" stainless steel

Decoration: Logo and copy to be etched 1/32" deep
and filled with paint to match Pantone® 8405
C Metallic Coated, Warm Tungsten

color key:

Stainless Steel

Pantone® 419 C - Graphite

WALL MATL: EFIS Columns

INSTALL: Panel to be flush mounted with studs and silicone

QUANTITY: (2) TWO NEW PANELS REQUIRED FOR ENTRANCE

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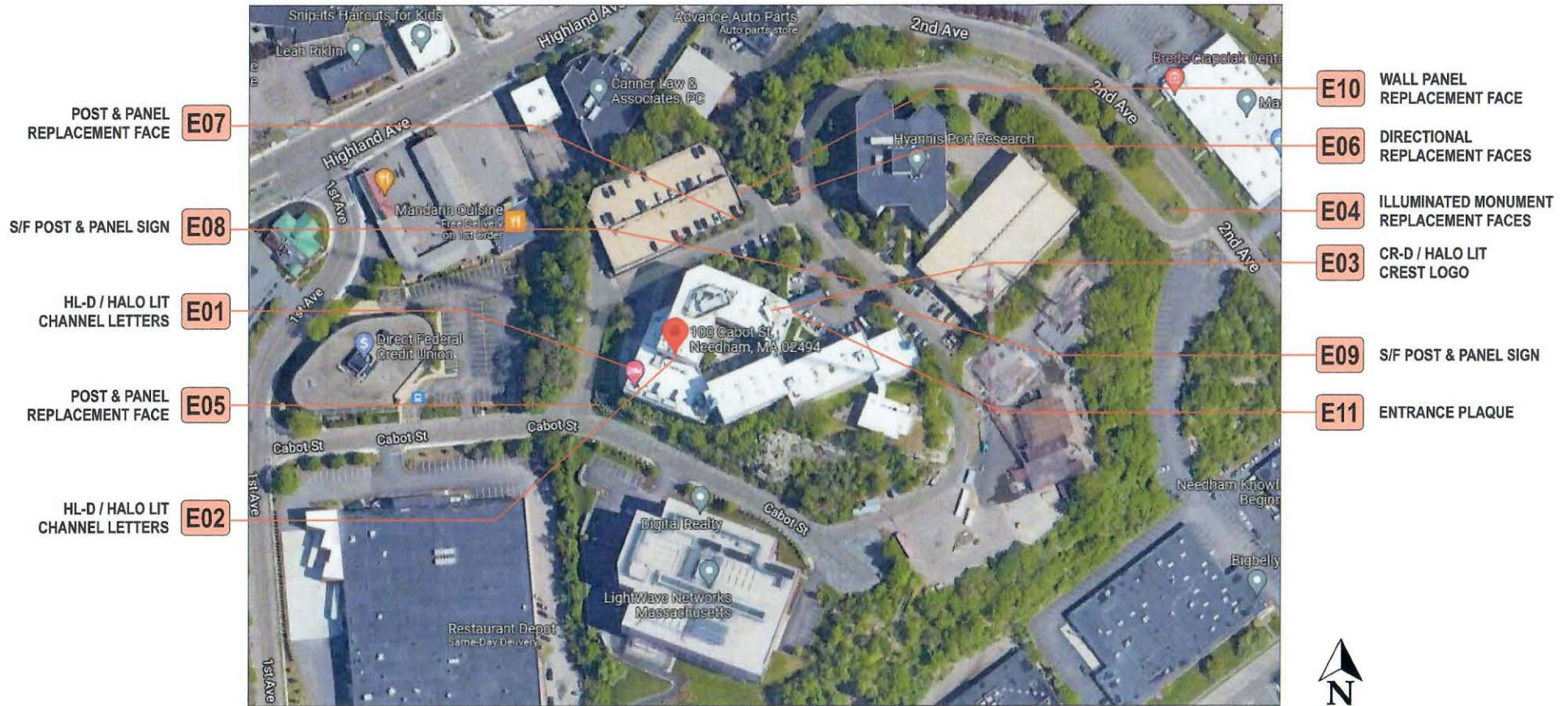
PROJECT MANAGER:

JAMES PEAKE / TIM FENSKE

Rev #	Req #	Date/Artist	Description
Original	382225	05/12/22 SC	
Rev 1	393300	08/03/22 SC	Added to scope
Rev 2	398160	09/02/22 AS	Revised dimensions

Rev #	Req #	Date/Artist	Description

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Rev 2	398160	09/02/22 AS					

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