

DESIGN REVIEW BOARD

Monday, April 25, 2022

7:30p.m.

Virtual Meeting using Zoom

Meeting ID: 845-1987-6965

(Instructions for accessing below)

Under Governor Baker's Act "Extending Certain COVID-10 Measures Adopted During the State of Emergency", extending the "Executive Order Suspending Certain Provisions of the Open Meeting Law G.L. c. 30A, S20," issued June 16, 2021, and in effect until April 1, 2022, meeting of public bodies may be conducted virtually provided that adequate access is provided to the public. Recently the Governor signed into law (Chapter 22 of the Acts of 2022) an extension to the temporary provisions that allow for remote public meetings to continue through July 15, 2022.

**To view and participate in this virtual meeting on your phone, download the "Zoom Cloud Meetings" app in any app store or at www.zoom.us. At the above date and time, click on "Join a Meeting" and enter the following Meeting ID: 845-1987-6965
Link: <https://us02web.zoom.us/j/84519876965>**

To view and participate in this virtual meeting on your computer, at the above date and time, go to www.zoom.us click "Join a Meeting" and enter the following ID: 845-1987-6965

APPLICANTS:

Marc Mandel, The Needham Channel located at 257 Chestnut Street and requesting an informal review of landscaping.

Jason Gagnon, Sousa Signs representing Home Décor Group located at 1424 Highland Avenue and applying for signage.

Jeff Lyons and Randy Goldberg of Intrum Corp. located at 110-116 Gould Street, 95-101 Hampton Avenue, 11 Ellis Street and 45-55 Kearney Road and applying for façade work.

Mike Moskowitz, owner Needham Gateway located at 100 and 120 Highland Avenue and applying for installation of additional dumpster enclosure review per the Needham Planning Board.

Hank Haff, Director Building Design & Construction for Town of Needham, applying for minor site plan review for renovations at 1330 Highland Avenue Emory Grover Building.

Paul Good, Revitalization Trust Fund, applying for wall banner design to be located at 1037 Great Plain Avenue exterior wall facing west towards Eaton Square.

Paul Good, Revitalization Trust Fund, applying for QR Code/Banner System sign to be located in Eaton Square Plaza.

REVIEW

Minutes of 2/28/2022 meeting.

Minutes of 3/28/2022 meeting.

Next Public Meeting – May 16, 2022 at 7:30pm via Zoom Webinar



Needham
Channel

Entrance

Parking lot

City
trip
pl.



boxwood



azalea



hostas



boxwood



azalea



hostas



azalea

Entrance



azalea



hostas



boxwood



azalea



hostas



boxwood

Sidewalk



Chestnut st





TOWN OF NEEDHAM

DESIGN REVIEW BOARD

Public Service Administration Building
500 Dedham Avenue
Needham, MA 02492
Application and Report

Property Location: 1424 Highland Ave. **Date:** 4-15-22

Owner: Georgacopoulos, Tasos, TR

Address: 165 Palmer St. Arlington MA 02474
Street City State Zip

Telephone: _____

Applicant: Home Decor Group

Address: 1424 Highland Ave. Needham MA 02492
Street City State Zip

Telephone: 717-903-6662

Designer/Installer: Sousa Signs, LLC

Address: 225 East Industrial Park Drive Manchester NH 03109
Street City State Zip

Telephone: 603-622-5067

<i>Type of Application</i>	
☒	Sign
☐	Minor Project
☐	Exterior Alterations
Major Project (Site Plan Review)	
☐	- preliminary
☐	- final
☐	Flexible Subdivision
☐	Planned Residential Development
☐	Residential Compound

Brief description of sign or project:

Remove and replace existing internal illuminated wall sign (main entrance) with a new, raceway mounted wall sign with internal illumination.

Please email completed application to elitchman@needhamma.gov



Quantity [1]

Design, furnish and install (1) internally, LED illuminated channel letter set, mounted to a low profile sign raceway, painted to match building exterior color. Plotter cut, translucent vinyl graphics on standard 5" channel letters. MET labs listed under Sousa Signs, LLC
 - existing channel letter set to be removed and new sign installed in place

Proposed Sign



NIGHT RENDERING



Existing Conditions



Sign is 27.1 sq.ft

RACEWAY SPECIFICATIONS

- RETURNS: 2" Aluminum or 3mm ACM
- COLOR: Painted to Match, BM-CSP-505 Evening Sky

CHANNEL LETTERS / RACEWAY SPECIFICATIONS

- FACES: 3/16" Translucent White SG Plexiglass
- RETURNS: 5" Matte Black Aluminum
- TRIM CAP: 1" Black
- LIGHTING: Hanley Led Brand, White LED
- COLOR: 3M Black, HP Vinyl
- COLOR: 3M 036 Dark Blue, Translucent Vinyl
- COLOR: 3M Cardinal Red, Translucent Vinyl

DATE: 4-15-22

JOB NAME: Home Decor Group - Exterior Wall Sign

REP: Jason

JOB LOCATION: 1424 Highland Ave., Needham, MA

CONTACT: Jonathan T.

Signature:

AUTHORIZED SIGNATURE REQUIRED TO BEGIN PRODUCTION



225 East Industrial Park Dr. Manchester, NH 03109
 603-622-5067 FAX 603-624-6188

Existing Conditions



Scope of Work; (2) Existing awnings to be re-wrapped with new awning fabric. Awning size and frames to remain original sizes. (1) New internally illuminated channel letter set, mounted to a low profile raceway to replace existing flush mounted, LED channel letters. (1) New non-illuminated wall sign (parking lot) to replace existing non-illuminated wall sign. This sign is under a special conditions permit and the overall sq.ft are being reduced.

DATE: 4-15-22	JOB NAME: Home Decor Group - Exterior Wall Sign		 225 East Industrial Park Dr. Manchester, NH 03109 603-622-5067 FAX 603-624-6188
REP: Jason	JOB LOCATION: 1424 Highland Ave., Needham, MA		
CONTACT: Jonathan T.		Signature: _____	
AUTHORIZED SIGNATURE REQUIRED TO BEGIN PRODUCTION			

"The information on this sheet is the property of SOUSA SIGNS, LLC and cannot be duplicated or used without the expressed written consent of SOUSA SIGNS, LLC."



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Public Service Administration Building
500 Dedham Avenue
Needham, MA 02492
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Street City State Zip

Telephone: _____

Applicant: Home Decor Group

Address: 1424 Highland Ave. Needham MA 02492
Street City State Zip

Telephone: 717-903-6662

Designer/Installer: Sousa Signs, LLC

Address: 225 East Industrial Park Drive Manchester NH 03109
Street City State Zip

Telephone: 603-622-5067

<i>Type of Application</i>	
☒	Sign
☐	Minor Project
☐	Exterior Alterations
Major Project (Site Plan Review)	
☐	- preliminary
☐	- final
☐	Flexible Subdivision
☐	Planned Residential Development
☐	Residential Compound

Brief description of sign or project:

Remove and replace existing wayfinding wall sign on parking lot frontage. New wall sign will feature dimensional,
non-illuminated letters on a backer panel. Sign overall size has been reduced.

Please email completed application to elitchman@needhamma.gov

45 7/8"



Benjamin Moore®

3/8" painted acrylic letters, flush mounted to backer panel

brake formed, 040 white aluminum, pan frame

plotter cut vinyl "Registered mark"

Side View

Proposed Sign



Quantity [1]

Design, furnish and install (1) new, non-illuminated sign featuring 3/8" painted dimensional letters and low projection off wall.

- 3/8" painted acrylic letters
- stud / bolt mounting method for letters
- non-illuminated

Existing Conditions



Sign is 1.9 sq.ft

GENERAL LETTER SPECIFICATIONS

- ☐ LETTERS: 3/8" Acrylic, White
- ☐ PANEL: 040 Aluminum, Pan Frame
- ☐ MOUNTING: Stud Mounted / Bolted to Backer Panel
- ☒ COLOR: Painted to Match Pantone 200c
- ☒ COLOR: Painted to Match Pantone 289c

DATE: 4-15-22

JOB NAME: Home Decor Group - Exterior Wall Sign

REP: Jason

JOB LOCATION: 1424 Highland Ave., Needham, MA

CONTACT: Jonathan T.

Signature:

AUTHORIZED SIGNATURE REQUIRED TO BEGIN PRODUCTION



225 East Industrial Park Dr. Manchester, NH 03109
603-622-5067 FAX 603-624-6188



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DESIGN REVIEW BOARD

Public Service Administration Building
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Telephone: _____

Applicant: Home Decor Group

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Street City State Zip

Telephone: 717-903-6662

Designer/Installer: Sousa Signs, LLC

Address: 225 East Industrial Park Drive Manchester NH 03109
Street City State Zip

Telephone: 603-622-5067

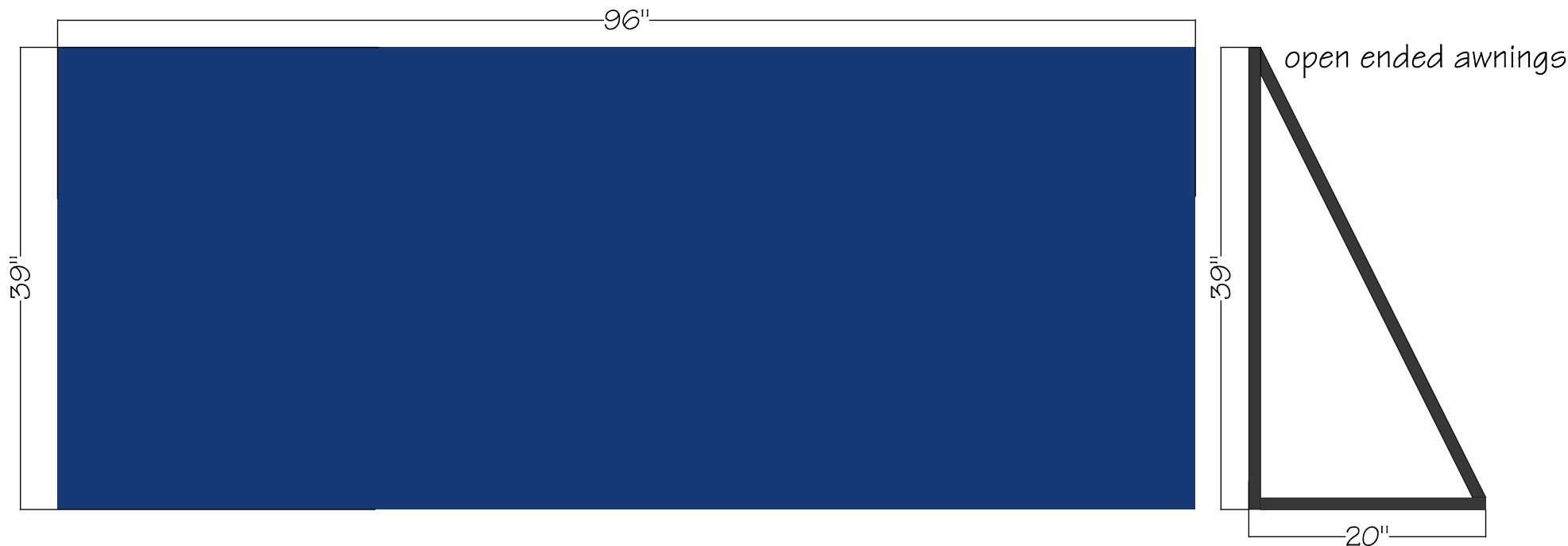
Type of Application
☐ Sign
☐ Minor Project
☒ Exterior Alterations - awning recover
Major Project (Site Plan Review)
☐ - preliminary
☐ - final
☐ Flexible Subdivision
☐ Planned Residential Development
☐ Residential Compound

Brief description of sign or project:

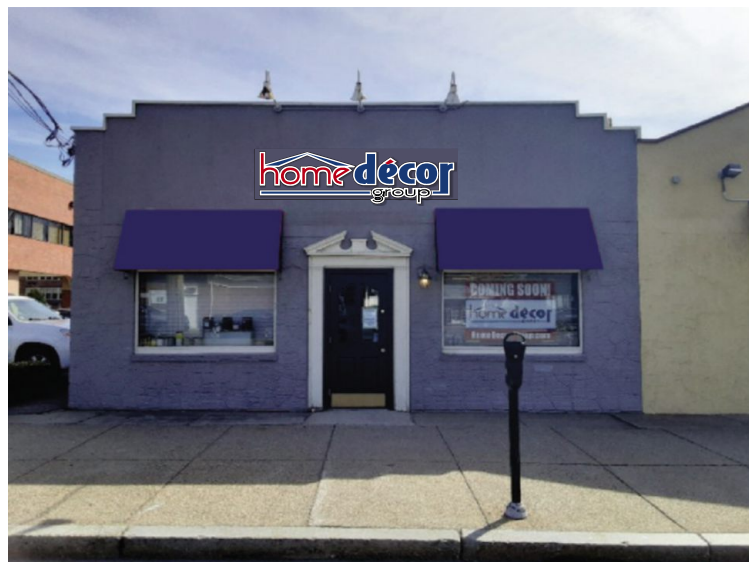
(2) Existing, non-illuminated building awnings to have new awning fabric wrapped to existing awning frames.

No new graphics will be added and awning sizes to remain as current.

Please email completed application to elitchman@needhamma.gov



Proposed Sign



Quantity [2]

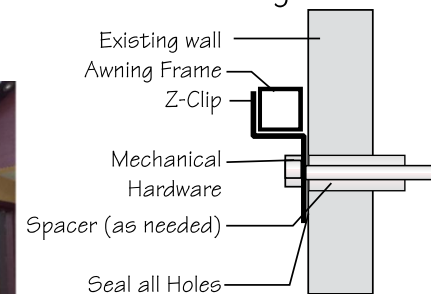
Existing building awnings to remain as current sizes and location on building. New blue fabric awning material to replace the faded and dirty red color. Mounting points to be inspected and new z-clips to replace existing if needed.

- Tempesto, intense blue fabric
- Existing awning frames to be inspected

Existing Conditions



Mounting Detail



RACEWAY SPECIFICATIONS

- AWNING FRAME: Existing 1x1 Welded Frame
- CANVAS: Tempesto, Intense Blue T414-60

DATE: 4-15-22

JOB NAME: Home Decor Group - Exterior Wall Sign

REP: Jason

JOB LOCATION: 1424 Highland Ave., Needham, MA

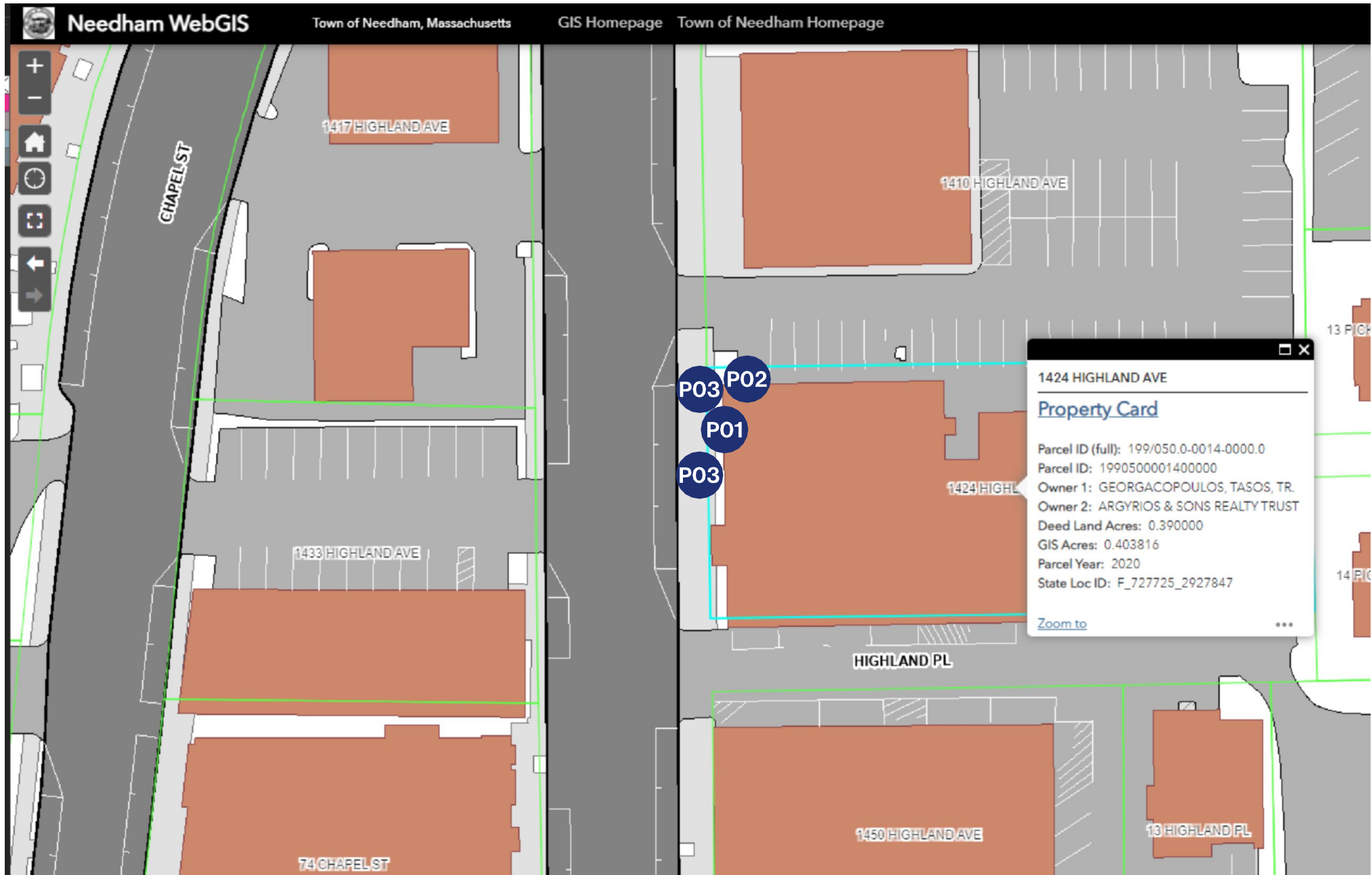
CONTACT: Jonathan T.

Signature:

AUTHORIZED SIGNATURE REQUIRED TO BEGIN PRODUCTION



225 East Industrial Park Dr. Manchester, NH 03109
603-622-5067 FAX 603-624-6188



DATE: 4-15-22	JOB NAME: Home Decor Group - Exterior Wall Sign		 225 East Industrial Park Dr. Manchester, NH 03109 603-622-5067 FAX 603-624-6188
REP: Jason	JOB LOCATION: 1424 Highland Ave., Needham, MA		
CONTACT: Jonathan T.		Signature: _____	
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TOWN OF NEEDHAM

DESIGN REVIEW BOARD

Public Service Administration Building
500 Dedham Avenue
Needham, MA 02492

Application and Report

Property Location: 110-116 Gould St., 95-101 Hampton Ave.,
11 Ellis, and 45-55 Kearney Rd. Date: 4/13/22

Owner: IC Needham Gould Portfolio LLC

Address: 180 Wells Ave. Ste. 100 Newton MA 02459
Street City State Zip

Telephone: 617 969 6000

Applicant: Randy Goldberg, on behalf of IC Needham Gould
Portfolio LLC

Address: 180 Wells Ave Ste. 100 Newton MA 02459
Street City State Zip

Telephone: 617 969 6000

Designer/Installer: John LaFreniere Architects

Address: 678 Massachusetts Ave Cambridge MA 02139
Street City State Zip

Telephone: 617 661 4222

Type of Application
☐ Sign
☐ Minor Project
☒ Exterior Alterations
Major Project (Site Plan Review)
☐ - preliminary
☐ - final
☐ Flexible Subdivision
☐ Planned Residential Development
☐ Residential Compound

Brief description of sign or project:

Repaint exterior building facade, install new storefront
systems (110-116 Gould only), new tenant entries (door systems &
glazed surrounds), decorative fin installation and aluminum
Please email completed application to elitchman@needhamma.gov design application.

SITE AERIAL PLAN





AERIAL SITE VIEW



CORNER OF GOULD AND KEARNEY STREETS



VIEW FROM KEARNEY STREET



VIEW FROM GOULD STREET



VIEW FROM GOULD STREET - TYPICAL EXISTING ENTRANCE/ WINDOW



AERIAL SITE VIEW



VIEW FROM ELLIS STREET



VIEW FROM HAMPTON AVE



VIEW FROM HAMPTON AVE



VIEW FROM ELLIS STREET



VIEWS OF SURROUNDINGS



VIEW FROM ELLIS STREET



VIEW FROM ELLIS STREET



VIEW FROM HAMPTON STREET



VIEW FROM HAMPTON STREET



VIEWS OF SURROUNDINGS



KEARNEY STREET



KEARNEY STREET

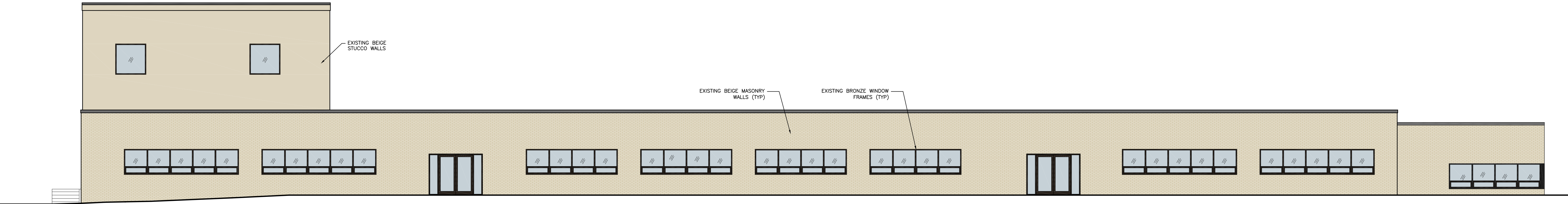


GOULD STREET AT KEARNEY

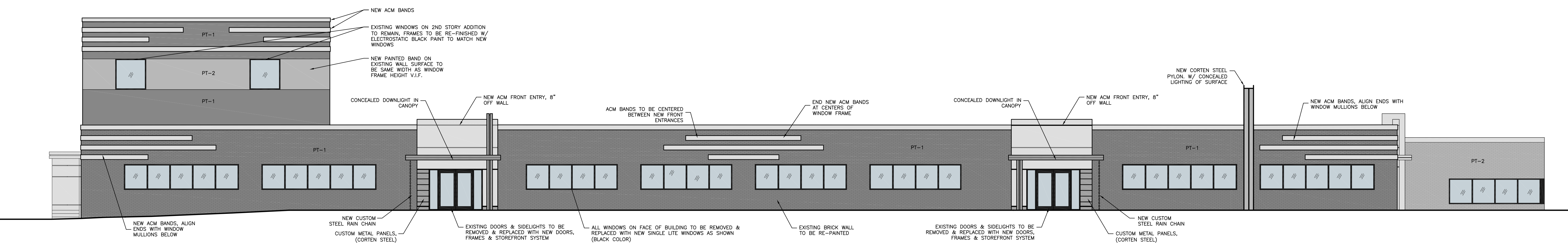


GOULD STREET AT ELLIS STREET

BUILDING A



EXISTING ELEVATION - GOULD STREET



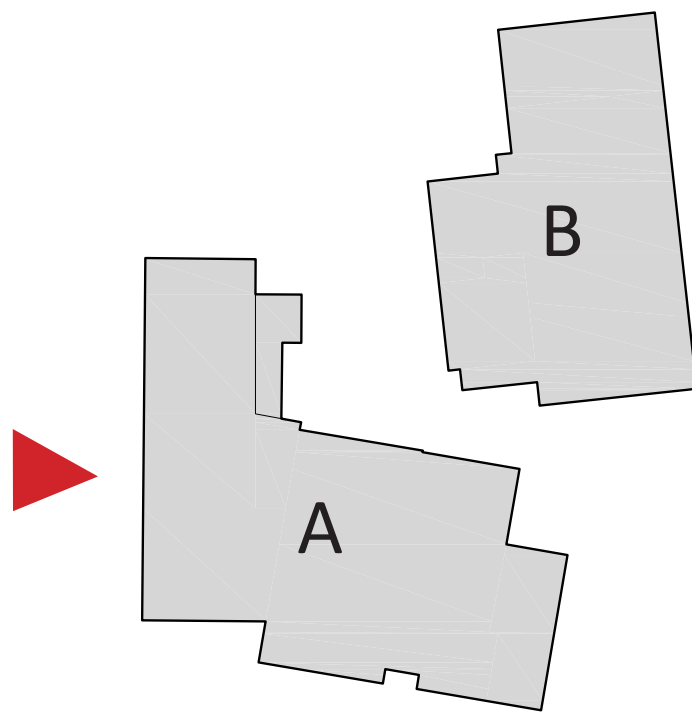
PROPOSED ELEVATION - GOULD STREET

PAINT SELECTIONS

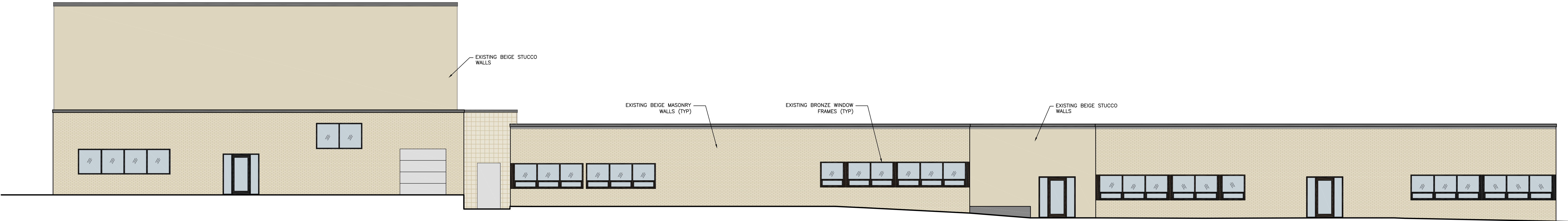
- PT1 - Benjamin Moore - Black Panther #2150-10
- PT2 - Benjamin Moore - Chelsea Gray #HC-168
ALT: Benjamin Moore - Platinum #PM-7

ACM PANEL SELECTIONS

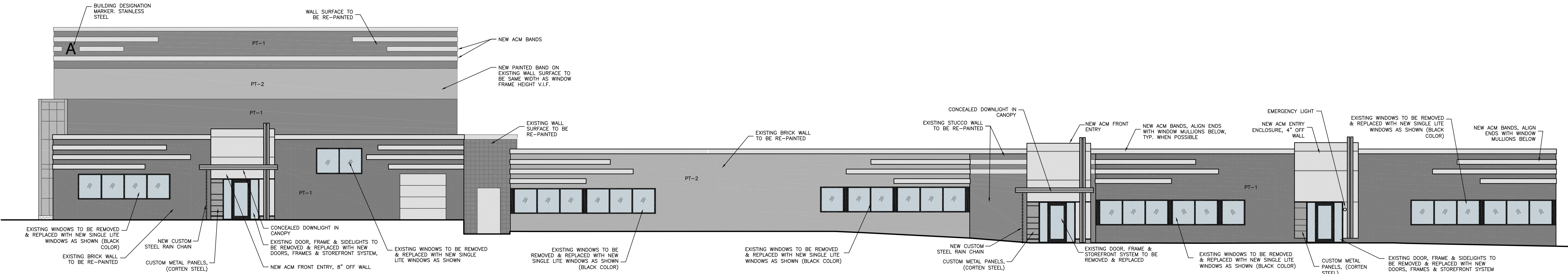
- ALPOLIC - MTLC TBX SLVR (LIGHTER)
- ALUCOBOND - MICA MZG GREY (DARKER)



BUILDING A



EXISTING ELEVATION - KEARNEY STREET



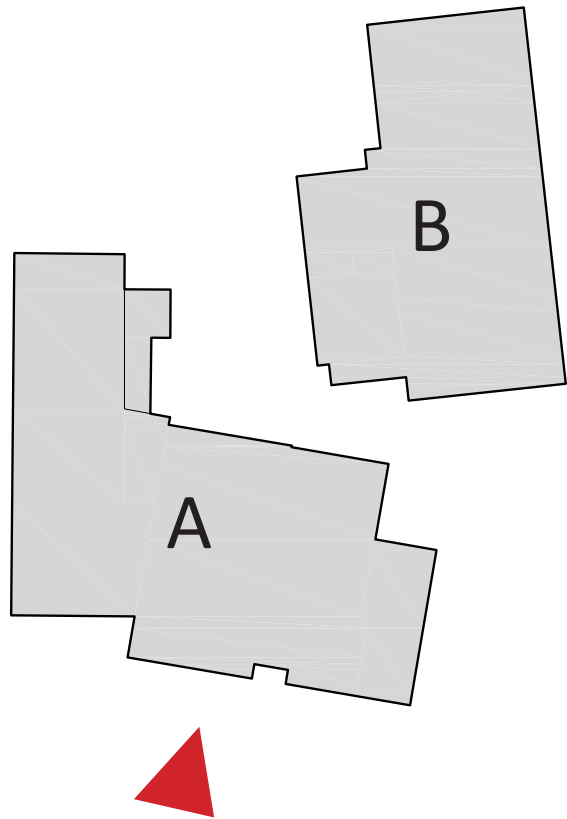
PROPOSED ELEVATION - KEARNEY STREET

PAINT SELECTIONS

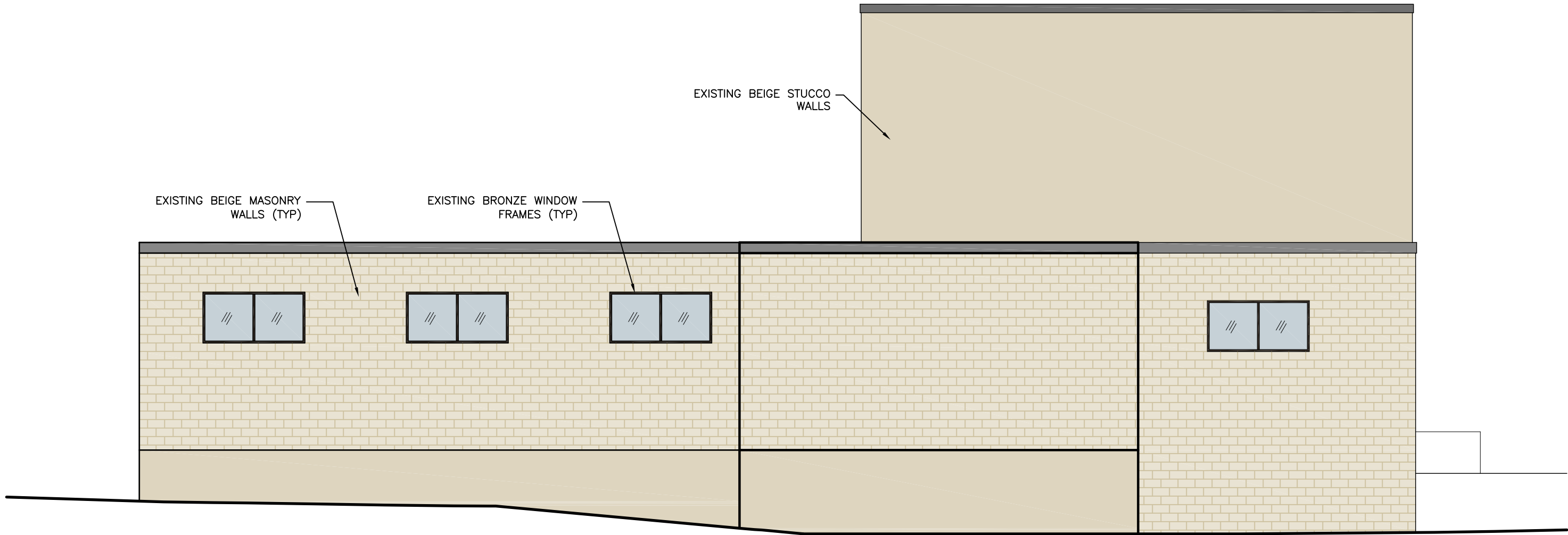
- PT1 - Benjamin Moore - Black Panther #2150-10
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ACM PANEL SELECTIONS

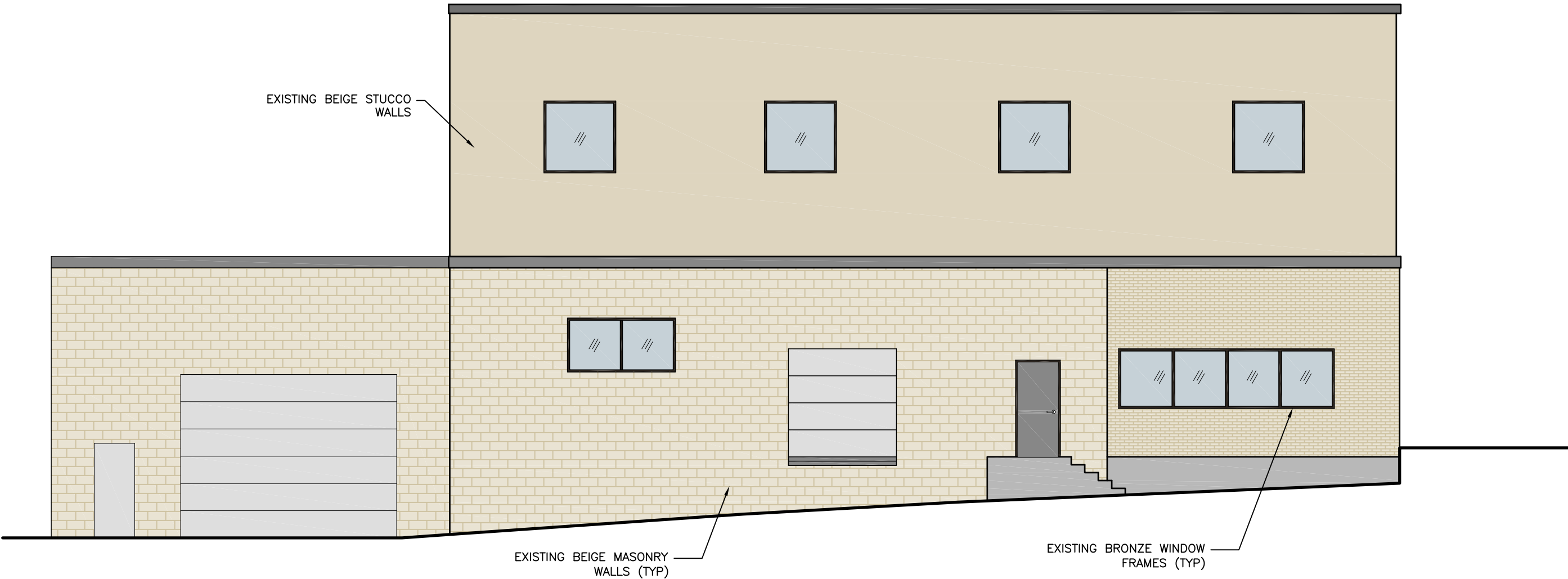
- ALPOLIC - MTLC TBX SLVR (LIGHTER)
- ALUCOBOND - MICA MZG GREY (DARKER)



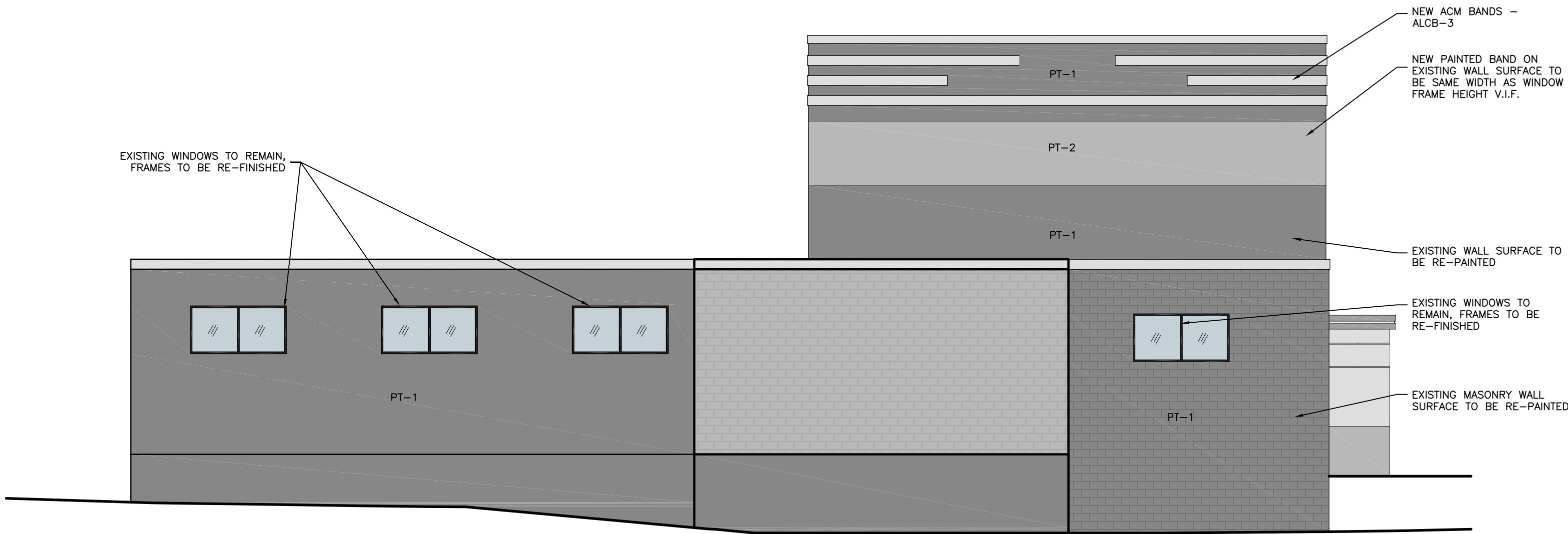
BUILDING A



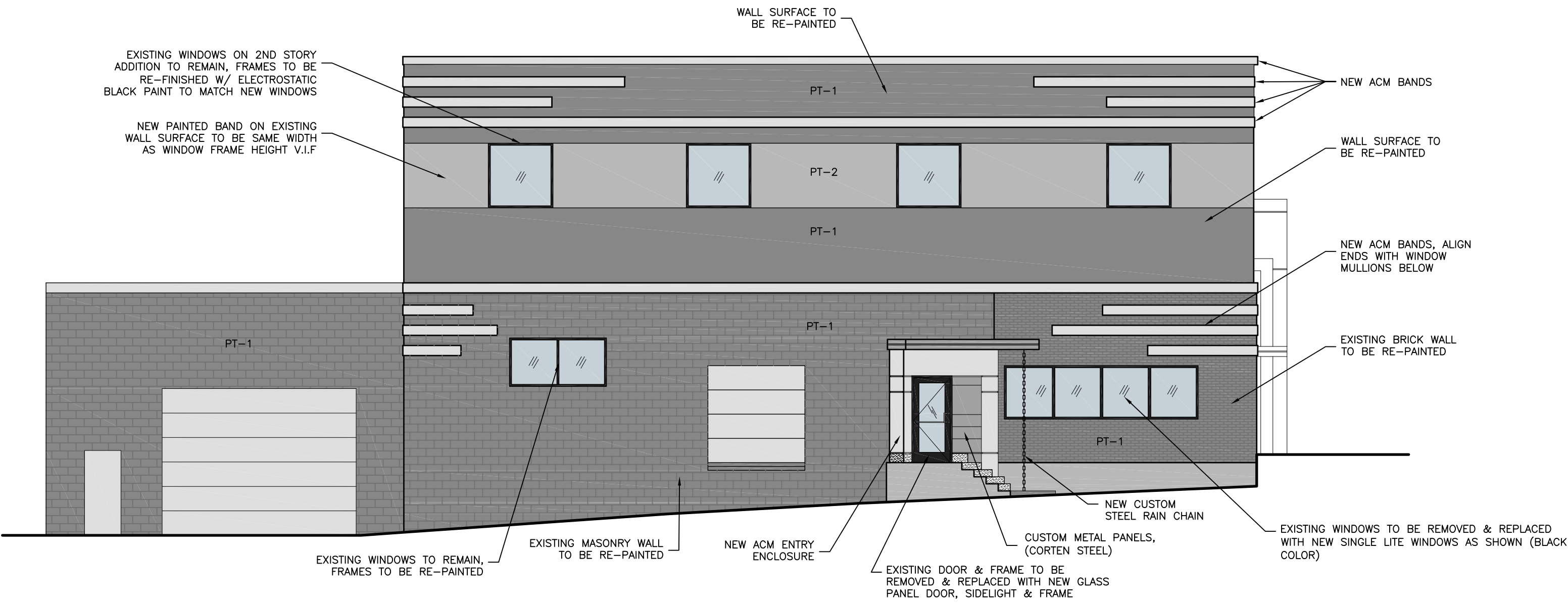
EXISTING ELEVATION - INTERIOR COURTYARD



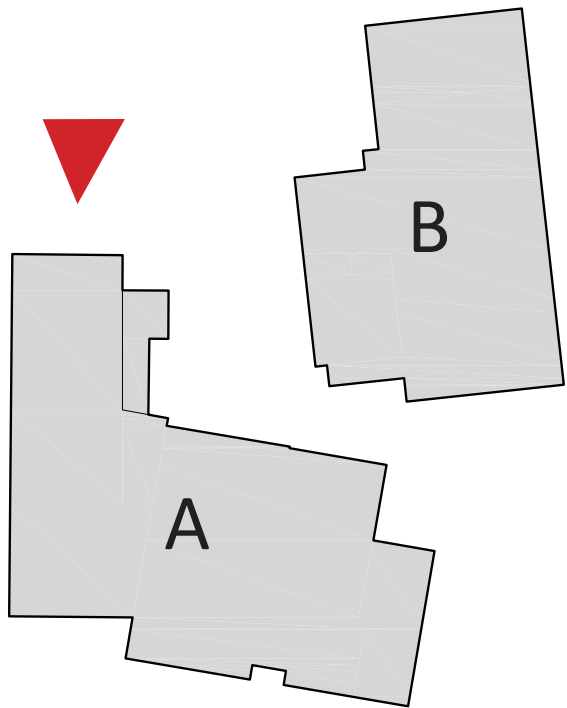
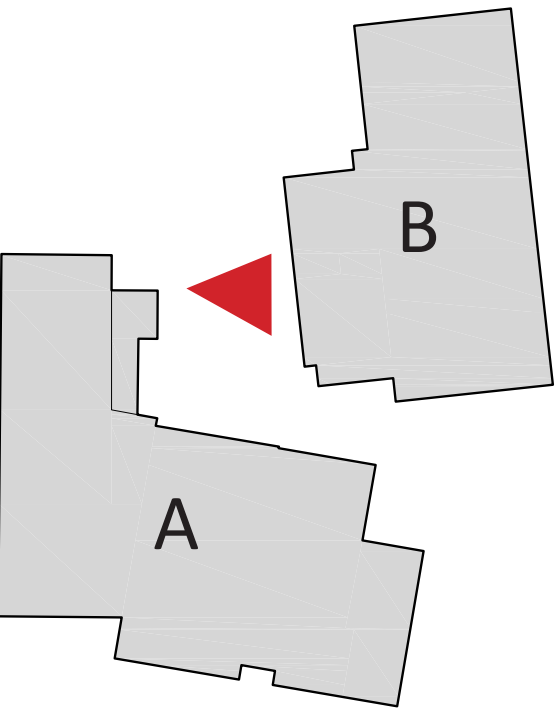
EXISTING ELEVATION - ELLIS STREET



PROPOSED ELEVATION - INTERIOR COURTYARD

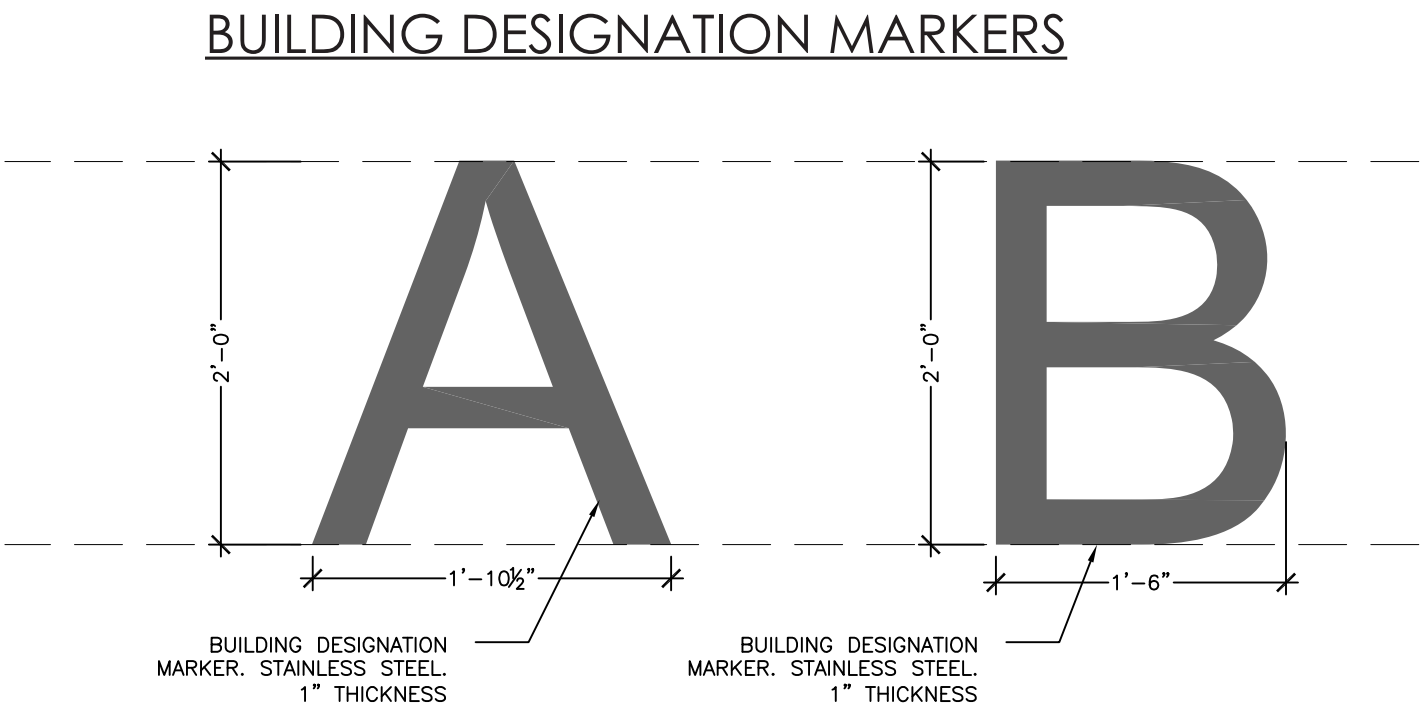


PROPOSED ELEVATION- ELLIS STREET



- PAINT SELECTIONS**
- PT1 - Benjamin Moore - Black Panther #2150-10
 - PT2 - Benjamin Moore - Chelsea Gray #HC-168
 - ALT: Benjamin Moore - Platinum #PM-7
- ACM PANEL SELECTIONS**
- ALPOLIC - MTLC TBX SLVR (LIGHTER)
 - ALUCOBOND - MICA MZG GREY (DARKER)

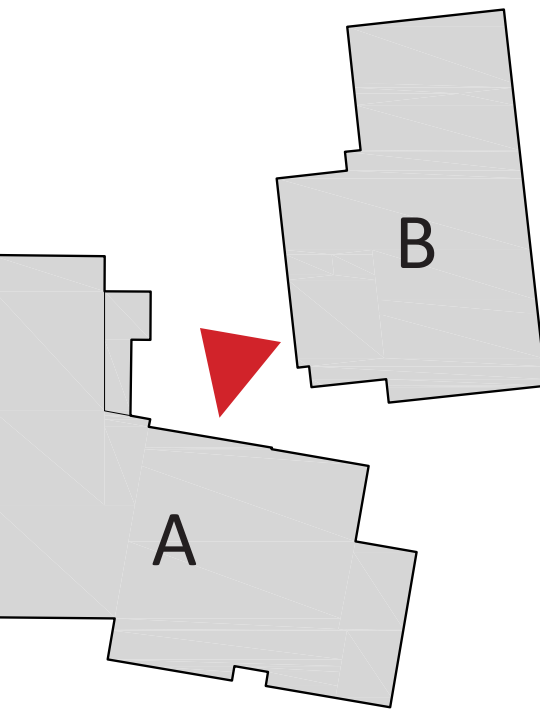
BUILDING A



EXISTING ELEVATION - INTERIOR COURTYARD



PROPOSED ELEVATION - INTERIOR COURTYARD



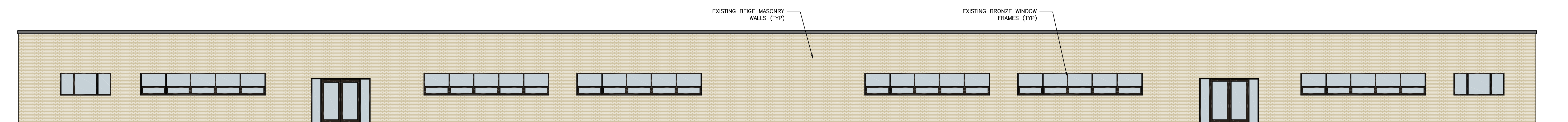
PAINT SELECTIONS

- PT1 - Benjamin Moore - Black Panther #2150-10
- PT2 - Benjamin Moore - Chelsea Gray #HC-168
ALT: Benjamin Moore - Platinum #PM-7

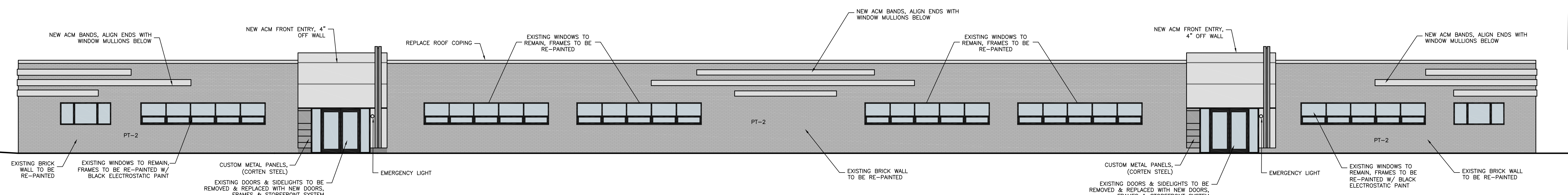
ACM PANEL SELECTIONS

- ALPOLIC - MTLC TBX SLVR (LIGHTER)
- ALUCOBOND - MICA MZG GREY (DARKER)

BUILDING B



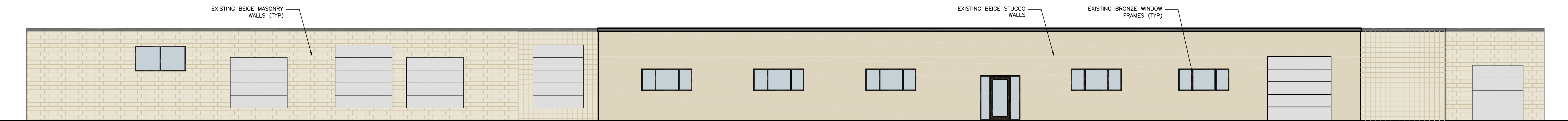
EXISTING ELEVATION - HAMPTON AVE



PROPOSED ELEVATION - HAMPTON AVE

PAINT SELECTIONS

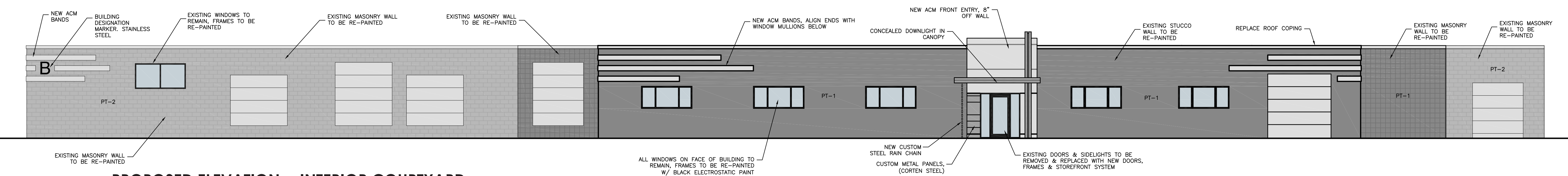
- PT1 - Benjamin Moore - Black Panther #2150-10
- PT2 - Benjamin Moore - Chelsea Gray #HC-168
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EXISTING ELEVATION - INTERIOR COURTYARD

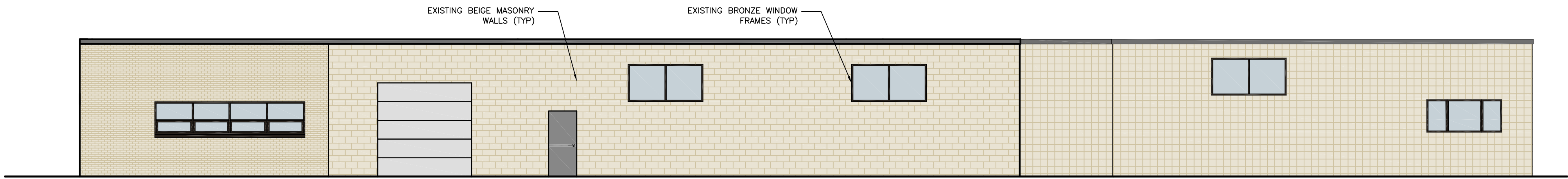
ACM PANEL SELECTIONS

- ALPOLIC - MTLC TBX SLVR (LIGHTER)
- ALUCOBOND - MICA MZG GREY (DARKER)

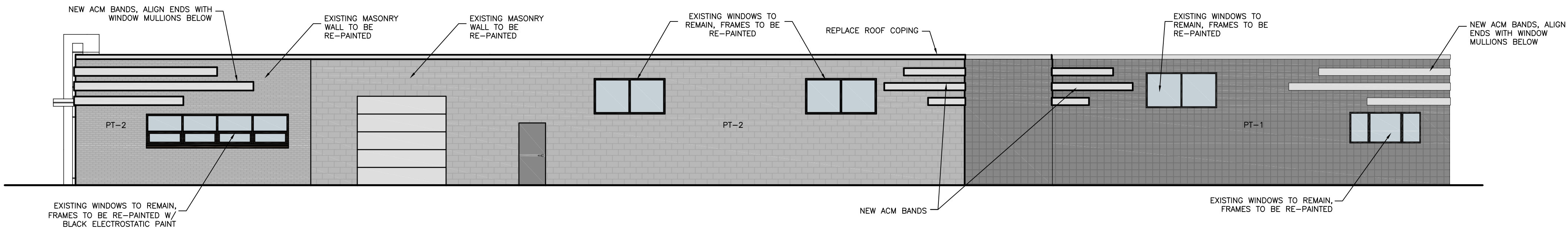


PROPOSED ELEVATION - INTERIOR COURTYARD

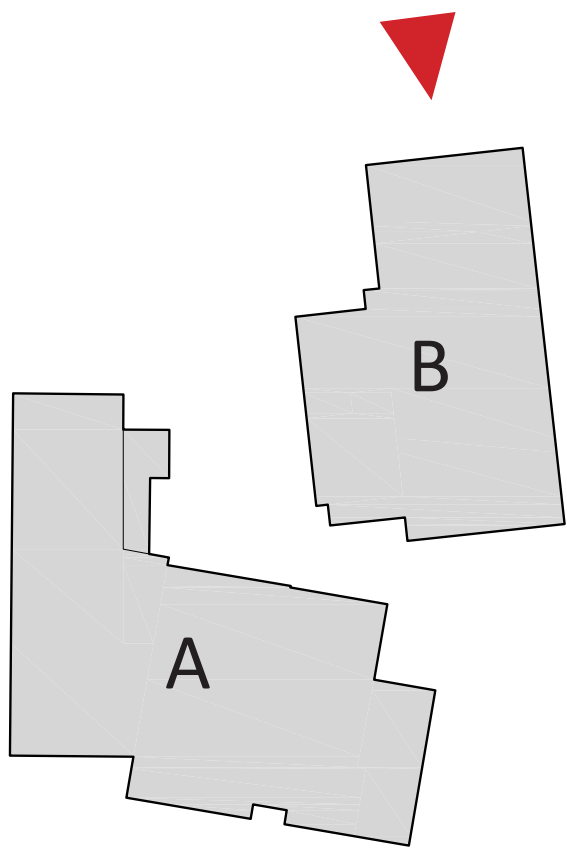
BUILDING B



EXISTING ELEVATION



PROPOSED ELEVATION



PAINT SELECTIONS

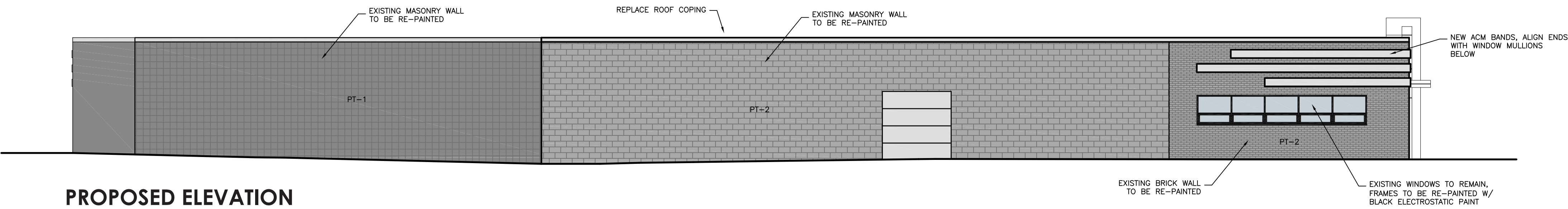
- PT1 - Benjamin Moore - Black Panther #2150-10
- PT2 - Benjamin Moore - Chelsea Gray #HC-168
ALT: Benjamin Moore - Platinum #PM-7

ACM PANEL SELECTIONS

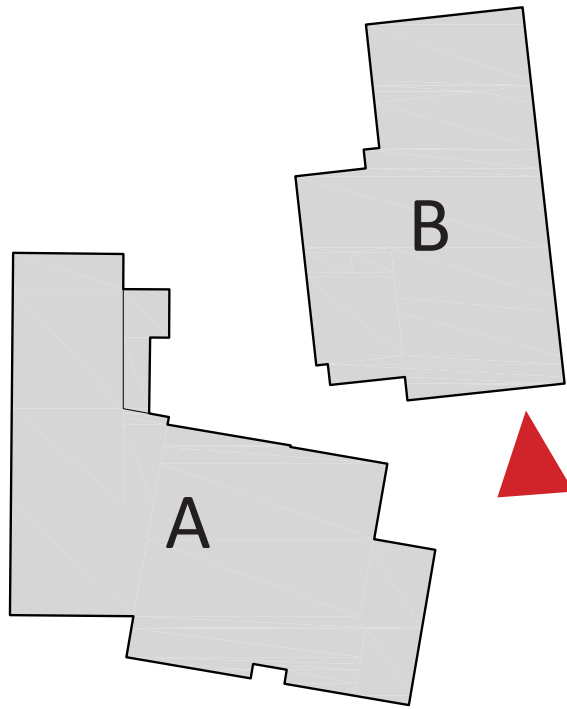
- ALPOLIC - MTLC TBX SLVR (LIGHTER)
- ALUCOBOND - MICA MZG GREY (DARKER)

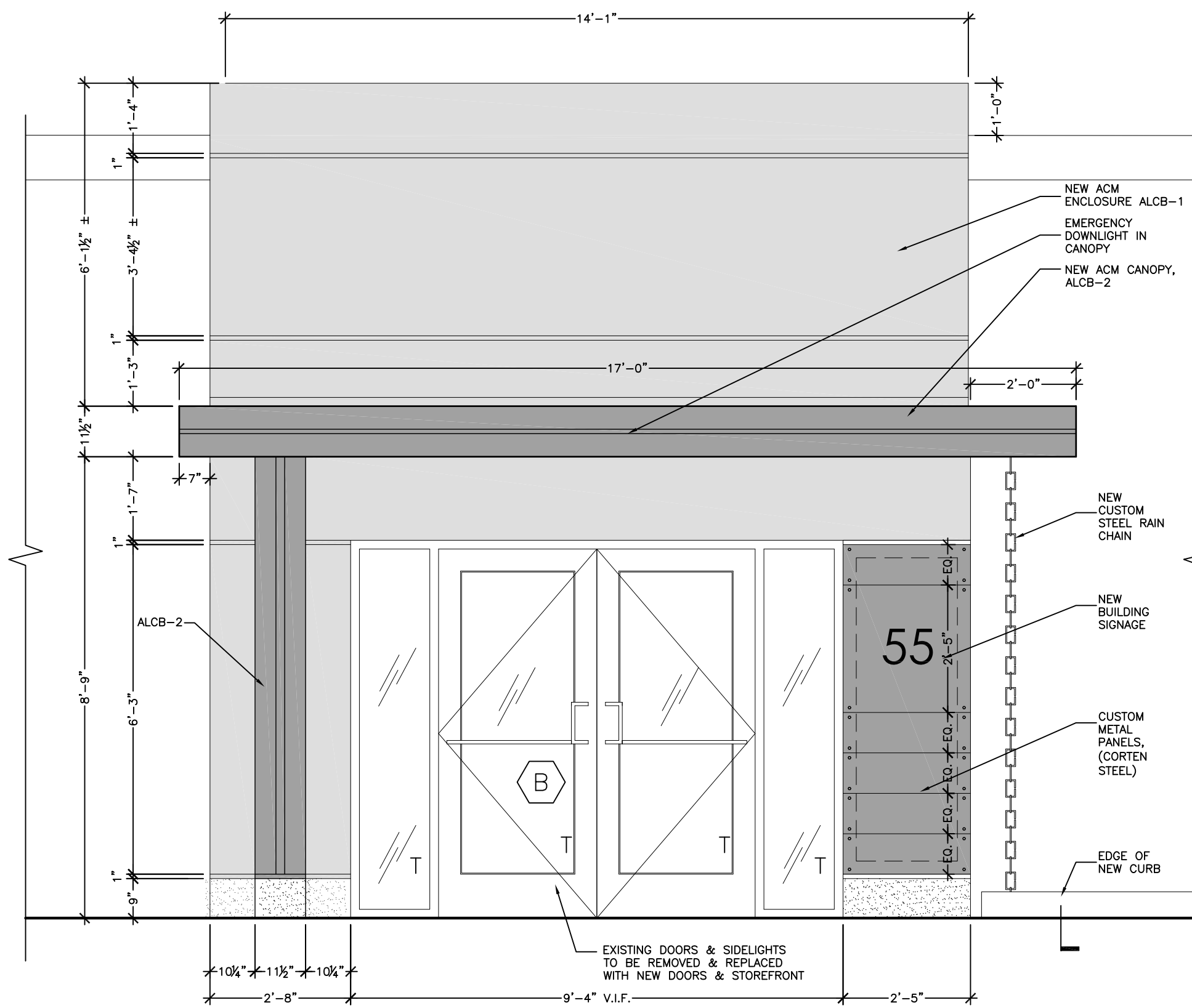


EXISTING ELEVATION

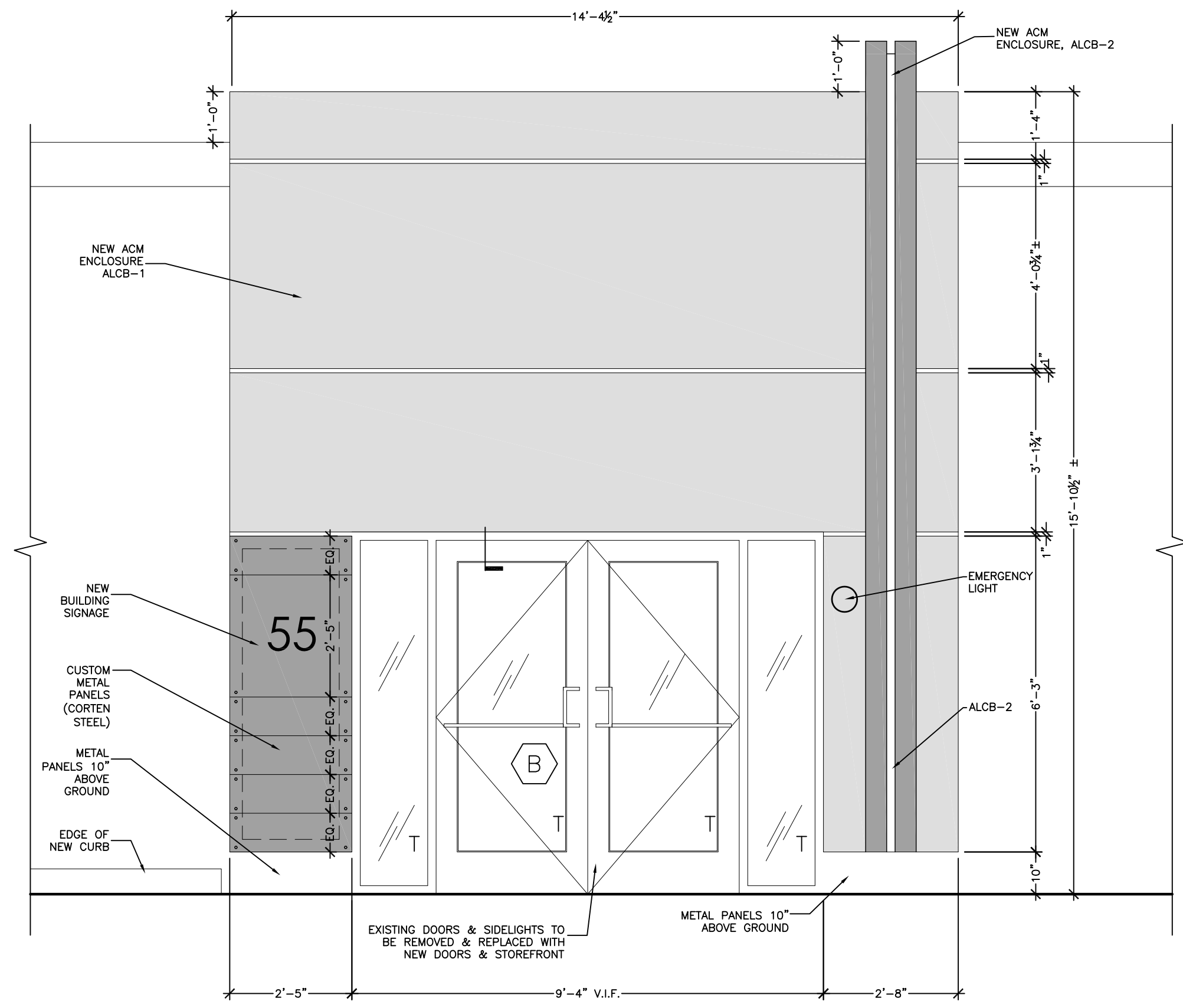


PROPOSED ELEVATION

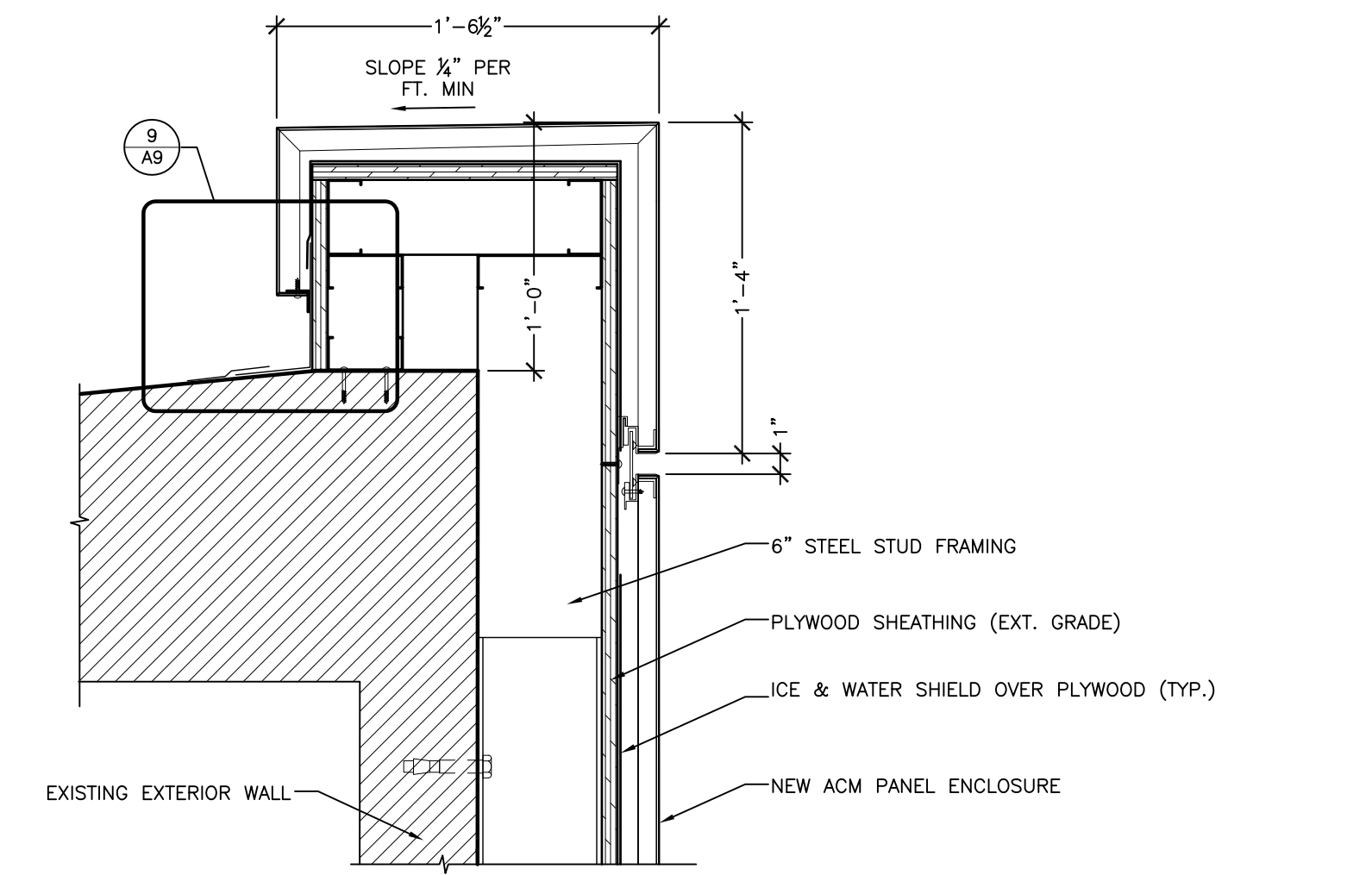




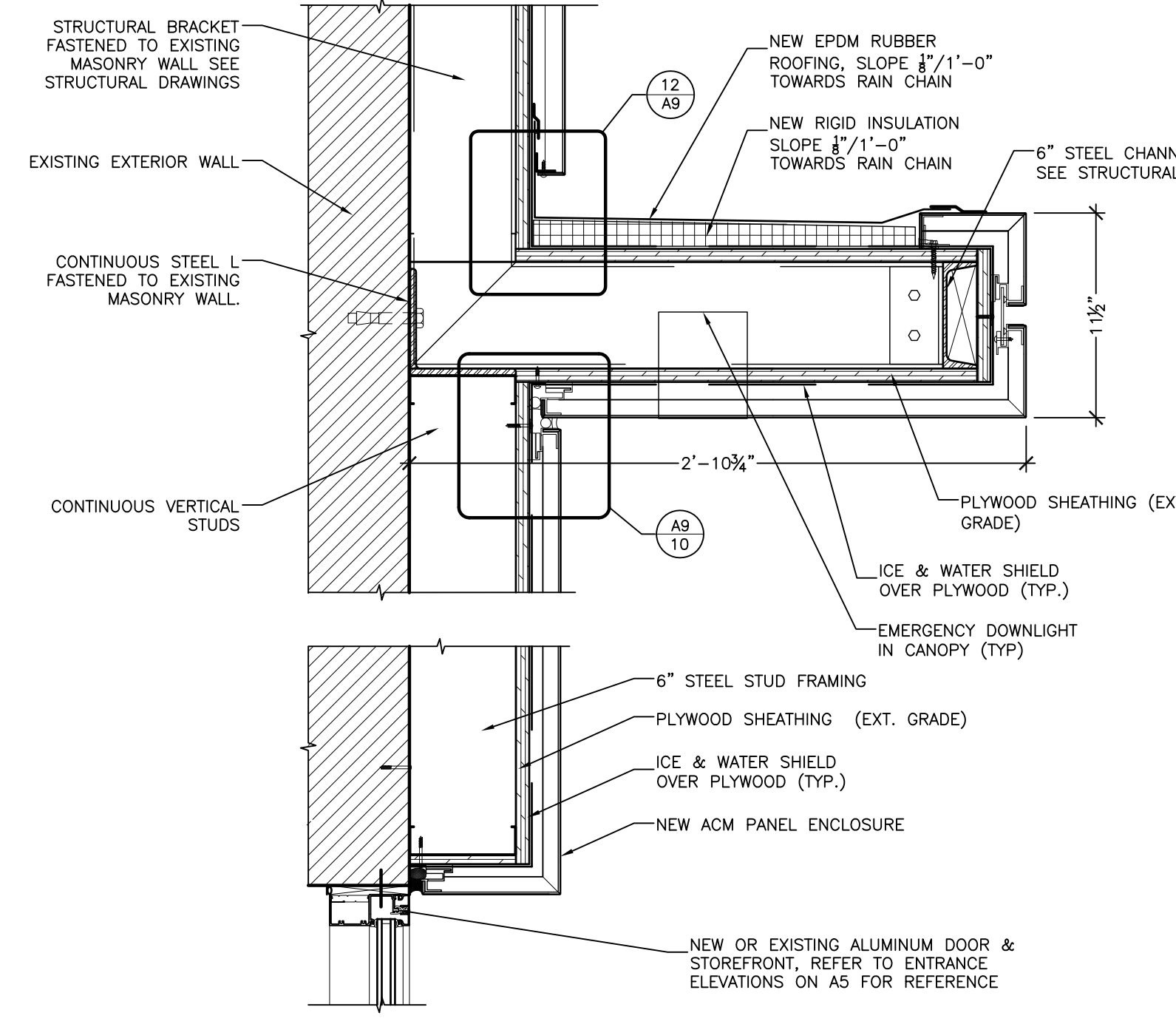
1 ENTRANCE ELEVATION
SCALE: 1/2"=1'-0"



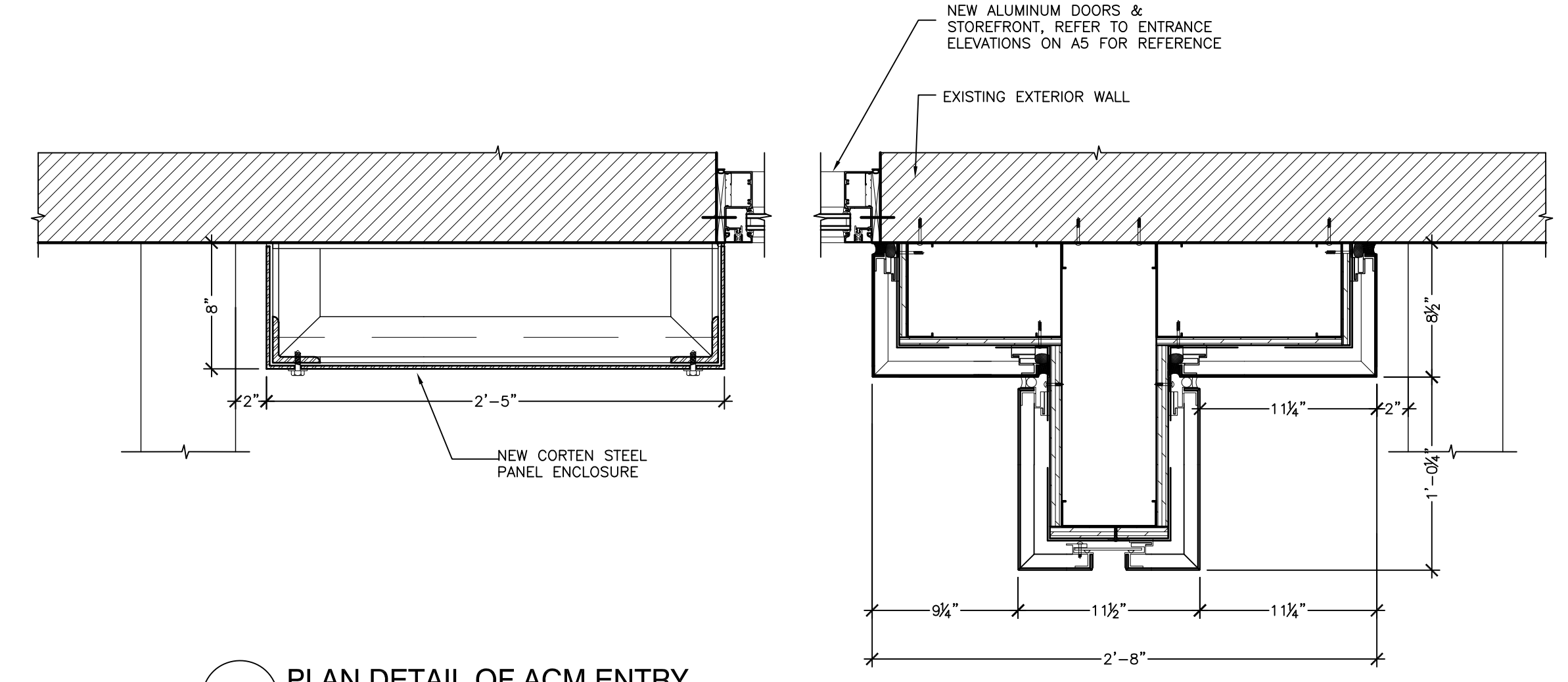
2 ENTRANCE ELEVATION
SCALE: 1/2"=1'-0"



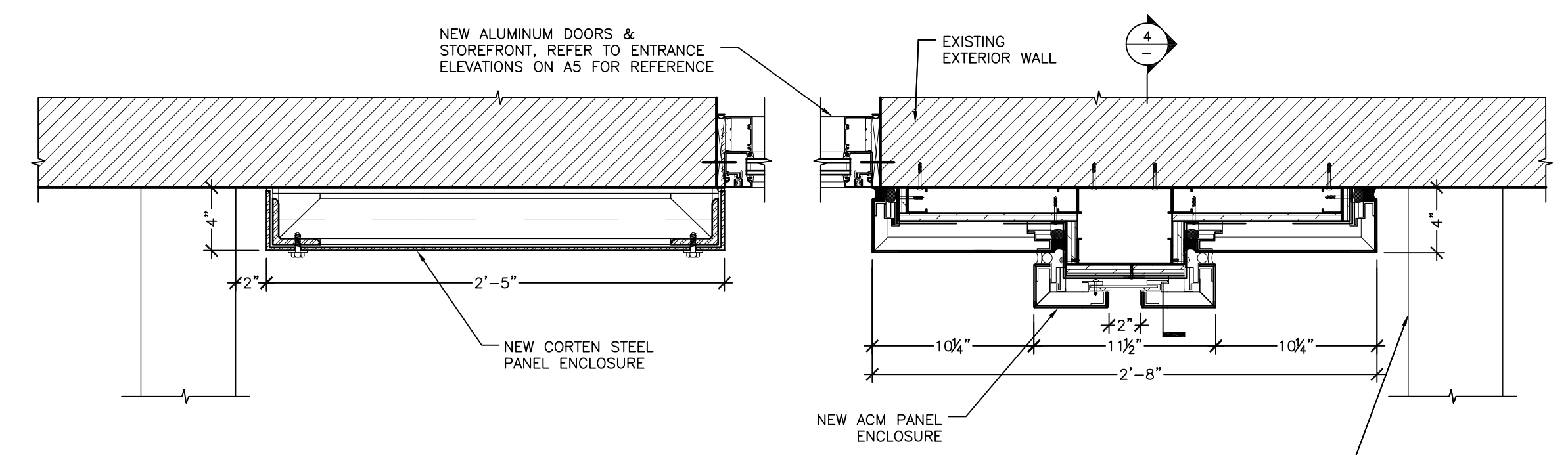
3 ACM CANOPY TO ACM WALL TRANSITION DETAIL
SCALE: 1-1/2"=1'-0"



ACM PANEL SELECTIONS



4 PLAN DETAIL OF ACM ENTRY
SCALE: 1-1/2"=1'-0"



5 PLAN DETAIL OF ACM ENTRY
SCALE: 1-1/2"=1'-0"

Future tenant signage, subject to later permitting



TYPICAL BUILDING/ ENTRANCE RENDERING



TOWN OF NEEDHAM

DESIGN REVIEW BOARD

Public Service Administration Building
500 Dedham Avenue
Needham, MA 02492
Application and Report

Property Location: 100 - 120 Highland Ave **Date:** _____

Owner: Needham Gateway LLC _____

Address: 66 Cranberry Lane, Needham MA 02492 _____

Telephone: Street 781-910-7933 City mike@eclipsemgmt.com State Zip _____

Applicant: same as owner _____

Address: _____

Street City State Zip
Telephone: _____

Designer/Installer: same as owner _____

Address: _____

Street City State Zip

Telephone: _____

Type of Application
☐ Sign
☐ Minor Project
☐ Exterior Alterations
Major Project (Site Plan Review)
☐ - preliminary
☒ - final
☐ Flexible Subdivision
☐ Planned Residential Development
☐ Residential Compound

Brief description of sign or project:

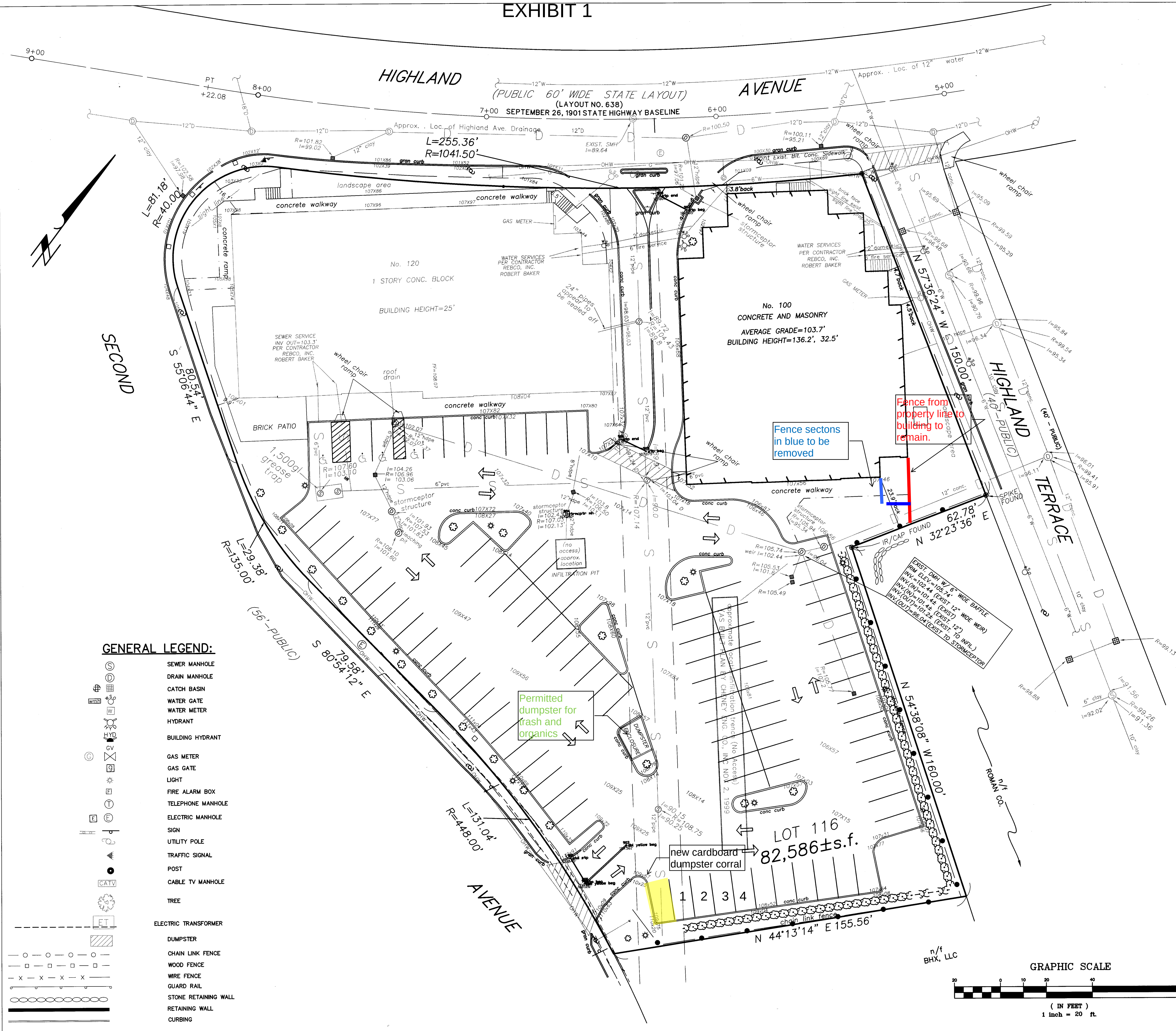
— See attached

—

Please email completed application to elitchman@needhamma.gov

The project consists of moving the existing dumpster corral at the corner of the building at 100 Highland Ave to a parking spot on the far side of the parking lot. See the yellow highlighted parking spot on Exhibit 1. Exhibit 2 is a plan of the dumpster corral showing dimensions of the corral. Exhibit 3 shows the height of the dumpsters and the fence, showing that the fence will hide the view of the dumpsters. Exhibit 4 shows the entry door of the existing corral, which will be repaired so that the broken slats and excess holes are not visible. Exhibit 5 shows the four sections of the existing fence that will be used at the new location, in addition to the same type of fencing added to create the corral. Exhibits 3, 4 and 5 were requested by the planning board in their decision.

EXHIBIT 1



Civil Engineer Certification:

I hereby certify that 100 Highland Avenue and related improvements shown are located on the ground and are in compliance with the design plan prepared by McKenzie Engineering Group, Inc., as endorsed by the Needham Planning Board except as follows:

100 Highland Ave.

The following as-built conditions are at variance with McKenzie Engineering Group Inc.'s Site Layout Drawing C-1 dated March 24, 2006:

1. The southernmost corner of the northeast façade is set back 3.8' from the Highland Avenue right of way versus 5.6' as shown;
2. One building corner fronting Highland Terrace is set back 4.5' from the Highland Terrace right of way versus 5.5' as shown;
3. One building corner fronting Highland Terrace is set back 4.7' from the Highland Terrace right of way versus 5' setback requirement;
4. The northernmost corner of the southeast façade is set back 23.9' from the property line running in a northerly direction towards Highland Terrace versus 24' as shown.

5. The above-noted variances cause building façades fronting Highland Avenue and Highland Terrace to encroach into the 5' required front setback identified in the Dimensional Regulations table.

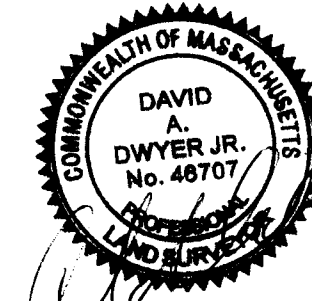
This certification does not indicate compliance with proposed construction methods or materials not visible at the time of the survey.

1/29/07
Professional Engineer for McKenzie Engineering Group, Inc.

Surveyor Certification:

I hereby certify that these are the existing conditions as of January 12, 2006 located by an actual field survey by Otte & Dwyer, Inc.

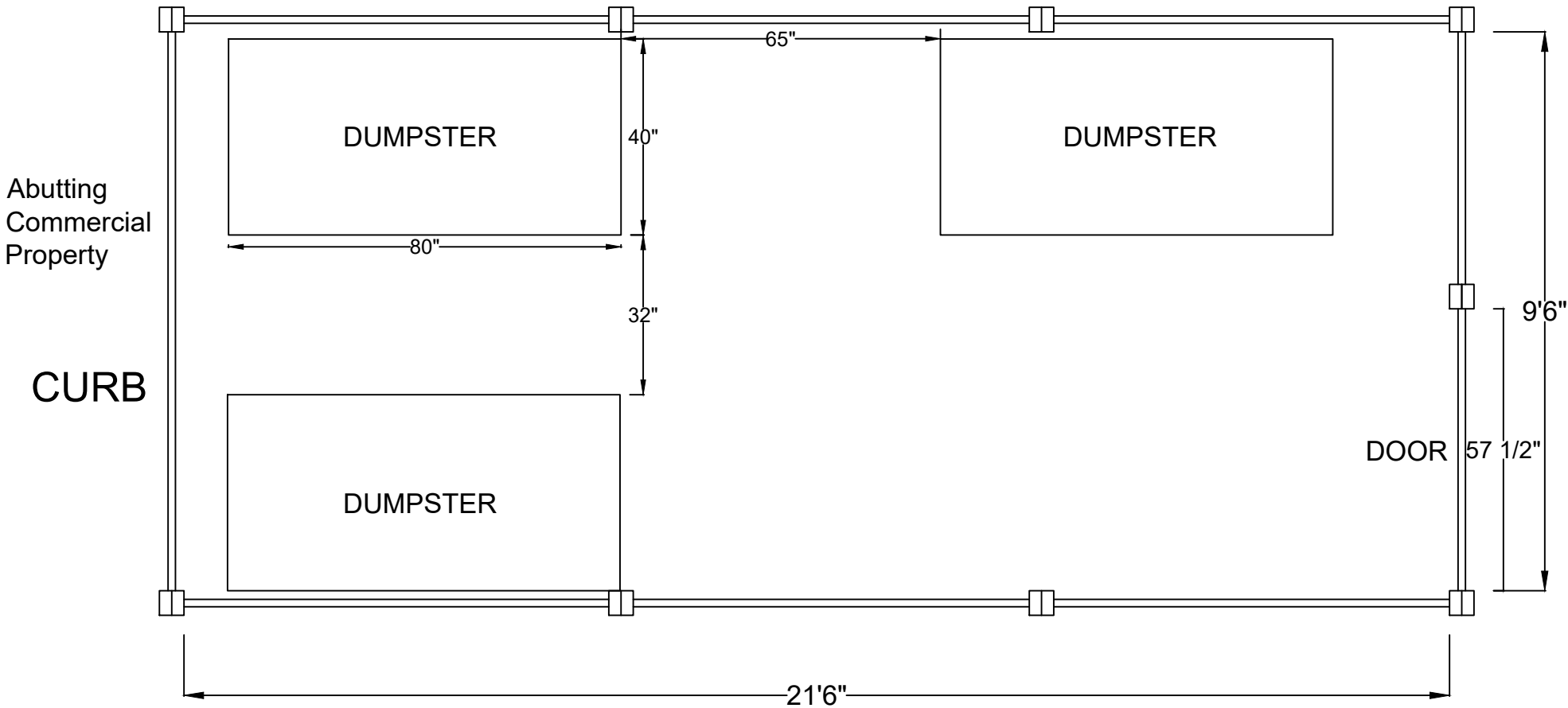
1-79-07
Professional Land Surveyor for Otte & Dwyer, Inc.



REVISION	DATE	DESCRIPTION	BY	APPR
APPLICANT:				
NEEDHAM GATEWAY, LLC BOX 920757 NEEDHAM, MA 02492				
PROJECT:				
100 HIGHLAND AVENUE IN NEEDHAM, MASSACHUSETTS 02492				
PROJECT NO.: 25-140/ 10292 O&D		DATE: JANUARY 12, 2007		
SCALE: AS NOTED		DWG FILE NAME: 10292 ASBUILT		
DRAFTED BY: MICHAEL DWYER		CHECKED BY: DAVID A. DWYER PLS		
PREPARED BY:				
Otte & Dwyer, Inc. LAND SURVEYORS 59 APPLETON STREET PHONE: (781) 233-8155 SAUGUS, MASSACHUSETTS 01906 FACSIMILE: (781) 231 2515				
DRAWING TITLE:			DWG. NO.	
ASBUILT PLAN			AB 2	

EXHIBIT 2

CURB

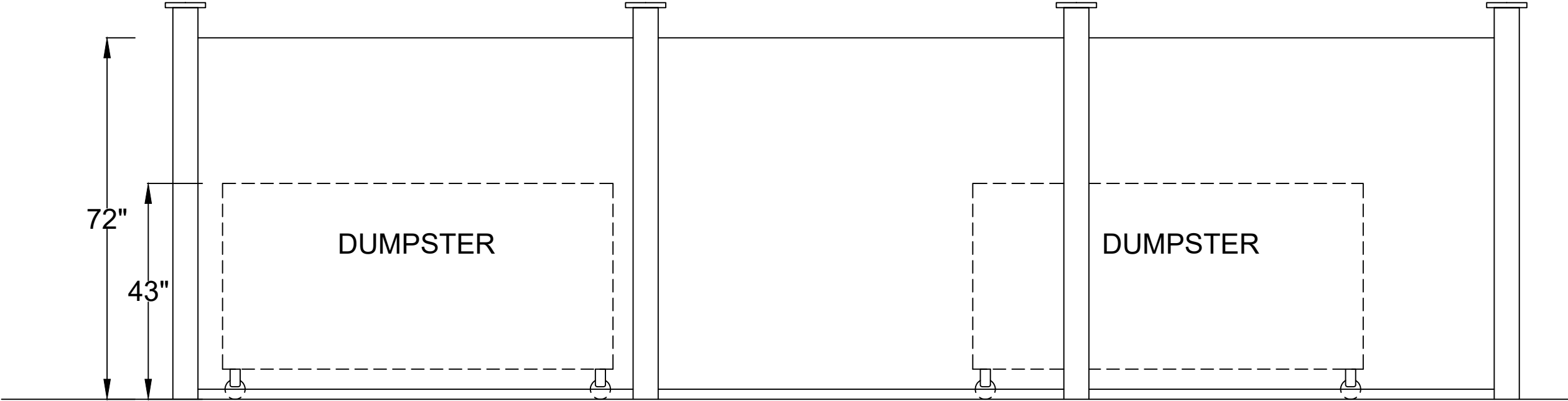


PARKING
SPACE

NOTE
All dumpsters are the same size.

	NEEDHAM GATEWAY		
	SCALE	NTS	DRAWN BY B.C.D.
	DATE	3/22/22	
			DRAWING # One
	Cardboard Dumpsters		

EXHIBIT 3



ELEVATION

NOTE
All dumpsters are the same size.

	NEEDHAM GATEWAY		
	SCALE	NTS	DRAWN BY B.C.D.
	DATE	4/12/22	
			DRAWING # Two
	Cardboard Dumpsters		



EXHIBIT 4



EXHIBIT 5



TOWN OF NEEDHAM

DESIGN REVIEW BOARD

Public Service Administration Building
500 Dedham Avenue
Needham, MA 02492

Application and Report

Property Location: 1330 Highland Ave, Needham **Date:** 4/19/22

Owner: Town of Needham

Address: c/o PPBC, 500 Dedham Ave, Needham, MA 02492

Telephone: (781) 455- 7550 ext. 347

Applicant: Hank Haff, Director of Building Design and Construction, Town of Needham

Address: c/o PPBC, 500 Dedham Ave, Needham MA 02492

Telephone: (781) 455-7550 ext. 347

Designer/Installer: Bargmann Hendrie & Architype

Address: 9 Channel Center St., Suite #300, Boston, MA 02210

Telephone: (617) 350-0450

Type of Application
☐ Sign
☒ Minor Project
☐ Exterior Alterations
Major Project (Site Plan Review)
☐ - preliminary
☐ - final
☐ Flexible Subdivision
☐ Planned Residential Development
☐ Residential Compound

Brief description of sign or project:

Renovation of the Emery Grover Building for School Administration. Project includes full replacement of windows, Brick repair/ repointing, roof replacement, and gut renovation of the interior. A service dock will be added at the SE corner, the north portico will be enclosed to function as a vestibule, ramps will provide handicapped access to the building, and a dormer will be added to the north roof for the new elevator and mechanical equipment.

Please email completed application to elitchman@needhamma.gov



EMERY GROVER BUILDING

Renovation for the
Needham Public Schools Administration

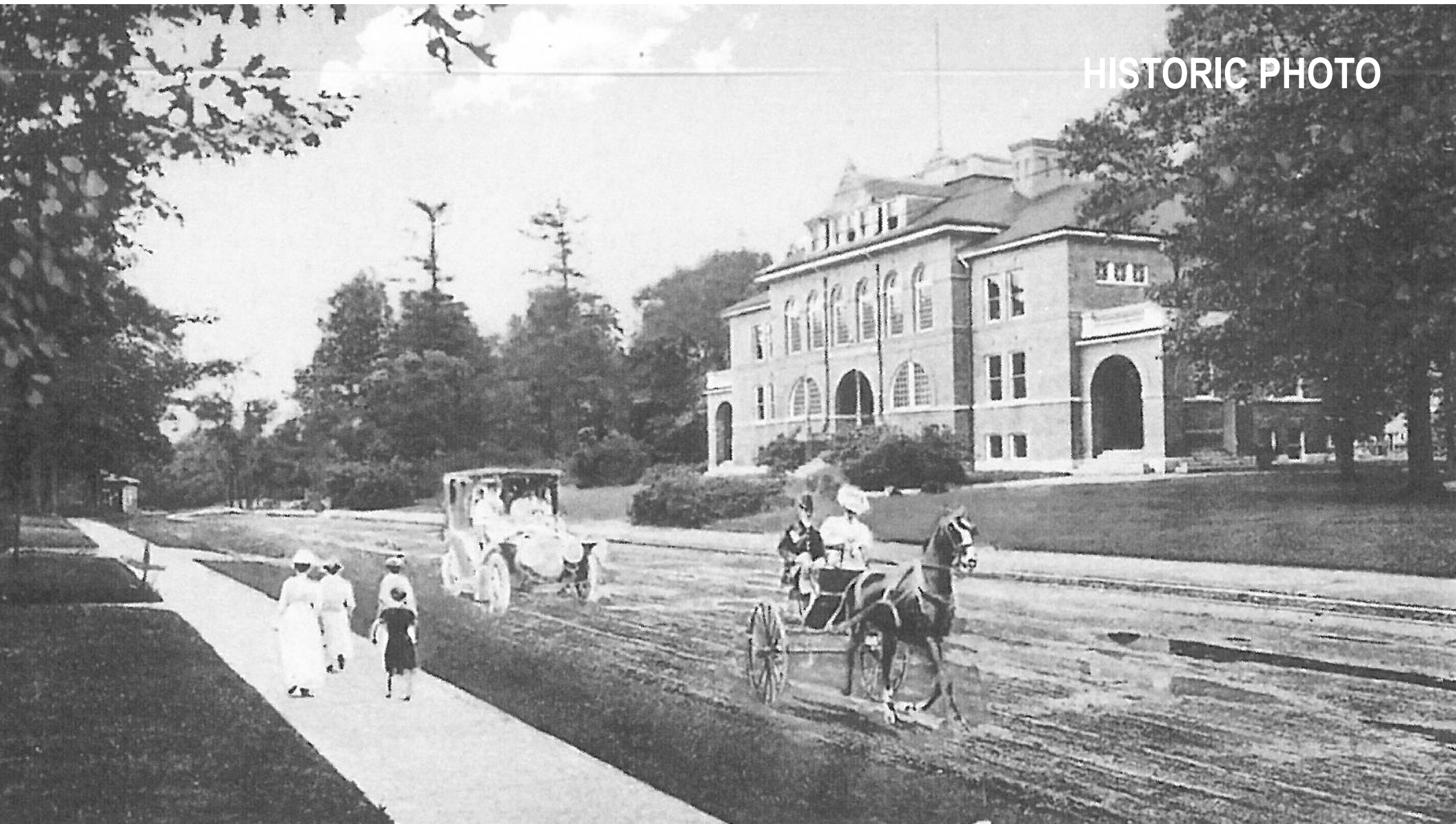
**Presentation to the
Design Review Board
April 25, 2022**

Town of Needham PPBC
Needham Public Schools Administration
Bargmann Hendrie + Archetype, Inc.

HISTORIC PHOTO



HISTORIC PHOTO



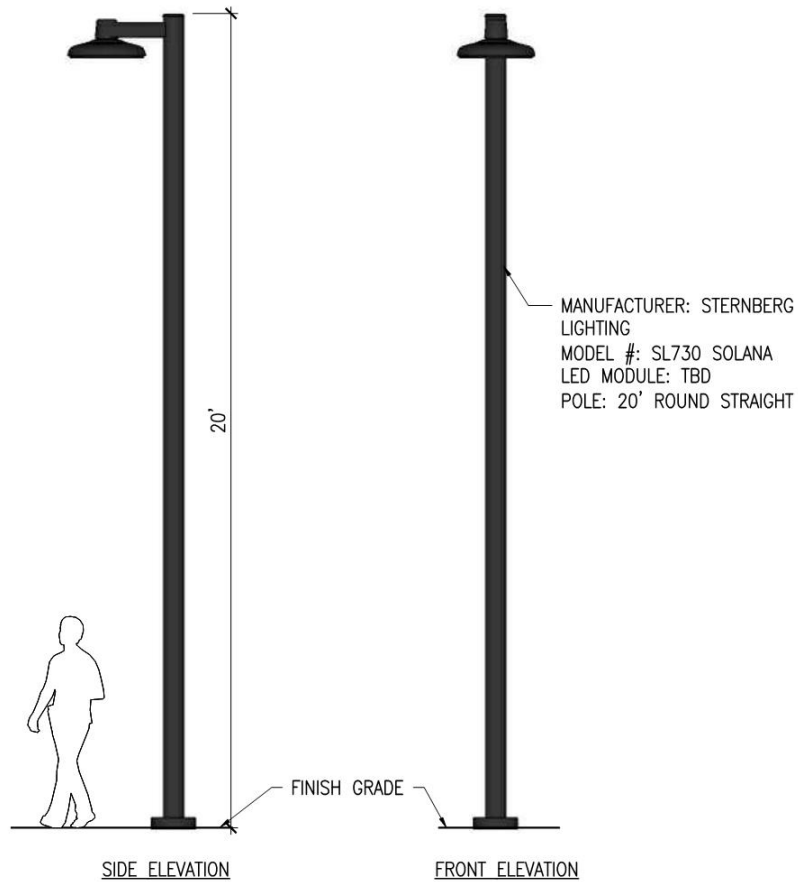


SITE PLAN



Progress site plan to show grass and parking concept

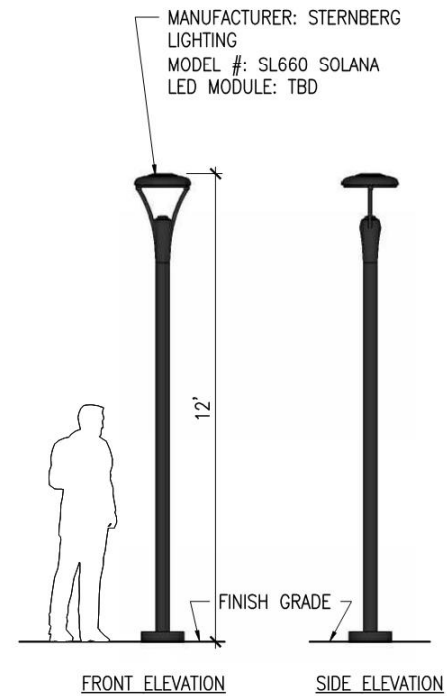
SITE LIGHTING



1

POLE MOUNTED LED LIGHT FIXTURE

SCALE: N.T.S.



2

PEDESTRIAN LED LIGHT FIXTURE

SCALE: N.T.S.

WEST FAÇADE AND ELEVATOR

- Elevator location options are limited
- Overrun at 3rd floor requires added dormer at roof



EAST FACADE

- Salvage brick from blank windows at original school stage area at 2nd floor.
- Incorporate glass to accommodate revised program needs
- Rainleader locations will be reconsidered
- Remove retrofit windows
- Remove all equipment from the exterior of the building



NORTH PORTICO



Portico will be made accessible from west and east



Location of proposed ramp at east side

ORIGINAL CENTER ENTRANCE



- Clock face is at Needham Historical Society. There is no plan to reinstall it here.
- Copper gutters will be replaced in kind.
- Non-original rainleaders may be relocated.
- Original coffered ceiling will be retained when space is enclosed.
- Original granite steps will be retained.
- Parking will be removed from the front of the building.

WINDOWS



Existing painted wood windows with single glazing



Example of aluminum clad wood with insulating glass



ADDITION PAINT COLOR

SW 7701
Cavern Clay
Interior / Exterior
Location Number: 290-C6



Painted metal panels at loading dock addition at southeast corner

DORMER PAINT COLOR



Existing slate with SW "Peppercorn"



Painted metal louver at north roof.



EMERY GROVER RENOVATIONS

1330 Highland Ave Needham, MA 02492

DRAWING LIST

- Civil
- SP.C0

Site Survey
- SP.C1

Notes
- SP.C2

Legend
- SP.C3

Demolition, Erosion and Sediment Control Plan
- SP.C4

General Plan
- SP.C5

Grading Plan
- SP.C6

Drainage and Utility Plan
- SP.C7

Civil Details 1
- SP.C8

Civil Details 2
- SP.C9

Civil Details 3
- SP.C10

Civil Details 4

- Landscape
- SP.L0

Landscape Improvement Plan
- SP.L1

Landscape Improvement Details

- Architectural
- SP.A0

Lower Level Plan and First Level Plan
- SP.A1

Second Level Plan and Third Level Plan
- SP.A2

Roof Plan
- SP.A3

Exterior Elevations
- SP.A4

Exterior Views
- SP.A5

North Portico Entry
- SP.A6

Center Infill Entry



ARCHITECT

bh+a

Bergmann Handrie + Archetype, Inc.
9 Channel Center Street, Suite 300
Boston, MA 02210
(617) 350 0450

PROJECT NAME

Emery Grover Renovations
1330 Highland Ave
Needham, MA 02492

CLIENT

**Town of Needham
Permanent Public Building Committee**
500 Dedham Ave
Needham, MA 02492

PROJECT TEAM

Civil Engineer
Pera Corporation
10 Lincoln Rd, Suite 210
Fondaco, MA 02035
(508) 543-1755

Landscape Architect
Kylie Zick Landscaping Architecture, Inc.
36 Bromfield St Suite 202
Boston, MA 02108
(617) 451-1018

Structural Engineer
Structures North
Consulting Engineers, Inc.
60 Washington St, Suite 401
Salem, MA 01971
(978) 745-6817

MEP/FP Engineer
Allied Engineering
235 Littleton Rd, Suite 5
Westford, MA 01886
(978) 443-7888

Technology
Building Technology Consulting
992 Bedford St
Bridgewater, MA 02324
(617) 799-4309

REVISIONS

DRAWING TITLE

Cover Sheet

DRAWING INFORMATION

DRAWING NUMBER

G001

DATE OF ISSUE

04/15/2022

DATE OF REVIEW

04/15/2022

DESCRIPTION

Site Plan Review

SCALE

3/8" = 1'

AUTHOR

Author

DRAWN BY

Author

PROJECT #

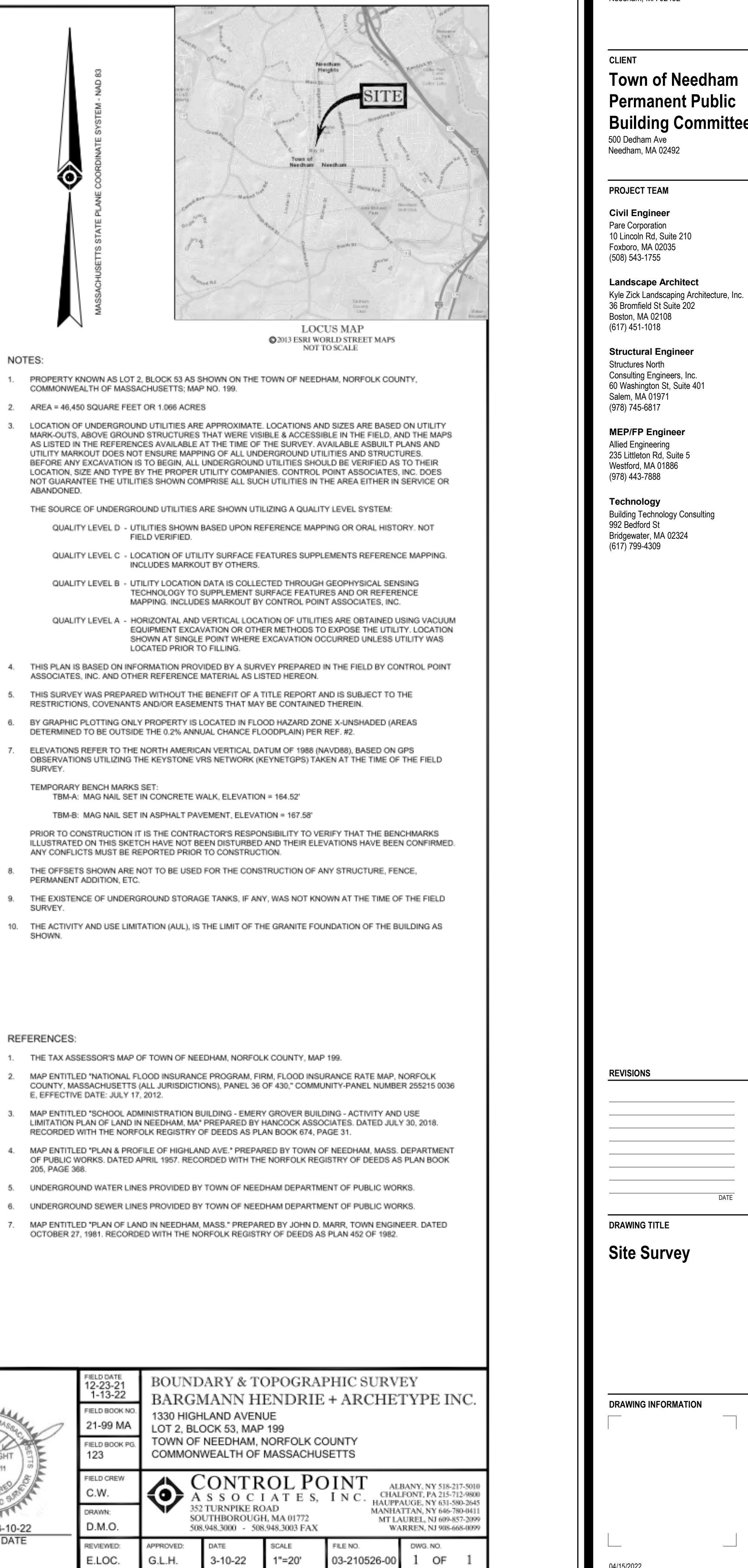
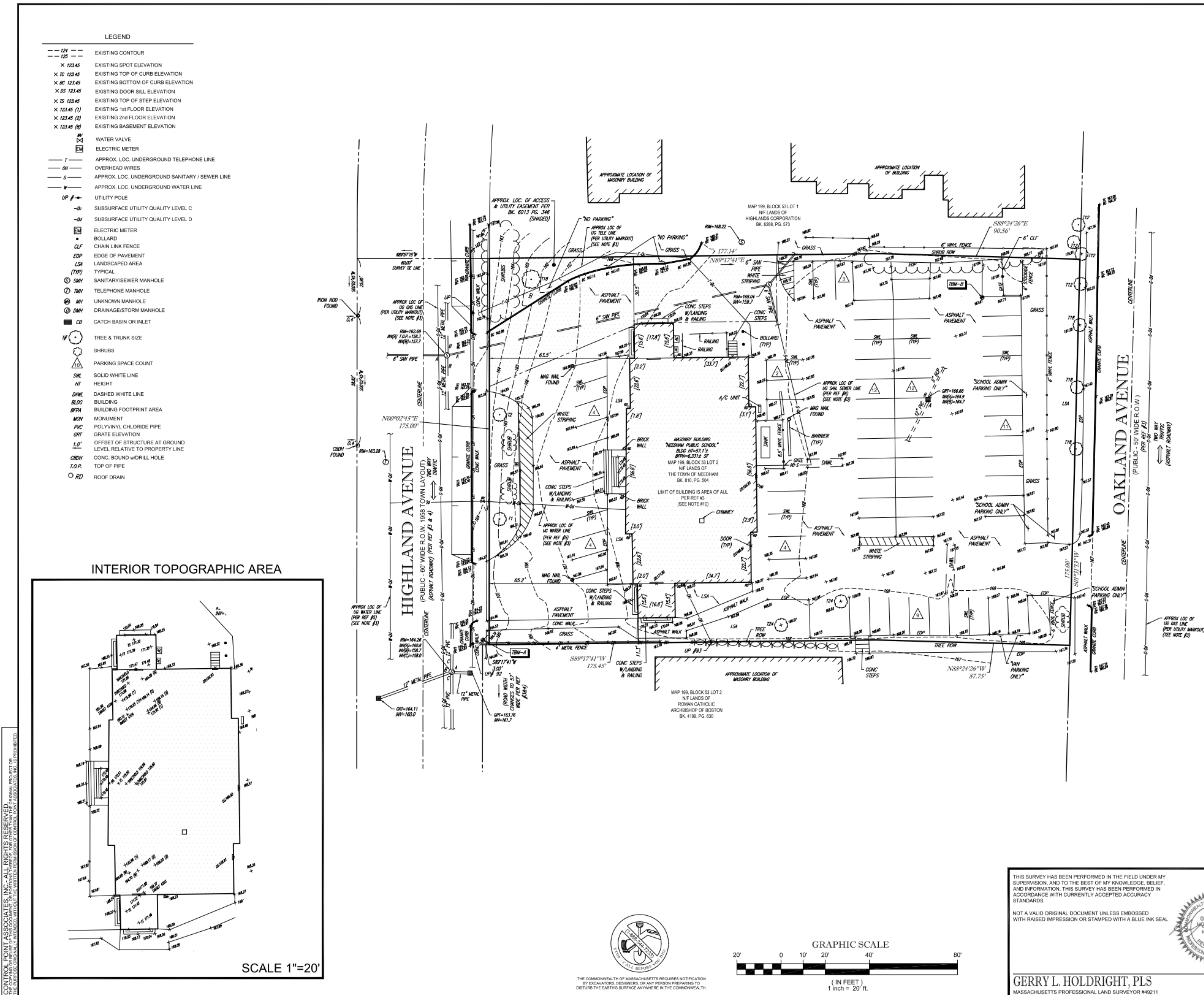
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FILE NAME

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V.2.1



REFERENCE

- PROJECT LOCATION: EMORY GROVER BUILDING 1330 HIGHLAND AVENUE NEEDHAM, MA. 02492. ASSESSOR'S MAP 199, BLOCK 53 LOT 22.
- EXISTING CONDITIONS MAPPING TAKEN FROM PLAN ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY BARGMANN HENDRIE + ARCHETYPE INC." PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED FEB. 4, 2022.

GENERAL NOTES

- THE COMMONWEALTH OF MASSACHUSETTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGE CONSTRUCTION, 2021 EDITION OR LATEST REVISION, AND THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION CONSTRUCTION STANDARD DETAILS ARE MADE A PART HEREOF AS FULLY AND COMPLETELY AS IF ATTACHED HERETO. ALL WORK SHALL MEET OR EXCEED THE MASSACHUSETTS STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION, WITH LATEST REVISIONS. THE LATEST REVISION OF THE STANDARD SPECIFICATIONS MAY BE OBTAINED AT THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION.
- THE CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS, PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH THE SAME, AND COORDINATE WITH THE ENGINEER AND OWNER'S REPRESENTATIVE AS REQUIRED.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. THE CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AND/OR BARRIERS AROUND ALL OPEN EXCAVATED AREAS IN ACCORDANCE WITH OSHA FEDERAL, STATE, AND LOCAL REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK WHICH WOULD BE AFFECTED. NO FIELD ADJUSTMENTS IN THE LOCATION OF SITE ELEMENTS SHALL BE MADE WITHOUT THE ENGINEERS APPROVAL.
- IF ANY DEVIATION OR ALTERATION OF THE WORK PROPOSED ON THESE DRAWINGS IS REQUIRED, THE CONTRACTOR SHALL IMMEDIATELY CONTACT AND COORDINATE ANY DEVIATIONS WITH THE ENGINEER AND OWNER.
- ANY AREA OUTSIDE OF THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- ALL SITE WORK SHALL MEET OR EXCEED THE SITE WORK SPECIFICATIONS PREPARED FOR THIS PROJECT.
- ALL SIGNS SHALL BE REFLECTORIZED TYPE III SHEETING AND CONFORM WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST REVISION.
- ALL UTILITIES (LOCATION AND ELEVATION) DEPICTED SHALL BE CONSIDERED APPROXIMATE ONLY. BEFORE COMMENCING SITE WORK IN ANY AREA, CONTACT "DIG SAFE" AT 1-888-344-7233) TO ACCURATELY LOCATE UNDERGROUND UTILITIES. ALL DAMAGE TO EXISTING UTILITIES OR STRUCTURES, AND THE COST TO REPAIR THE DAMAGES TO INITIAL CONDITIONS, AS SHOWN ON THE PLANS SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- NO EXCAVATION SHALL BE DONE UNTIL COMPANIES ARE PROPERLY NOTIFIED IN ADVANCE. NOTE THAT NOT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL RESPECTIVE UTILITY COMPANIES TO VERIFY AND LOCATE EXISTING UTILITIES.

LAYOUT NOTES

- ALL LINES ARE PERPENDICULAR OR PARALLEL TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.
- ACCESSIBLE RAMPS SHALL BE PER THE AMERICAN WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES AND CODE OF MASSACHUSETTS REGULATIONS (CMR) TITLE 821 OF THE ARCHITECTURAL ACCESS BOARD REGULATIONS.
- PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL PERFORM BENCHMARK FIELD LEVEL VERIFICATION AND COORDINATE LAYOUT CHECK. THE CONTRACTOR SHALL CONTACT PARE CORPORATION IF ANY DISCREPANCIES ARE FOUND.
- DIMENSIONS OF PARKING SPACES AND DRIVEWAYS ARE FROM FACE OF CURB TO FACE OF CURB. DIMENSIONS FROM BUILDING ARE FROM FACE OF BUILDING TO FACE OF CURB.
- ALIGN WALKWAYS ON DOORWAYS THEY SERVE TO PROVIDE MINIMUM REQUIRED MANEUVERING CLEARANCE IN ACCORDANCE WITH THE AMERICAN WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES AND CODE OF MASSACHUSETTS REGULATIONS (CMR) TITLE 821 OF THE ARCHITECTURAL ACCESS BOARD REGULATIONS.

DEMOLITION NOTES

- THE CONTRACTOR SHALL COORDINATE ALL DEMOLITION OF STRUCTURES, PAVEMENT AND CONCRETE MATERIALS, AND UTILITIES WITH APPROPRIATE PROPOSED SITE GENERAL, GRADING, UTILITY, AND LANDSCAPING DRAWINGS.
- ALL NOTED UTILITIES TO BE REMOVED AND DISPOSED OF, RELOCATED OR CAPPED REPRESENT ALL KNOWN SITE CONDITIONS TO BE DEMOLISHED. THE CONTRACTOR SHALL COORDINATE ALL UNFORESEEN CONDITIONS WITH THE PROJECT ENGINEER, OWNER AND/OR RESPECTIVE UTILITY COMPANIES PRIOR TO PROCEEDING WITH WORK.
- WATER, SEWER, DRAINAGE, GAS, AND OTHER SITE UTILITIES SERVICING THE EXISTING FACILITIES ARE TO REMAIN ACTIVE THROUGHOUT CONSTRUCTION.
- THERE SHALL BE NO INTERRUPTION OF UTILITY SERVICES DURING THE CONSTRUCTION OPERATION WITHOUT APPROVAL OF THE OWNER.

SURVEY REFERENCES:

- THE TAX ASSESSOR'S MAP OF TOWN OF NEEDHAM, NORFOLK COUNTY, MAP 199.
- MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, NORFOLK COUNTY, MASSACHUSETTS (ALL JURISDICTIONS), PANEL 36 OF 430," COMMUNITY-PANEL NUMBER 255215 0036 E, EFFECTIVE DATE: JULY 17, 2012.
- MAP ENTITLED "SCHOOL ADMINISTRATION BUILDING - EMERY GROVER BUILDING - ACTIVITY AND USE LIMITATION PLAN OF LAND IN NEEDHAM, MA" PREPARED BY HANCOCK ASSOCIATES, DATED JULY 30, 2018. RECORDED WITH THE NORFOLK REGISTRY OF DEEDS AS PLAN BOOK 674, PAGE 31.
- MAP ENTITLED "PLAN & PROFILE OF HIGHLAND AVE." PREPARED BY TOWN OF NEEDHAM, MASS. DEPARTMENT OF PUBLIC WORKS. DATED APRIL 1957. RECORDED WITH THE NORFOLK REGISTRY OF DEEDS AS PLAN BOOK 205, PAGE 368.
- UNDERGROUND WATER LINES PROVIDED BY TOWN OF NEEDHAM DEPARTMENT OF PUBLIC WORKS.
- UNDERGROUND SEWER LINES PROVIDED BY TOWN OF NEEDHAM DEPARTMENT OF PUBLIC WORKS.

GRADING AND UTILITY NOTES

- UNDERGROUND UTILITIES DEPICTED WERE COMPILED FROM AVAILABLE RECORD PLANS AND SHALL BE CONSIDERED APPROXIMATE ONLY. BEFORE COMMENCING SITE WORK IN ANY AREA, CONTACT "DIG SAFE" AT 1-888-DIG-SAFE (1-888-344-7233) TO ACCURATELY LOCATE UNDERGROUND UTILITIES. ANY DAMAGE TO EXISTING UTILITIES OR STRUCTURES DEPICTED OR NOT DEPICTED ON THE PLANS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. COSTS TO REPAIR SUCH DAMAGES SHALL BE THE CONTRACTOR'S RESPONSIBILITY. NO EXCAVATION SHALL BE DONE UNTIL UTILITY COMPANIES ARE PROPERLY NOTIFIED.
- ALL WORK PERFORMED AND ALL MATERIALS FURNISHED SHALL CONFORM WITH THE LINES AND GRADES ON THE PLANS AND SITE WORK SPECIFICATIONS.
- AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUT NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE, BLEND NEW PAVEMENT AND CURBS SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS.
- ALL UTILITY COVERS, GRATES, ETC. SHALL BE ADJUSTED TO BE FLUSH WITH THE SURROUNDING SURFACE OR PAVEMENT FINISH GRADE. RIM ELEVATIONS OF STRUCTURES AND MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH AND CONSISTENT WITH THE GRADING PLANS.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION OF PRIVATE UTILITIES BY THE UTILITY COMPANIES, AS REQUIRED.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR AND THE INFORMATION SHALL BE PROVIDED ON A SKETCH TO SCALE OF THE EXISTING UTILITY WITH TIES TO KNOWN POINTS, PHOTOS AND FURNISHED TO THE ENGINEER FOR RESOLUTION.
- THE CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER AND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY DAMAGE TO THESE FACILITIES RESULTING FROM CONSTRUCTION LOADS SHALL BE RESTORED TO ORIGINAL CONDITION.
- GAS, ELECTRIC, AND COMMUNICATIONS ROUTING ARE SUBJECT TO REVIEW AND APPROVAL BY APPROPRIATE UTILITY COMPANIES.
- DURING CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES BY PROVIDING TEMPORARY SUPPORTS OR SHEETING AS REQUIRED AT NO ADDITIONAL COST TO THE OWNER.
- ALL GRAVITY SANITARY PIPING SHALL BE SDR-35 PVC. ALL SEWER CONSTRUCTION SHALL CONFORM TO THE TOWN OF NEEDHAM SEWER STANDARDS.
- ALL WATER LINE BENDS AND TEES SHALL BE REINFORCED WITH THRUST BLOCKS. ALL WATER DISTRIBUTION PIPING AND FITTINGS MUST ADHERE TO THE TOWN OF NEEDHAM SPECIFICATIONS AND SHALL BE INSPECTED BEFORE, DURING, AND AFTER CONSTRUCTION PRIOR TO TAPPING THE SERVICE MAIN.
- EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.
- PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MIN. OF 1/8" PER FOOT UNLESS SPECIFIED.
- THE PROPOSED WALKWAYS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% AND A MAXIMUM RUNNING SLOPE OF 5% AS SHOWN ON CONSTRUCTION DETAILS AND GRADING PLAN.

SURVEY NOTES:

- PROPERTY KNOWN AS LOT 2, BLOCK 53 AS SHOWN ON THE TOWN OF NEEDHAM, NORFOLK COUNTY, COMMONWEALTH OF MASSACHUSETTS, MAP NO. 199.
- AREA = 46,450 SQUARE FEET OR 1.066 ACRES
- LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.

THE SOURCE OF UNDERGROUND UTILITIES ARE SHOWN UTILIZING A QUALITY LEVEL SYSTEM:

- QUALITY LEVEL D - UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY. NOT FIELD VERIFIED.
- QUALITY LEVEL C - LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING. INCLUDES MARKOUT BY OTHERS.
- QUALITY LEVEL B - UTILITY LOCATION DATA IS COLLECTED THROUGH GEOPHYSICAL SENSING TECHNOLOGY TO SUPPLEMENT SURFACE FEATURES AND OR REFERENCE MAPPING. INCLUDES MARKOUT BY CONTROL POINT ASSOCIATES, INC.
- QUALITY LEVEL A - HORIZONTAL AND VERTICAL LOCATION OF UTILITIES ARE OBTAINED USING EQUIPMENT EXCAVATION OR OTHER METHODS TO EXPOSE THE UTILITY. SHOWN AT SINGLE POINT WHERE EXCAVATION OCCURRED UNLESS UTILITY LOCATED PRIOR TO FILLING.
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREOF.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
 - BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X-UNSHADED (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2.
 - ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS) TAKEN AT THE TIME OF THE FIELD SURVEY.

TEMPORARY BENCH MARKS SET:
TBM-A: MAG NAIL SET IN CONCRETE WALK, ELEVATION = 164.52'

TBM-B: MAG NAIL SET IN ASPHALT PAVEMENT, ELEVATION = 167.58'

PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.

- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
- THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.

EROSION AND SEDIMENTATION CONTROL NOTES - MASSACHUSETTS

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROLS IN ACCORDANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY'S (EPA) NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) AND THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL PREPARE AND SUBMIT A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL PREPARE AND SUBMIT AN ELECTRONIC NOTICE OF INTENT (eNOI) WITH THE EPA IN ACCORDANCE WITH THE NPDES PERMIT REQUIREMENTS PRIOR TO CONSTRUCTION.
- SOIL EROSION AND SEDIMENTATION CONTROLS SHALL BE PROVIDED IN ACCORDANCE WITH THE "MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS" AND THE NOTES AND DETAILS SHOWN IN THIS PLAN SET.
- THE EROSION AND SEDIMENTATION CONTROLS SHOWN ON THE PLANS ARE INTENDED TO REPRESENT THE MINIMUM CONTROLS NECESSARY TO MEET ANTICIPATED SITE CONDITIONS. ADDITIONAL MEASURES SHALL BE IMPLEMENTED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- REQUIRED PERIMETER CONTROL SHALL BE PROPERLY ESTABLISHED, CLEARLY VISIBLE AND IN OPERATION PRIOR TO INITIATING ANY LAND CLEARING ACTIVITY AND/OR OTHER CONSTRUCTION RELATED WORK. SUCH FACILITIES SHALL REPRESENT THE LIMIT OF WORK. WORKERS SHALL BE INFORMED THAT NO CONSTRUCTION ACTIVITY IS TO OCCUR BEYOND THE LIMIT OF WORK AT ANY TIME THROUGHOUT THE CONSTRUCTION PERIOD.
- AS FEASIBLE, CONSTRUCTION SHALL BE PHASED TO LIMIT THE AREA OF EXPOSED SOIL AND THE DURATION OF EXPOSURE. ALL DISTURBED AREAS SHALL BE TEMPORARILY AND/OR PERMANENTLY STABILIZED WITHIN 14 DAYS FOLLOWING COMPLETION OF GRADING ACTIVITIES.
- THE CONTRACTOR SHALL INSPECT AND MAINTAIN ALL EROSION AND SEDIMENTATION CONTROL MEASURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A WEEKLY BASIS AND AFTER EACH STORM EVENT OF 0.25 INCH OR GREATER DURING CONSTRUCTION TO ENSURE THAT THE EROSION CONTROL BARRIERS ARE INTACT.
- CLEAN AND MAINTAIN SEDIMENTATION CONTROL BARRIERS WHEN SEDIMENT ACCUMULATES TO ONE HALF THE HEIGHT OF THE BARRIER. MATERIAL COLLECTED FROM THE SEDIMENTATION BARRIER SHALL BE REMOVED AS NECESSARY AND DISPOSED IN AN UPLAND AREA.
- THE CONTRACTOR SHALL MAINTAIN A SUFFICIENT RESERVE OF VARIOUS EROSION CONTROL MATERIALS ONSITE AT ALL TIMES FOR EMERGENCY PURPOSES OR ROUTINE MAINTENANCE.
- THE CONTRACTOR SHALL SCHEDULE HIS WORK TO ALLOW THE FINISHED SUB GRADE ELEVATIONS TO DRAIN PROPERLY WITHOUT PUDDLING. SPECIFICALLY, ALLOW WATER TO ESCAPE WHERE PROPOSED CURB MAY RETAIN RUNOFF PRIOR TO PAVING. PROVIDE TEMPORARY POSITIVE DRAINAGE, AS REQUIRED, TO STABILIZED DISCHARGE POINTS.
- SOIL AND OTHER MATERIALS RESULTING FROM SITE CLEARING MAY BE RECYCLED AND/OR REUSED ON THE SITE AS APPROPRIATE. WASTE MATERIALS SHALL BE REMOVED FROM THE SITE.
- CRUSHED STONE CONSTRUCTION ENTRANCES SHALL BE ESTABLISHED AT ALL POINTS OF INGRESS AND EGRESS.
- TEMPORARY DIVERSIONS (TD) MAY CONSIST OF A DITCH OR SWALE, OR MAY BE ACHIEVED USING WOOD CHIP PILES, COIR LOGS, OR SIMILAR MATERIALS.
- TEMPORARY SEDIMENT TRAPS (TST) AND TEMPORARY SWALES (TS) SHALL BE SIZED BY THE CONTRACTOR USING THE PARAMETERS CONTAINED IN THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES.
- DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- CATCH BASINS AND STORM DRAINS SHALL BE PROTECTED WITH HAY BALES OR SEDIMENT BAGS IN PAVED AREAS UNTIL CONTRIBUTING AREA IS PERMANENTLY STABILIZED.
- DEWATERING WASTEWATER PUMPED FROM EXCAVATIONS SHALL BE CONVEYED BY HOSE TO AN UPLAND AREA AND DISCHARGED INTO A DEWATERING BASIN, HAY BALE CORRALS, OR SEDIMENTATION BAGS.
- CONSTRUCTION SITE WASTE MATERIALS SHALL BE PROPERLY CONTAINED ONSITE AND DISPOSED OFF SITE AT A LOCATION IN ACCORDANCE WITH THE LOCAL AND STATE REGULATIONS.
- RIPRAP OR OTHER ENERGY DISSIPATERS SHALL BE USED WHERE NECESSARY TO CONTROL EROSION.
- ANY EQUIPMENT THAT IS NOT READILY MOBILE (TRACK MACHINERY) SHALL BE PARKED WITHIN THE PROJECT LIMIT OF DISTURBANCE. LARGE AND/OR BULKY MATERIALS SHALL BE STORED SUCH THAT THEY DO NOT INTERFERE WITH THE ONGOING CONSTRUCTION ACTIVITIES OR EROSION CONTROL MEASURES.
- NEWLY VEGETATED AREAS SHALL BE REGULARLY INSPECTED AND MAINTAINED TO ENSURE THE ESTABLISHMENT OF STABLE VEGETATED SURFACES.
- THE CONTRACTOR SHALL NOT REMOVE ANY COMPOST FILTER SOCKS OR OTHER EROSION CONTROLS UNTIL THE CONTRIBUTING AREA IS PERMANENTLY STABILIZED.
- ALL DRAINAGE STRUCTURES SHALL BE CLEARED OF ACCUMULATED SEDIMENT PRIOR TO ACCEPTANCE OF THE FINAL PROJECT. THE CONTRACTOR SHALL SCHEDULE HIS WORK TO ALLOW THE FINISHED SUB GRADE ELEVATIONS TO DRAIN PROPERLY WITHOUT PONDING. SPECIFICALLY, ALLOW WATER TO ESCAPE WHERE PROPOSED CURB MAY RETAIN RUNOFF PRIOR TO APPLICATION OF SURFACE PAVING. PROVIDE TEMPORARY POSITIVE DRAINAGE, AS REQUIRED, TO STABILIZED DISCHARGE POINTS.
- INSTALLATION OF THE EROSION CONTROL BARRIERS AS ILLUSTRATED IS INTENDED TO REPRESENT THE MINIMUM SEDIMENTATION CONTROL FACILITIES NECESSARY TO MEET ANTICIPATED SITE CONDITIONS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS UPON COMPLETION OF WORK IN THAT AREA.

ARCHITECT



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PROJECT NAME

**Emery Grover
Renovations**

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REVISIONS

	DATE

DRAWING TITLE

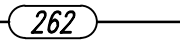
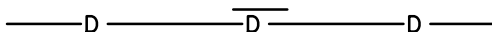
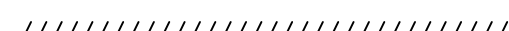
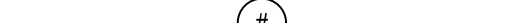
NOTES

DRAWING INFORMATION

APRIL 15, 2022	
DATE OF ISSUE	
SITE PLAN SUBMISSION	
DESCRIPTION	
AS NOTED	AWB
SCALE	DRAWN BY
21228.00	
PROJECT #	FILE NAME

DRAWING NUMBER

SP.C1

	PROPERTY LINE
	BUILDING SETBACK
	PARKING SETBACK
	EASEMENT LINE
	CONTOUR
	SPOT ELEVATION
	DRAINAGE LINE
	WATER LINE
	FIRE WATER LINE
	SANITARY SEWER LINE
	GAS LINE
	ELECTRIC
	TELEPHONE LINE
	OVERHEAD ELECTRIC LINE
	LIMIT OF DISTURBANCE
	LIMIT OF DISTURBANCE/COMPOST FILTER SOCK
	CATCH BASIN
	HYDRANT
	DRAINAGE MANHOLE
	SEWER MANHOLE
	UTILITY POLE
	WATER VALVE
	GAS GATE
	LIGHT POLE
	TREE LINE
	STONE WALL
	CHAIN LINK FENCE
	CURBING
	EDGE OF PAVEMENT
	SAWCUT LINE
	SIGN
	COMPOST FILTER SOCK
	NO. OF PARKING SPACES
	WETLAND EDGE
	50' PERIMETER WETLAND
	200' RIVERBANK

CONSTRUCTION NOTES - MASSDOT STANDARDS

106.3.0	=	METHOD OF SETTING VERTICAL CURB - M.A. STD. 106.3.0
107.6.0	=	WHEELCHAIR RAMPS FOR ONE CONTINUOUS DIRECTION OF PEDESTRIAN TRAVEL - M.A. STD. 107.6.0
107.6.5	=	DETECTABLE WARNING PANEL FOR WHEELCHAIR RAMPS - M.A. STD. 107.6.5
201.4.0	=	PRECAST CONCRETE CATCH BASIN - M.A. STD. 201.4.0

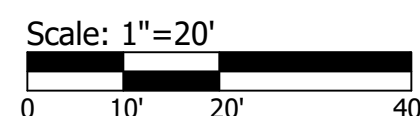
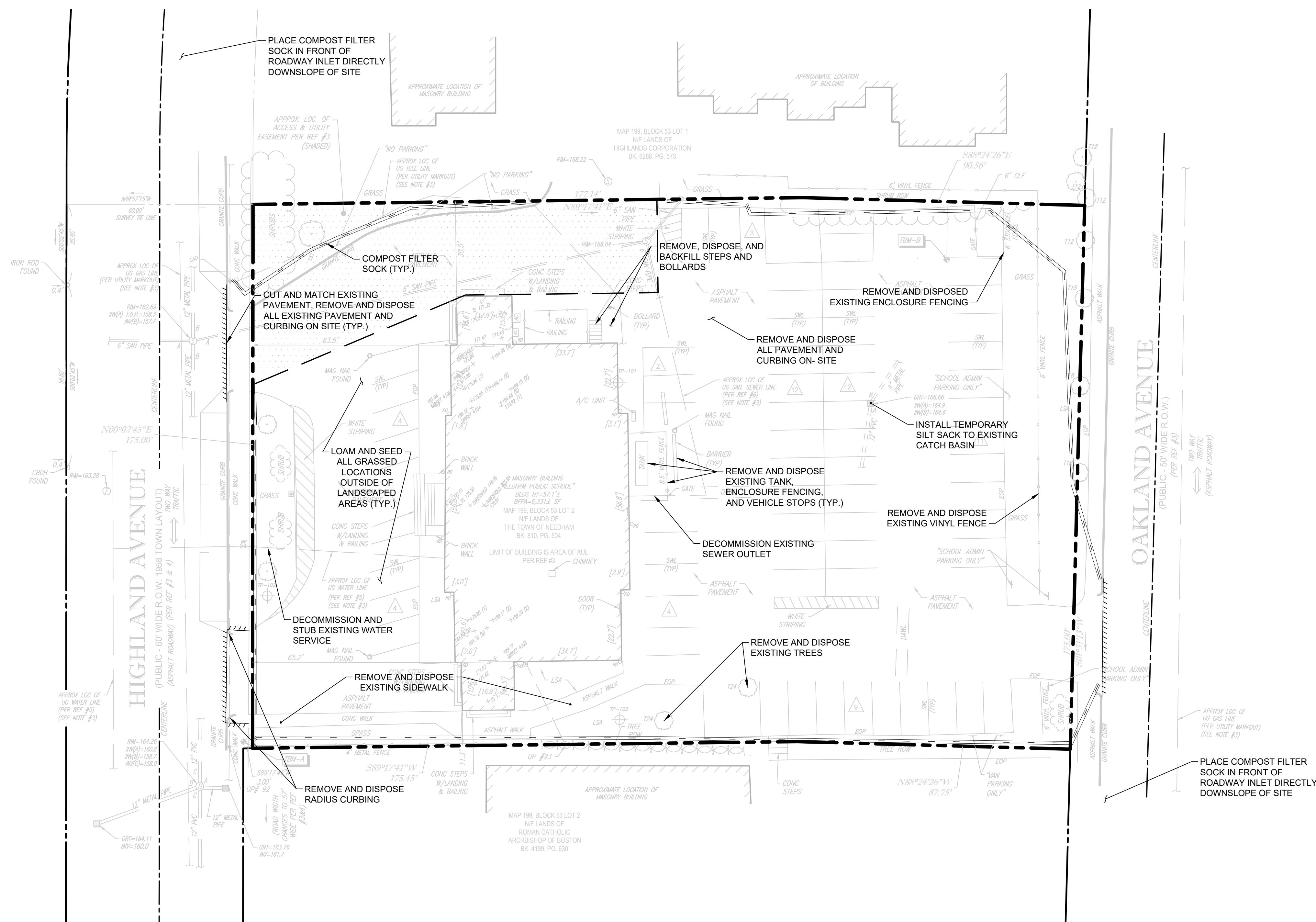
ABBREVIATIONS	
ADA	= AMERICANS WITH DISABILITIES ACT
ASSF	= AREA SUBJECT TO STORM FLOWAGE
BM	= BENCHMARK
BMP	= BEST MANAGEMENT PRACTICE
BIT	= BITUMINOUS
BOT.	= BOTTOM
BC	= BOTTOM OF CURB (FINISHED GRADE ON LOW SIDE OF CURB)
BW	= BOTTOM OF STAIR (FINISHED GRADE AT BOTTOM STAIR)
BO	= BOTTOM OF WALL (FINISHED GRADE ON LOW SIDE OF WALL)
CI	= CAST IRON
CB	= CATCH BASIN, 4' DIA. UNLESS OTHERWISE NOTED
CLD	= CEMENT-LINED CULVERT IRON
CL	= CLASS
CO	= CLEANOUT
CUR	= CODE OF MASSACHUSETTS REGULATIONS
CONC.	= CONCRETE
CC	= CONCRETE CURB, VERTICAL
DEMO	= DEMOLITION
DIA	= DIAMETER
DIV	= DIVERSION
DYL	= DOUBLE YELLOW LINE
DMH	= DRAIN MANHOLE
EOP	= EDGE OF PAVEMENT
ELEV. EL	= ELEVATION
EX. EXIST.	= EXISTING
EXCB	= EXISTING CATCH BASIN
EXDMH	= EXISTING DRAIN MANHOLE
FFE	= FINISH FLOOR ELEVATION
FT	= FOOT
FND.	= FOUND
GTD	= GRADE TO DRAIN
GRAN.	= GRANITE
HDPE	= HIGH DENSITY POLYETHYLENE PIPE
HMA	= HOT MIX ASPHALT
HYD	= HYDRANT
I.D.	= INNER DIAMETER
INV.	= INVERT
LOD	= LIMIT OF DISTURBANCE
LP	= LOW POINT
MUTCD	= MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION
MAX.	= MAXIMUM
MIN.	= MINIMUM
MON.	= MONITORING
NTS, N.T.S.	= NOT TO SCALE
OWS	= OIL WATER SEPARATOR
OCFS	= OUTLET CONTROL STRUCTURE
PERF	= PERFORATED
PE	= POLYETHYLENE
PVC	= POLYVINYL CHLORIDE
R-X	= RADIUS
RCP	= REINFORCED CONCRETE PIPE
MASSDOT	= MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION
MASSDOTD	= MASSACHUSETTS DEPARTMENT OF TRANSPORTATION
M.A. STD.	= MASSACHUSETTS STANDARD
SMH	= SEWER MANHOLE
SWL	= SINGLE SOLID WHITE LINE
SESC	= SOIL EROSION AND SEDIMENT CONTROL
SDR	= STANDARD DIMENSIONAL RATIO
TD	= TEMPORARY DIVERSION
TST	= TEMPORARY SEDIMENT TRAP
TSW	= TEMPORARY SWALE
TP	= TEST PIT
TC	= TOP OF CURB
TS	= TOP OF STAIR (FINISHED GRADE OF TOP STAIR)
TW	= TOP OF WALL
TY	= TYPICAL
UP	= UTILITY POLE
VGC	= VERTICAL GRANITE CURB
VC	= VITRIFIED CLAY
WPM	= WATER PAINT MARK
W	= WITH
YD	= YARD DRAIN

[illegible]

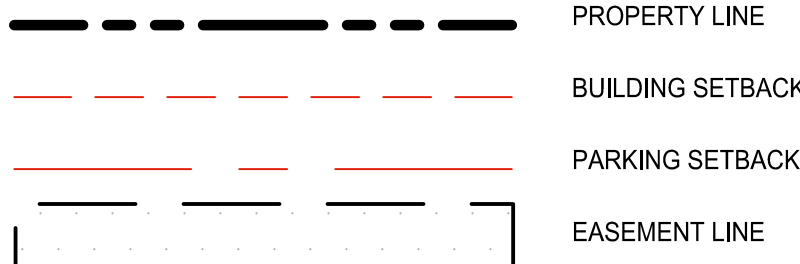
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LEGEND

DRAWING INFORMATION	
DATE OF ISSUE	
SITE PLAN SUBMISSION	
DESCRIPTION	
AS NOTED	A1WB
SCALE	DRAWN BY
21228.00	
PROJECT #	FILE NAME



LEGEND

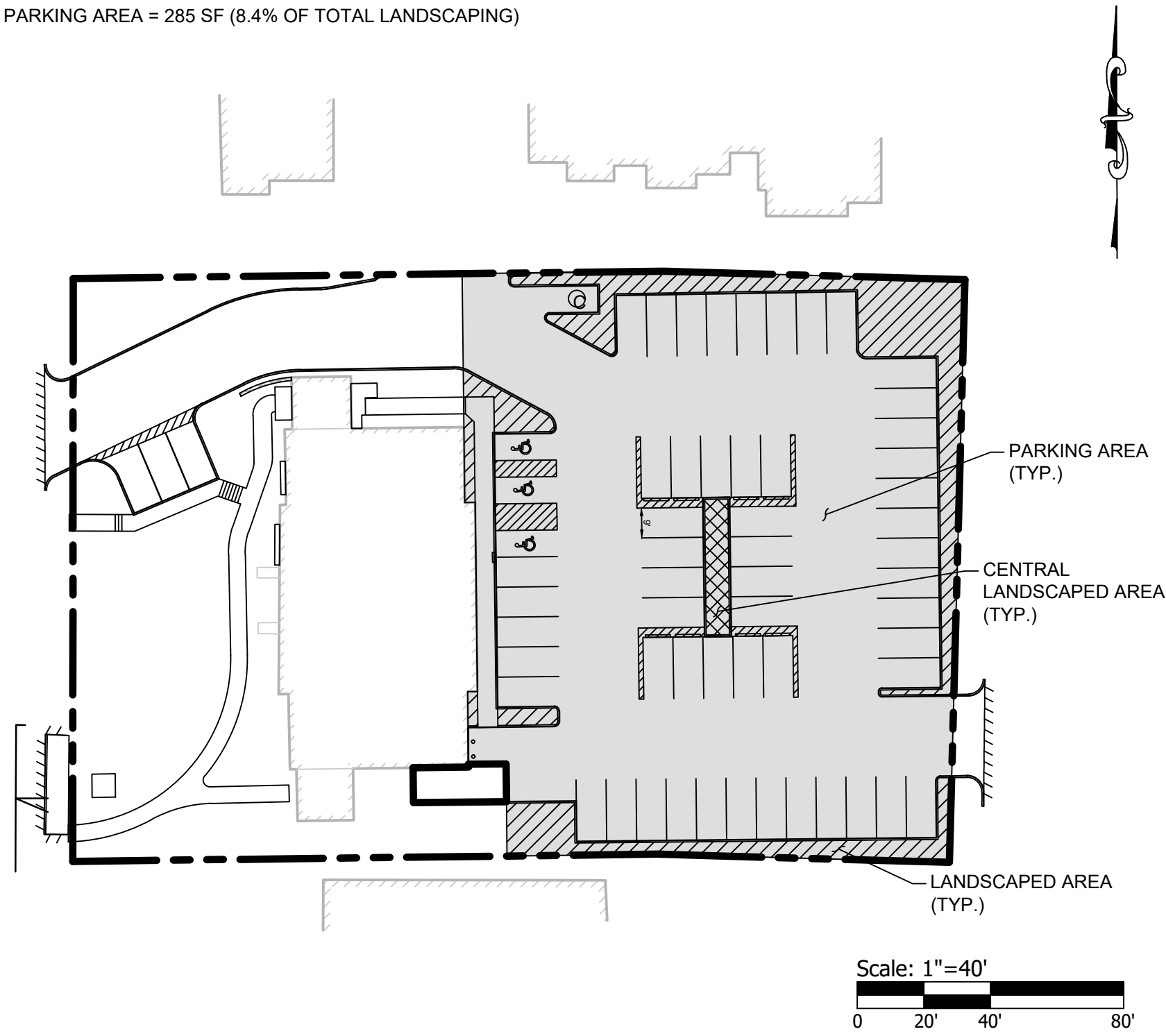


NOTES:

TOTAL PARKING AREA = 25,333 SF

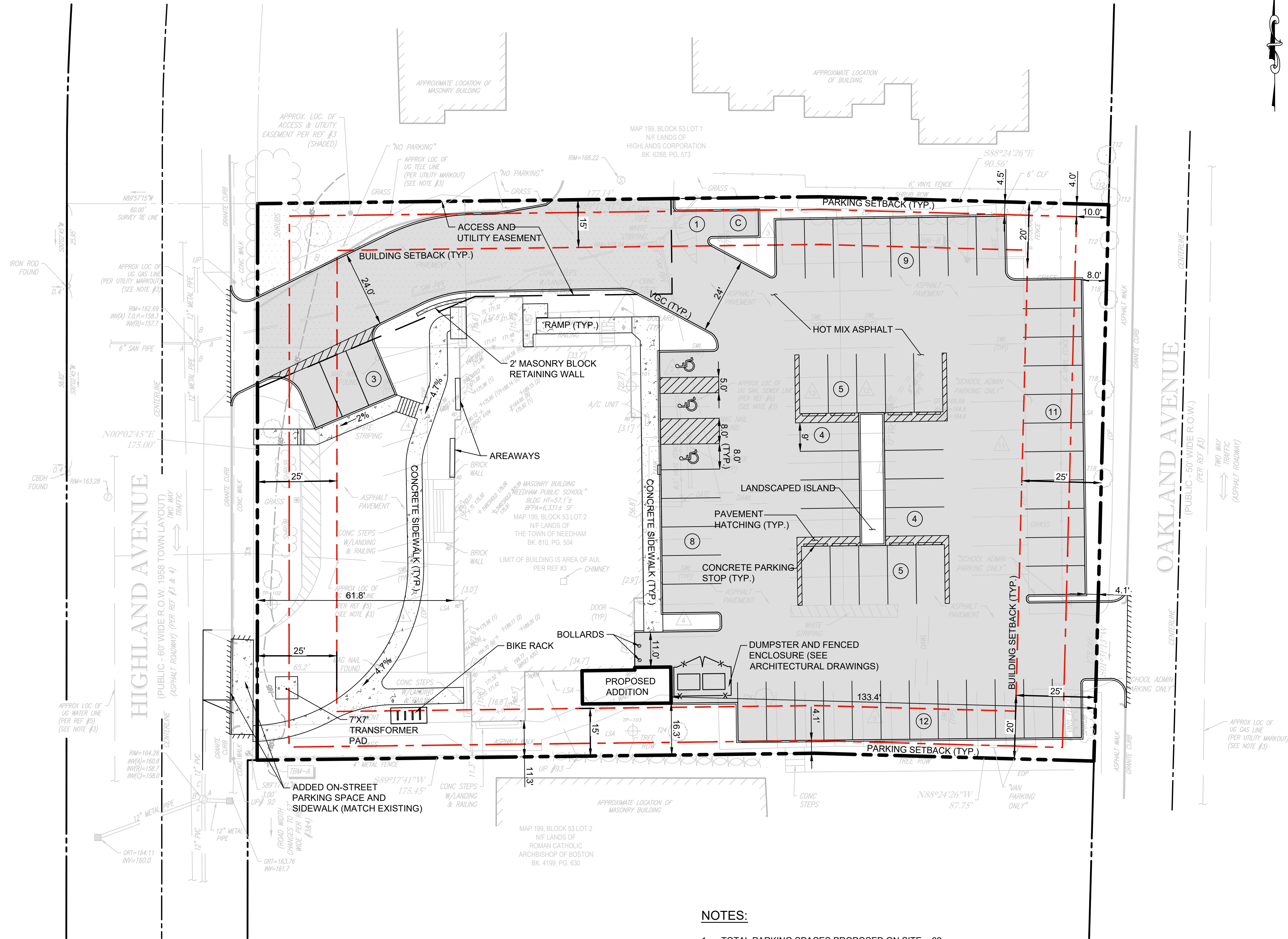
TOTAL LANDSCAPING = 3,395 SF (13.4% OF TOTAL PARKING AREA)

TOTAL LANDSCAPING WITHIN CENTER OF PARKING AREA = 285 SF (8.4% OF TOTAL LANDSCAPING)



LANDSCAPING DIAGRAM

SCALE: 1"=40'



NOTES:

- TOTAL PARKING SPACES PROPOSED ON SITE = 62
- CONTRACTOR SHALL PROVIDE LOAM AND SEED ON ALL DISTURBED AREAS UNLESS NOTED OTHERWISE. REFER TO LANDSCAPE DRAWINGS.
- ALL ACCESSIBLE RAMPS SHALL BE CONSTRUCTED WITH DETECTABLE WARNING PAVERS.
- PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL EMPLOY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE COMMONWEALTH OF MASSACHUSETTS TO ESTABLISH CONTROL ON THE SITE AND TO PERFORM FIELD MEASUREMENTS AS REQUIRED TO LAYOUT THE PROPOSED BUILDING AND SITE IMPROVEMENTS. THE CONTRACTOR'S SURVEYOR SHALL COORDINATE THE BUILDING LAYOUT WITH THE PROJECT LAND SURVEYOR TO ACCURATELY LOCATE THE BUILDING ON THE SITE.

ARCHITECT

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PROJECT NAME

Emery Grover
Renovations

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Town of Needham
Permanent Public
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REVISIONS

NO.	DESCRIPTION	DATE

DRAWING TITLE

GENERAL PLAN

DRAWING INFORMATION

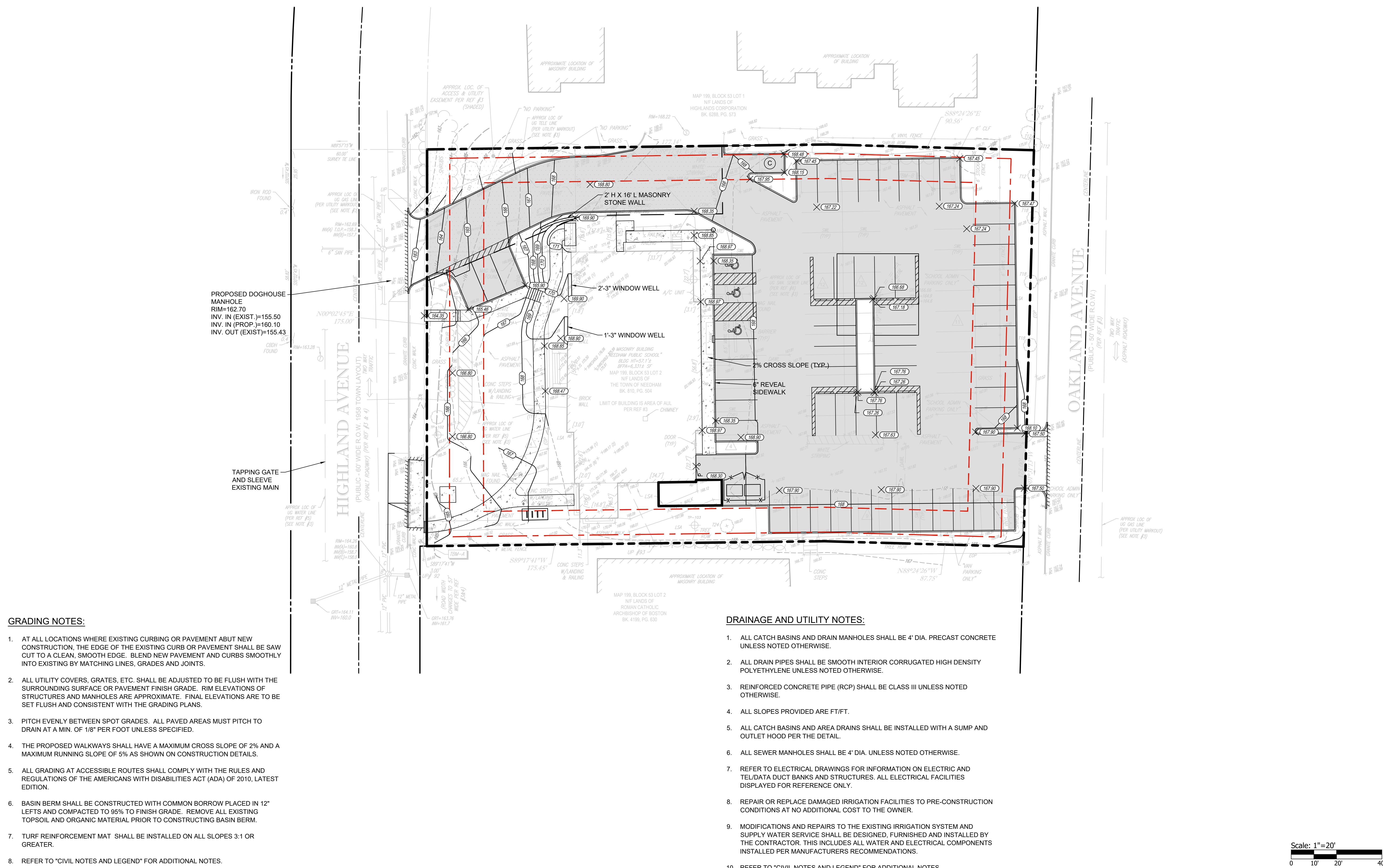
DATE OF ISSUE	APRIL 15, 2022
STATE OF ISSUE	SITE PLAN SUBMISSION
DESCRIPTION	
SCALE	1" = 20'
SCALE	21228.00
PROJECT #	
FILE NAME	

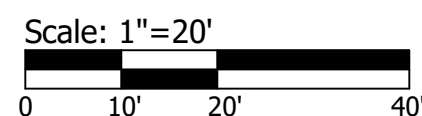
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SP.C4

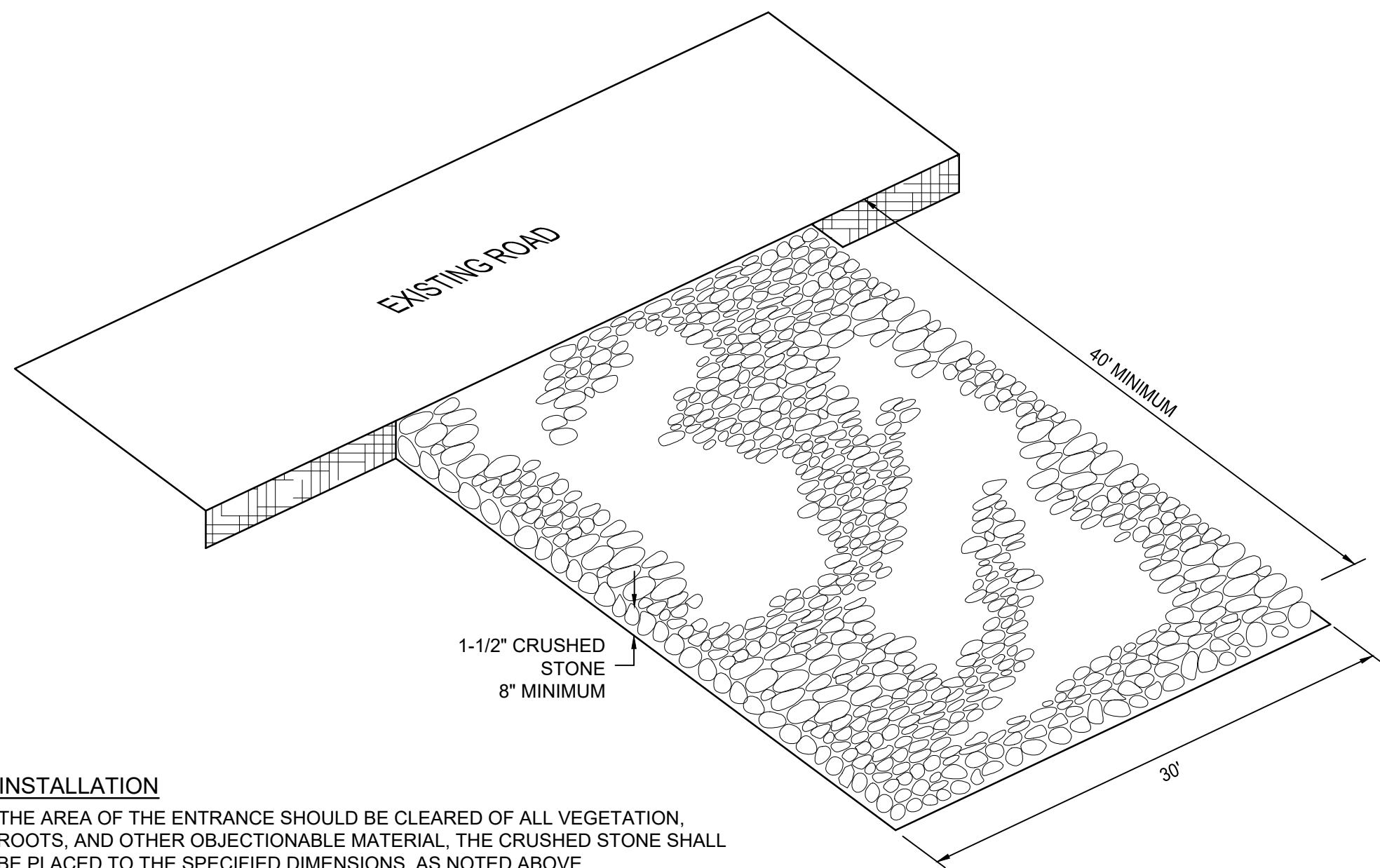
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V.2.1





1. ALL CATCH BASINS AND DRAIN MANHOLES SHALL BE 4' DIA. PRECAST CONCRETE UNLESS NOTED OTHERWISE.
2. ALL DRAIN PIPES SHALL BE SMOOTH INTERIOR CORRUGATED HIGH DENSITY POLYETHYLENE UNLESS NOTED OTHERWISE.
3. REINFORCED CONCRETE PIPE (RCP) SHALL BE CLASS III UNLESS NOTED OTHERWISE.
4. ALL SLOPES PROVIDED ARE FT/FT.
5. ALL CATCH BASINS AND AREA DRAINS SHALL BE INSTALLED WITH A SUMP AND OUTLET HOOD PER THE DETAIL.
6. ALL SEWER MANHOLES SHALL BE 4' DIA. UNLESS NOTED OTHERWISE.
7. REFER TO ELECTRICAL DRAWINGS FOR INFORMATION ON ELECTRIC AND TEL/DATA DUCT BANKS AND STRUCTURES. ALL ELECTRICAL FACILITIES DISPLAYED FOR REFERENCE ONLY.
8. REPAIR OR REPLACE DAMAGED IRRIGATION FACILITIES TO PRE-CONSTRUCTION CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
9. MODIFICATIONS AND REPAIRS TO THE EXISTING IRRIGATION SYSTEM AND SUPPLY WATER SERVICE SHALL BE DESIGNED, FURNISHED AND INSTALLED BY THE CONTRACTOR. THIS INCLUDES ALL WATER AND ELECTRICAL COMPONENTS INSTALLED PER MANUFACTURERS RECOMMENDATIONS.
10. REFER TO "CIVIL NOTES AND LEGEND" FOR ADDITIONAL NOTES.



INSTALLATION

THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL. THE CRUSHED STONE SHALL BE PLACED TO THE SPECIFIED DIMENSIONS, AS NOTED ABOVE.

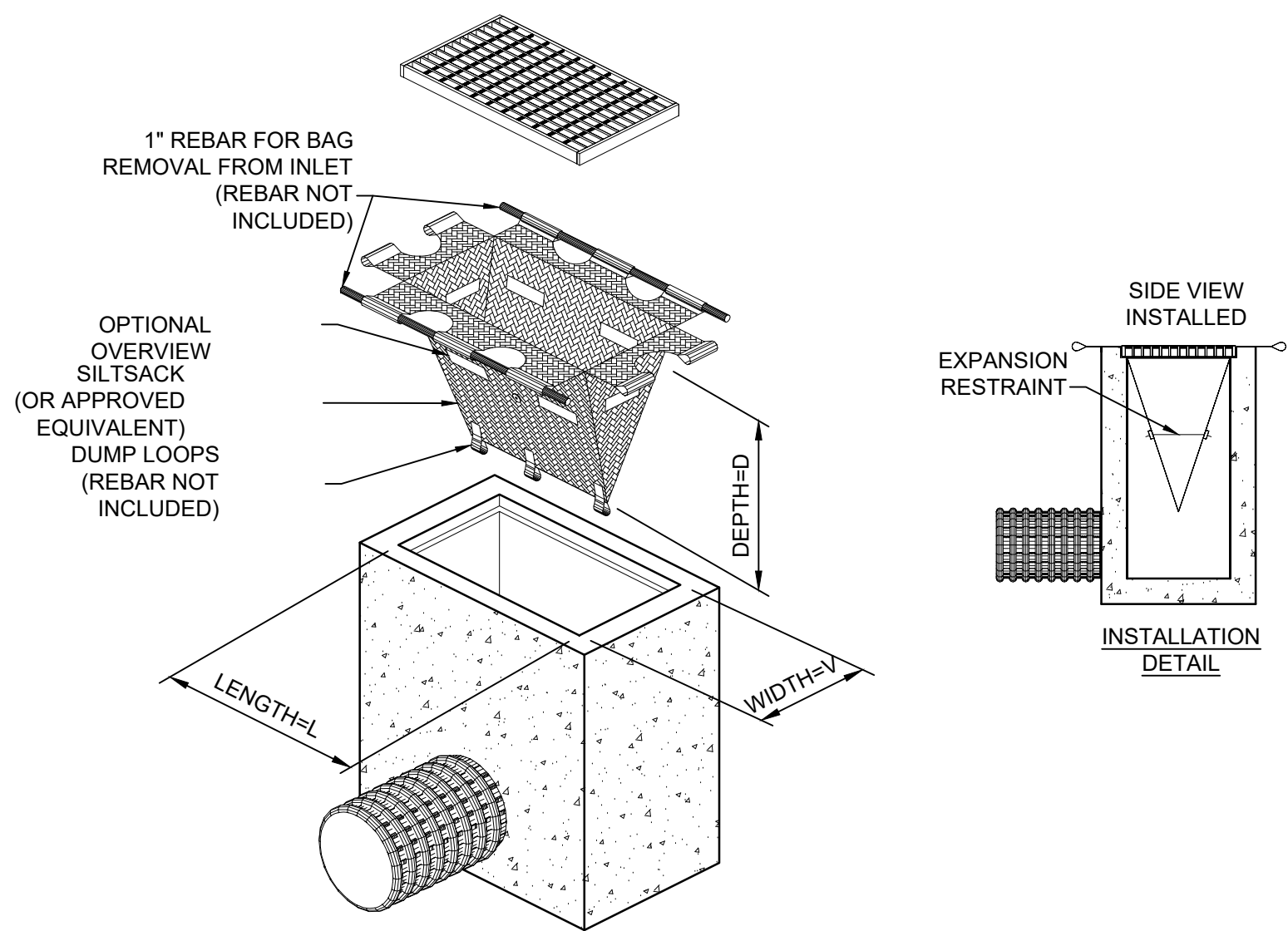
MAINTENANCE

THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENTS ONTO PUBLIC RIGHT-OF-WAYS. THIS WILL REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE, OR ADDITIONAL LENGTH, AS CONDITIONS DEMAND, AND REPAIR, AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.

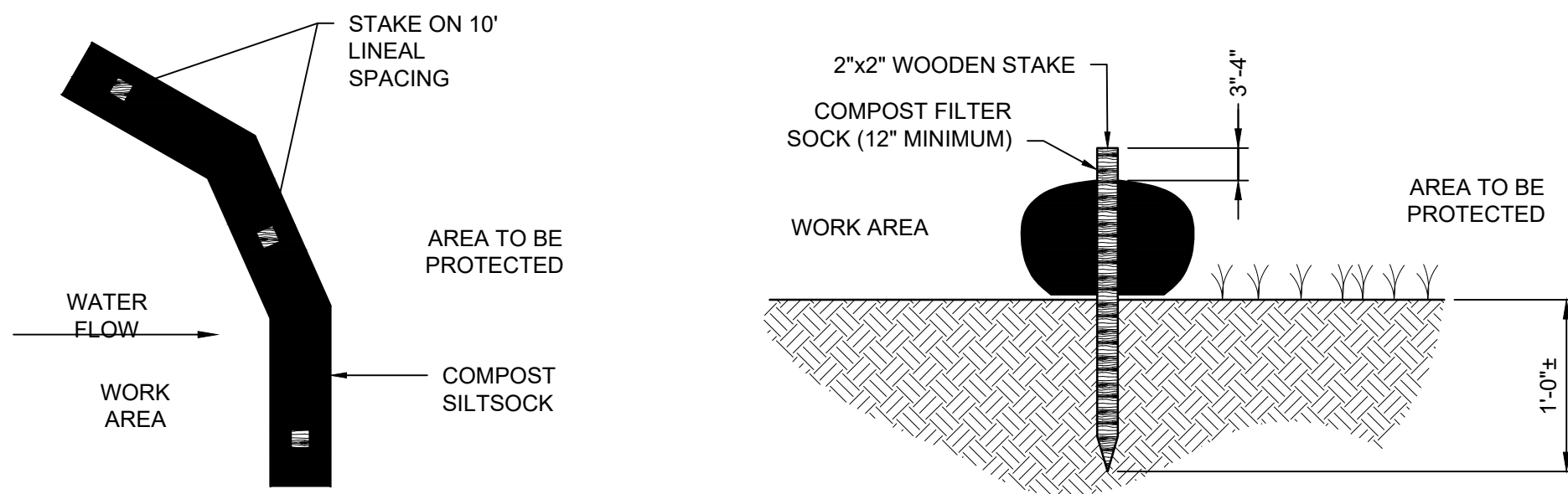
LOCATION

SEE PROJECT PLANS FOR LOCATION OF CONSTRUCTION ENTRANCE.

CONSTRUCTION ENTRANCE PROTECTION STONE STABILIZATION PAD
NOT TO SCALE



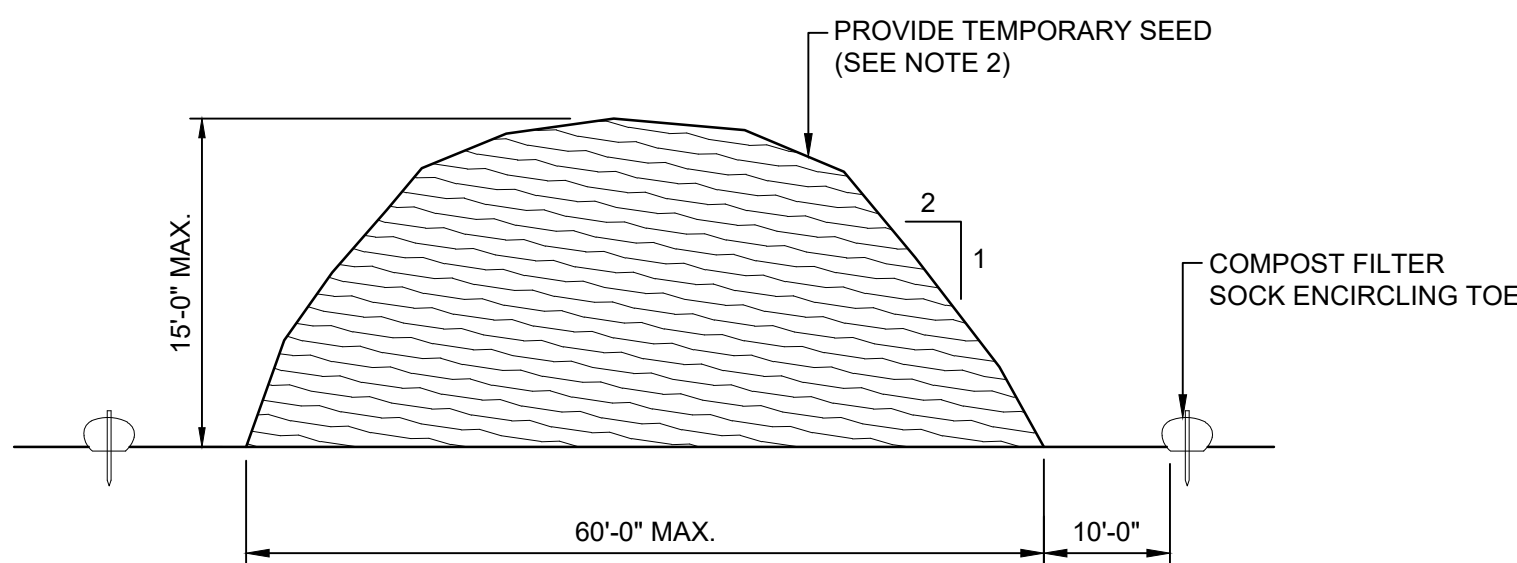
TEMPORARY INLET PROTECTION
NOT TO SCALE



NOTES:

1. COMPOST/ SOIL/ ROCK/ SEED FILL TO MEET APPLICATION REQUIREMENTS.
2. COMPOST MATERIAL TO BE REMOVED OR DISPERSED ON SITE AS DETERMINED BY ENGINEER.
3. IF SOCK NETTING MUST BE JOINED, FIT BEGINNING OF NEW SOCK OVER END OF OLD SOCK, OVERLAPPING BY 2 FEET AND STACK OVERLAP. IF SOCK NETTING IS NOT JOINED, OVERLAP OLD SOCK WITH NEW ONE BY MINIMUM OF 2 FEET.

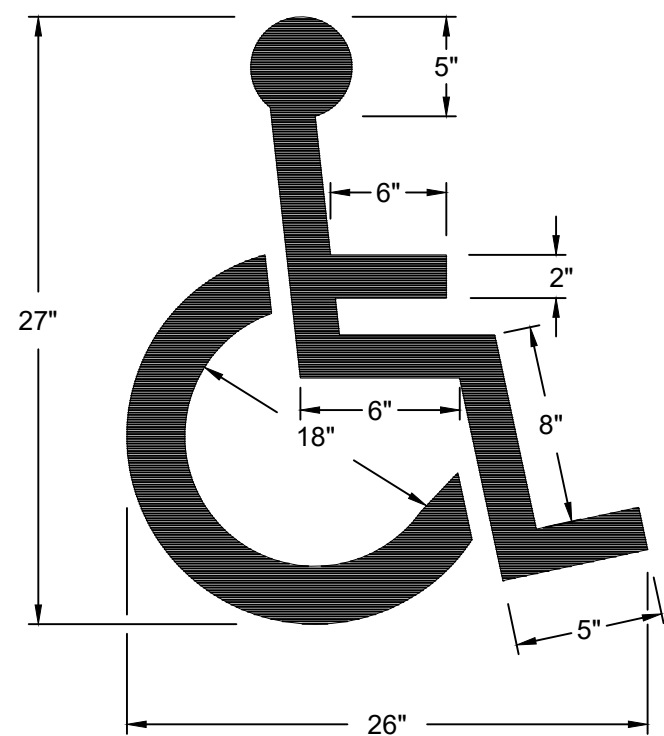
COMPOST FILTER SOCK DETAIL
NOT TO SCALE



NOTES:

1. STOCKPILE AREA SHALL NOT EXCEED SPECIFIED DIMENSIONS WITHOUT APPROVAL FROM ENGINEER.
2. STOCKPILED ERODIBLE MATERIAL THAT WILL NOT BE USED FOR GREATER THAN 14 DAYS SHALL BE STABILIZED WITH TEMPORARY SEED IMMEDIATELY FOLLOWING PLACEMENT. USE RIDOT STD. M.18.10.5 SEED MIX.

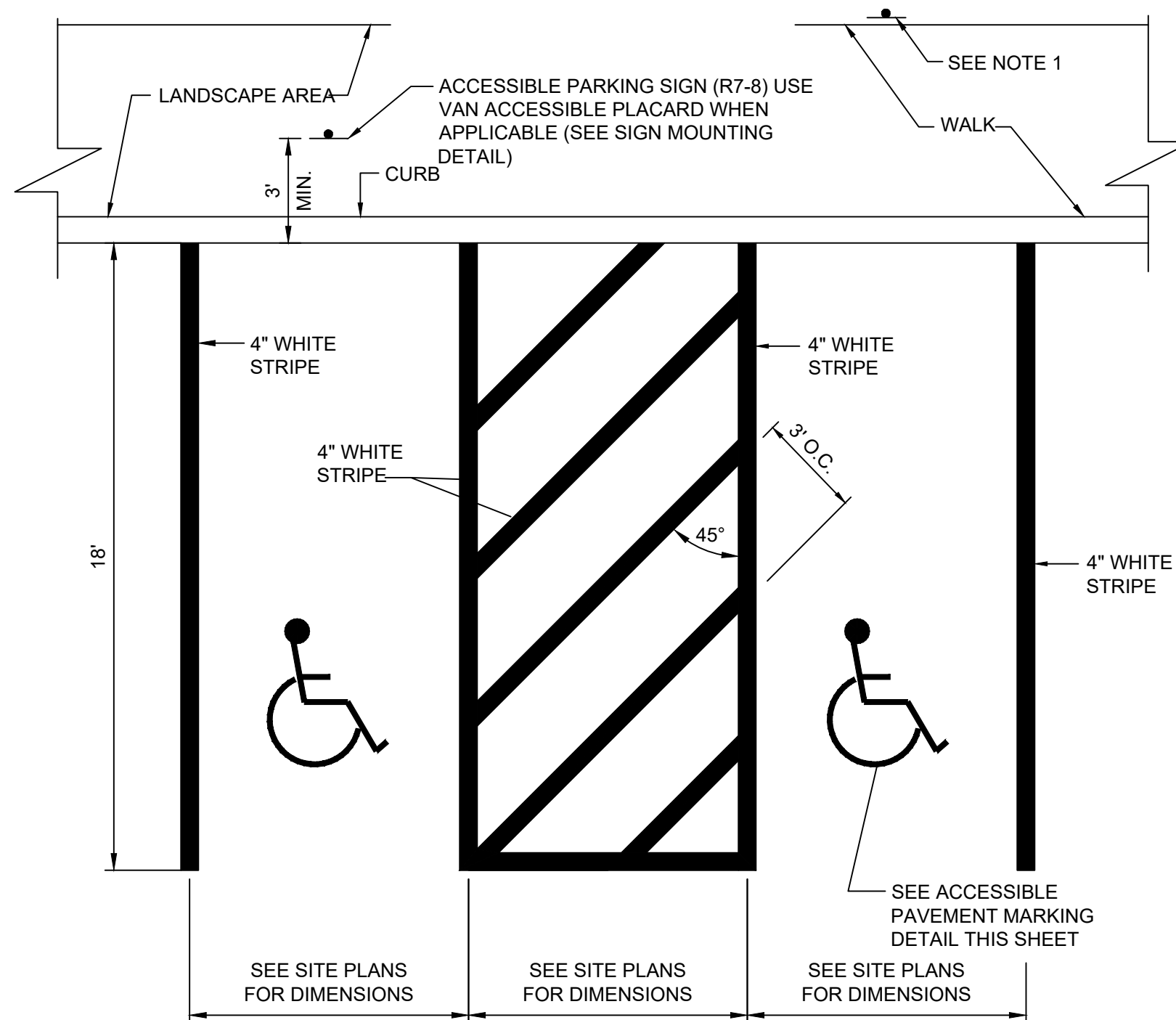
ERODIBLE MATERIAL STOCKPILE
NOT TO SCALE



NOTE:
ACCESSIBLE PARKING AND SIGNAGE SHALL BE IN CONFORMANCE WITH THE RULES & REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT.

SHP

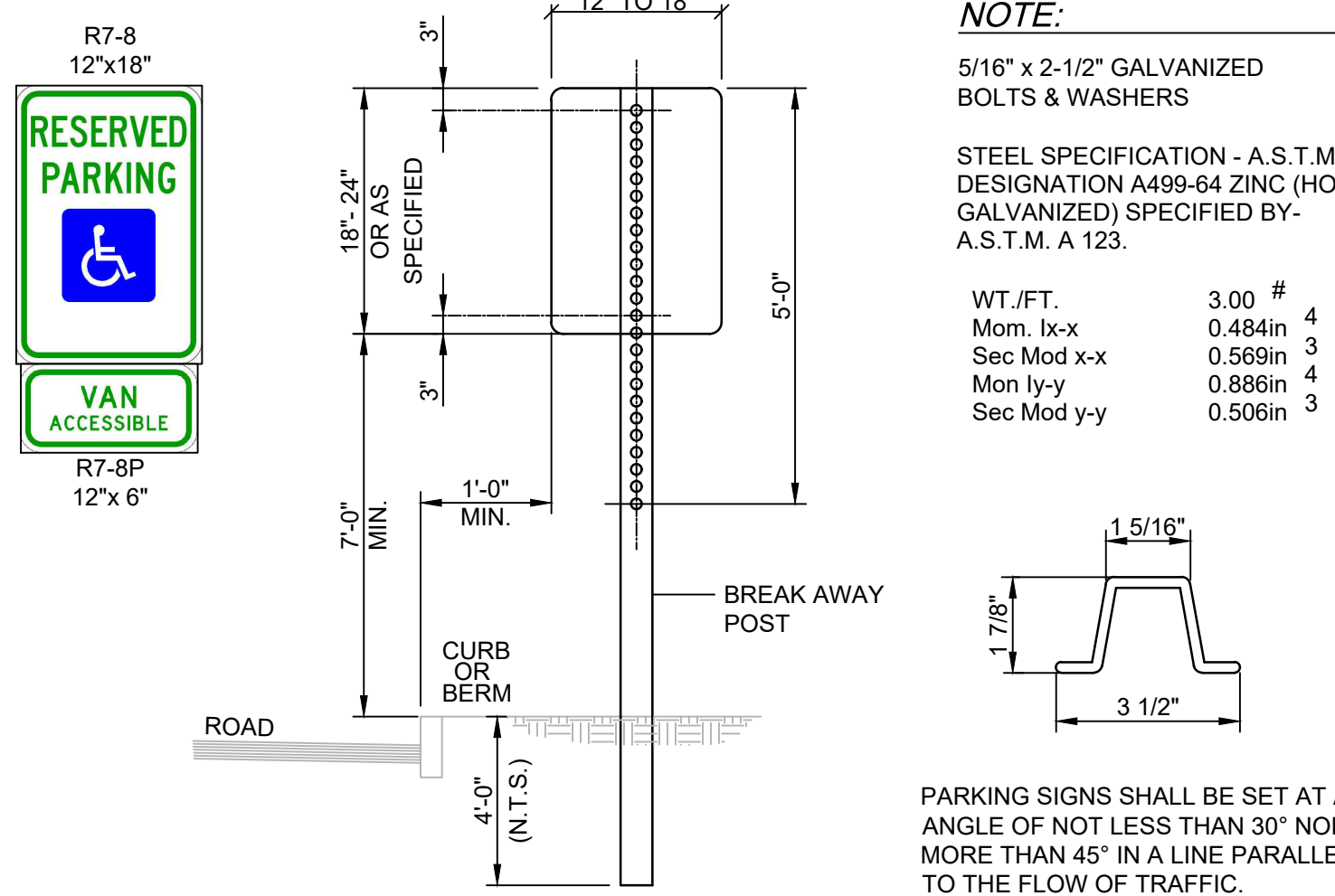
ACCESSIBLE PAVEMENT MARKING
NOT TO SCALE



NOTES:

1. WHERE STALLS ABUT SIDEWALK, PARKING SIGNS SHOULD BE PLACED AT BACK EDGE OF SIDEWALK.
2. ALL PAVEMENT MARKINGS TO BE EPOXY RESIN.

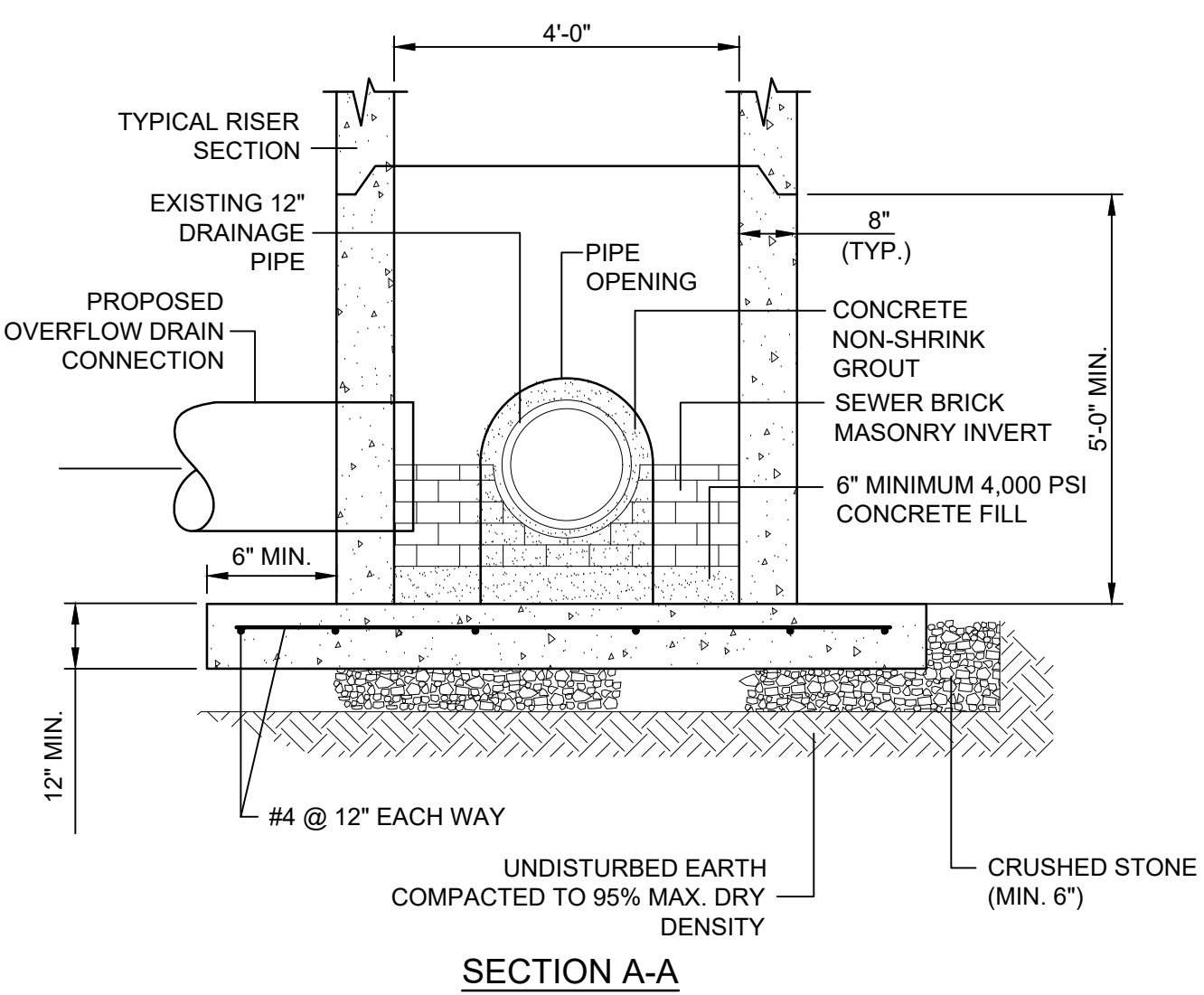
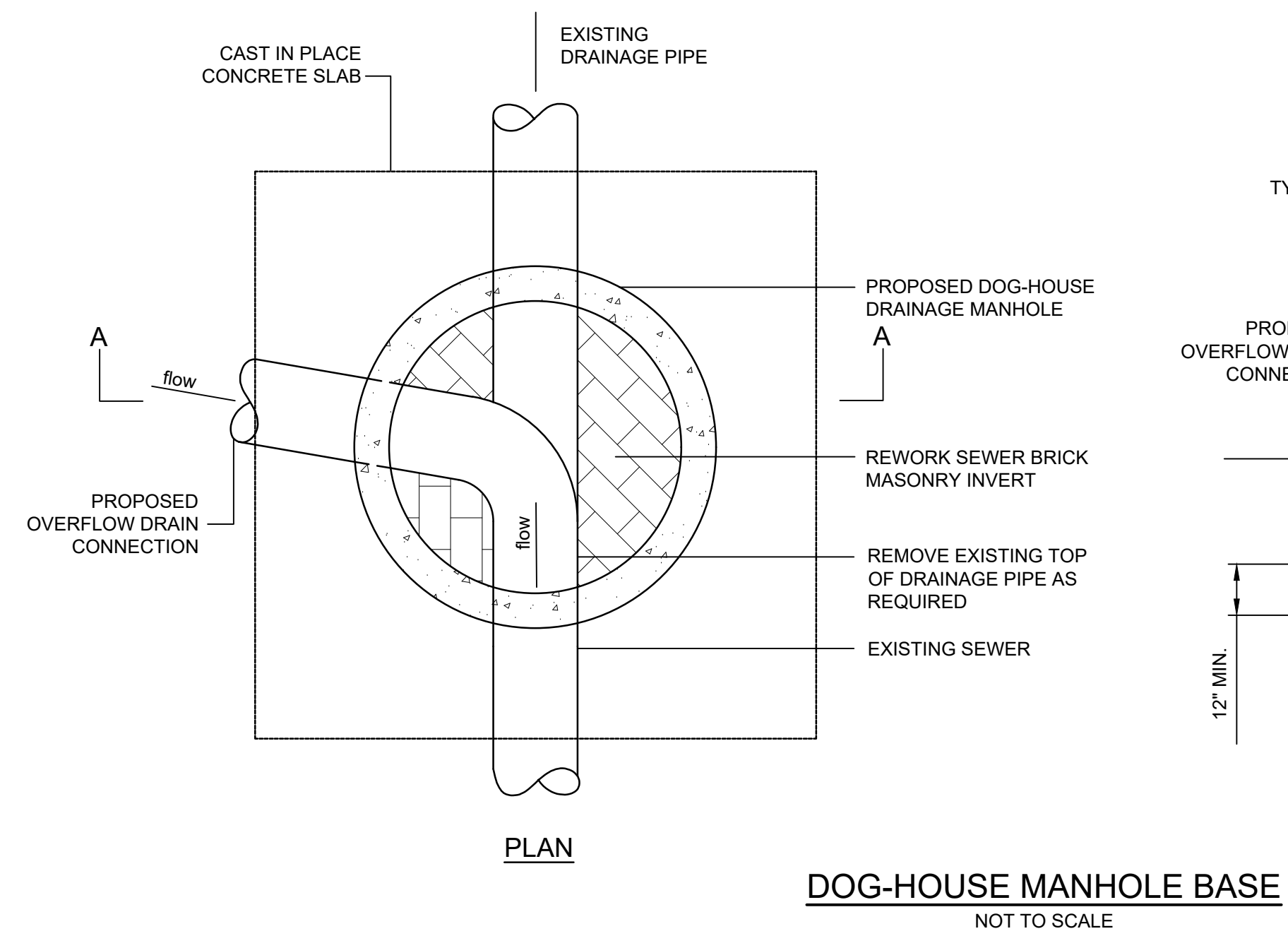
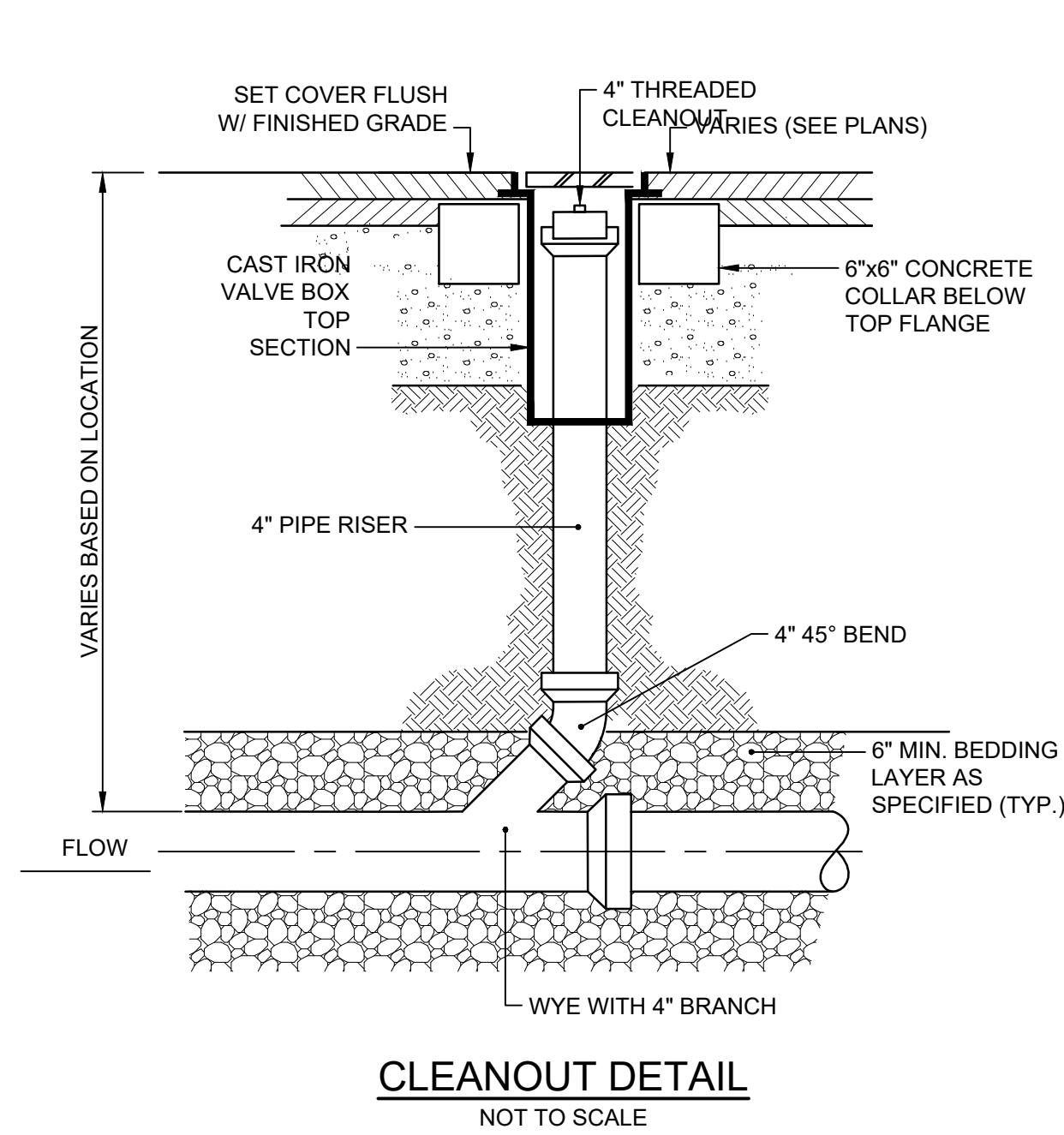
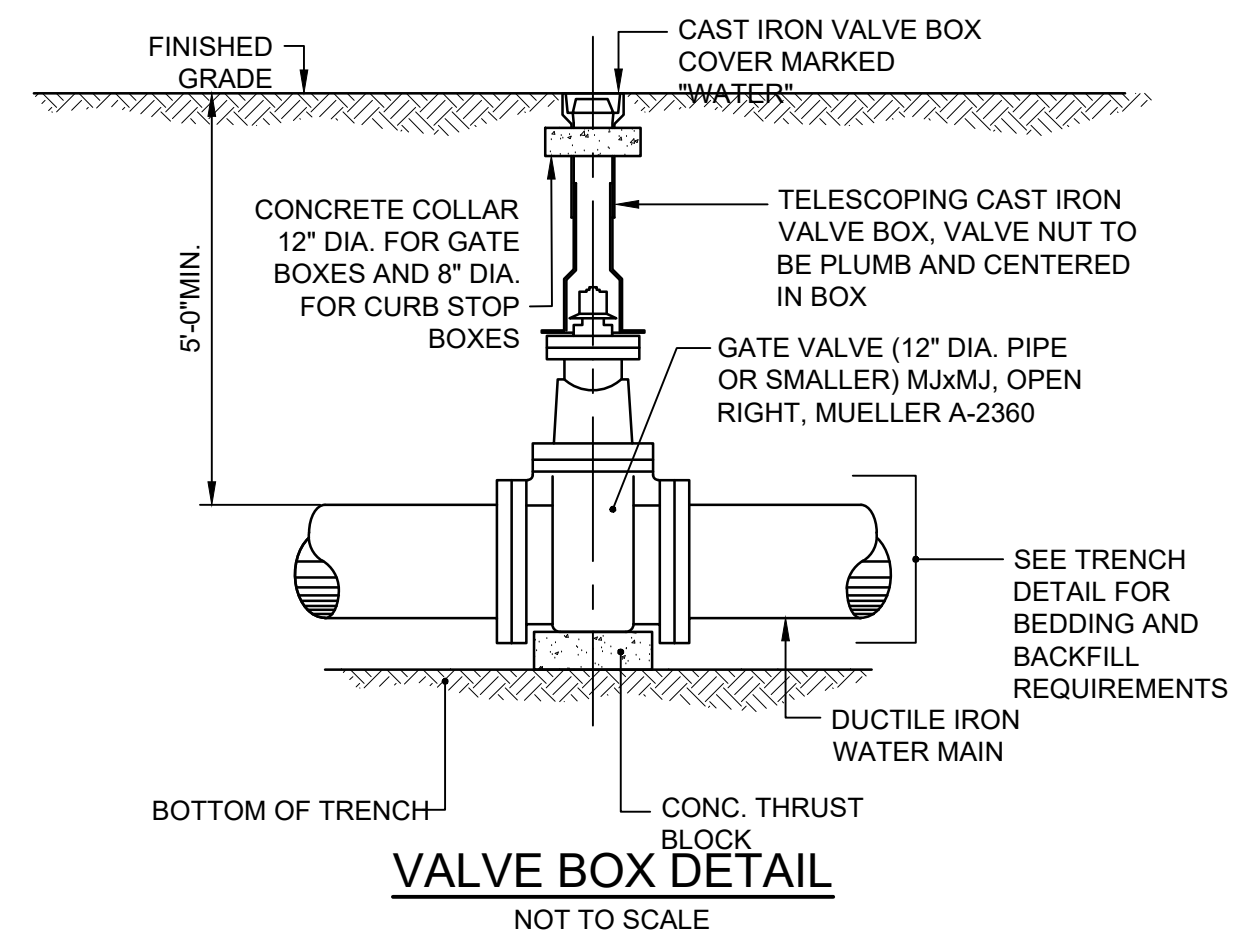
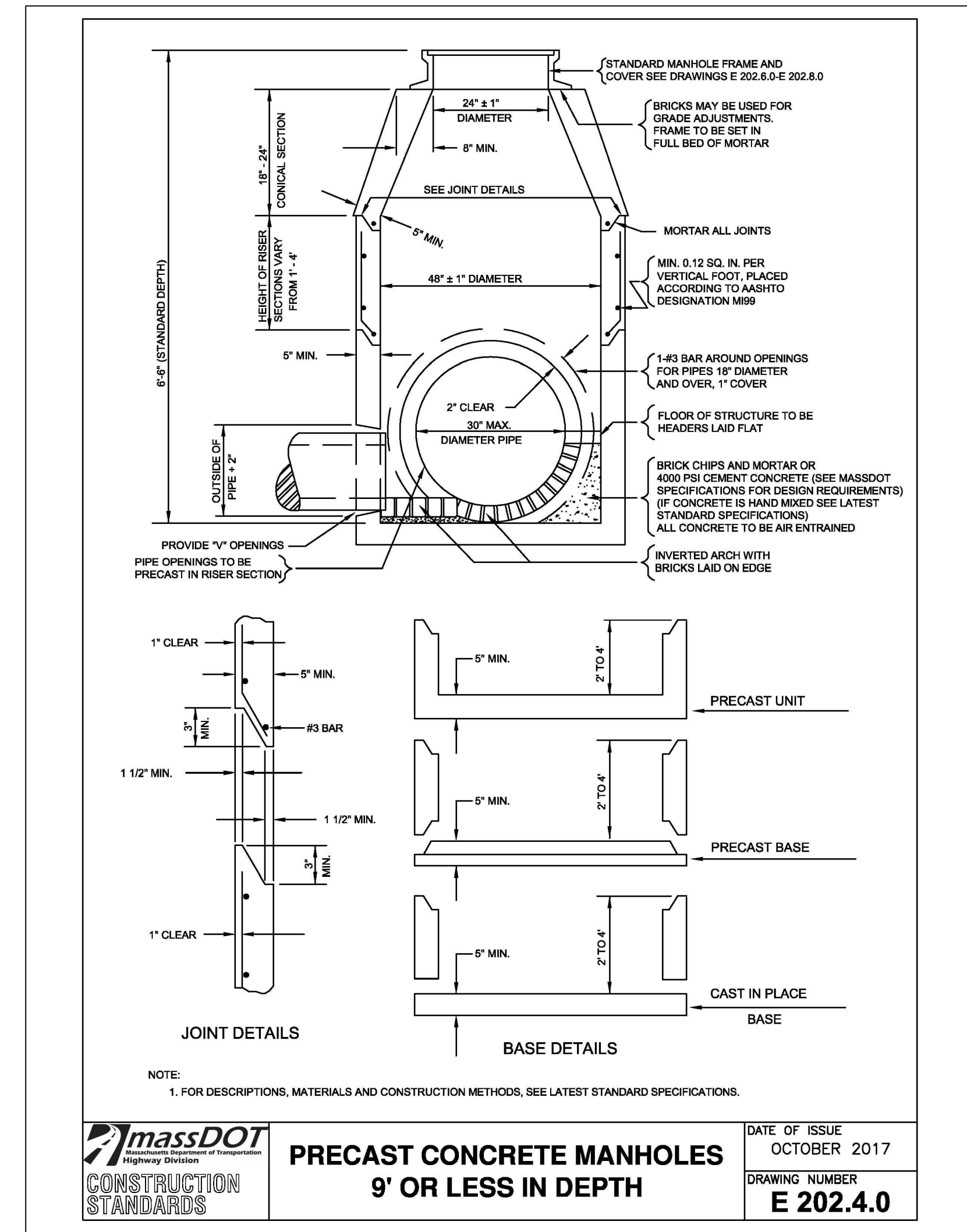
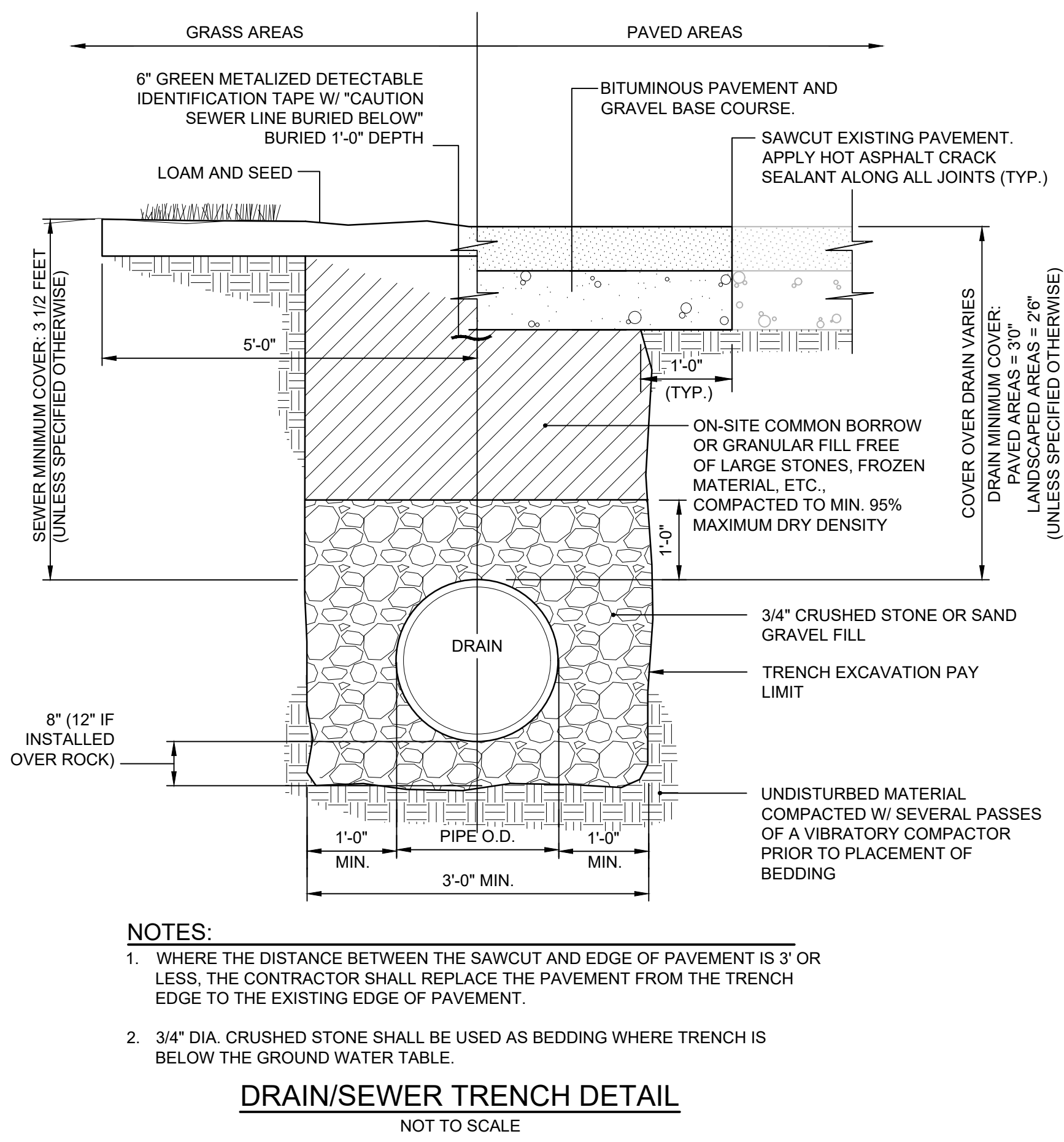
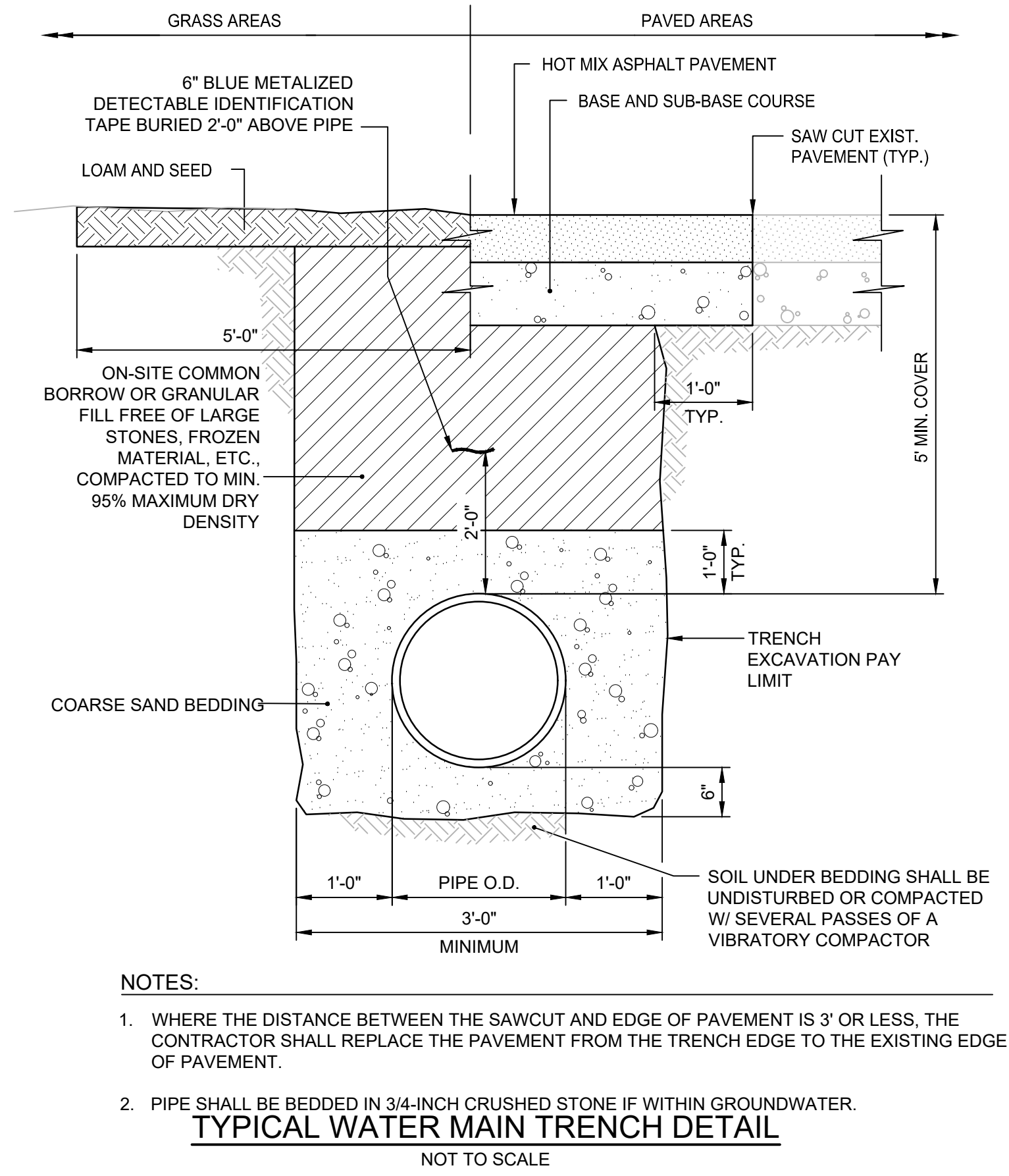
ACCESSIBLE PARKING STALLS @ 90°
NOT TO SCALE

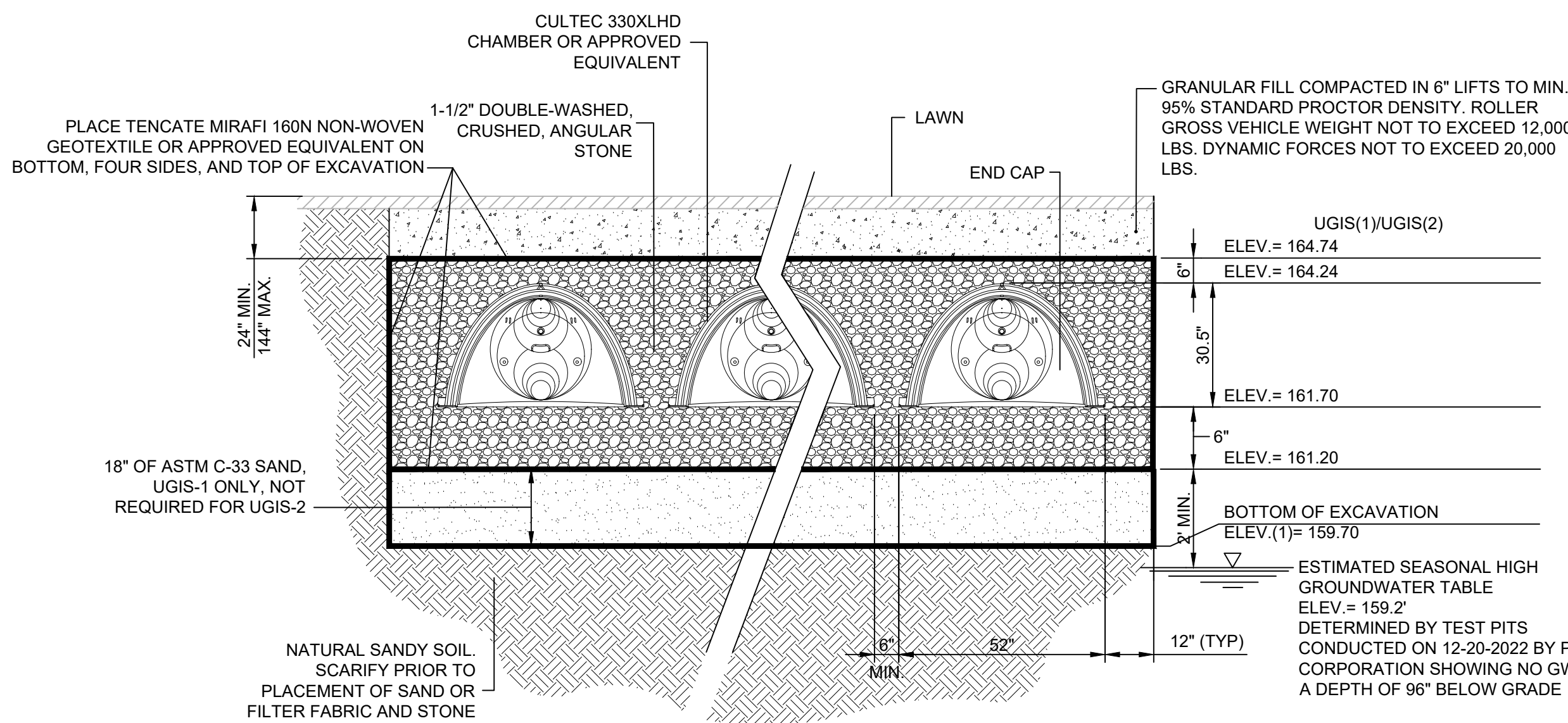


NOTES:

1. ALL LAG SCREWS, BOLTS AND WASHERS SHALL BE GALVANIZED 5/16"x2 1/2" LONG UNLESS OTHERWISE NOTED.
2. WASHERS SHALL BE 0.07" THICK.
3. ALL SIGN COLORS, RADII AND BORDERS AS SPECIFIED IN "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
4. SHALL BE IN ACCORDANCE WITH SECTION T.15 OF THE STANDARD SPECIFICATIONS.
5. PARKING SIGNS SHALL BE SET AT AN ANGLE OF NOT LESS THAN 30° NOT MORE THAN 45° WITH A LINE PARALLEL TO FLOW OF TRAFFIC. 1'-6" (1'-0" MIN.) FROM THE EDGE OF CURB FACE.
6. ALL ACCESSIBLE PARKING AND SIGNAGE SHALL BE IN CONFORMANCE WITH THE RULES & REGULATIONS AS SPECIFIED BY THE AMERICAN DISABILITIES ACT (ADA).
7. SIGN(S) SHALL BE LOCATED SO THEY CANNOT BE OBSCURED BY A VEHICLE PARKED IN THE SPACE.
8. FOR ACCESSIBLE VAN SPACE USE SIGN AS DETAILED.
9. FOR ACCESSIBLE SPACE FOR AUTOMOBILES USE ONLY ACCESSIBLE PARKING SIGN.

ACCESSIBLE SIGN MOUNTING
NOT TO SCALE



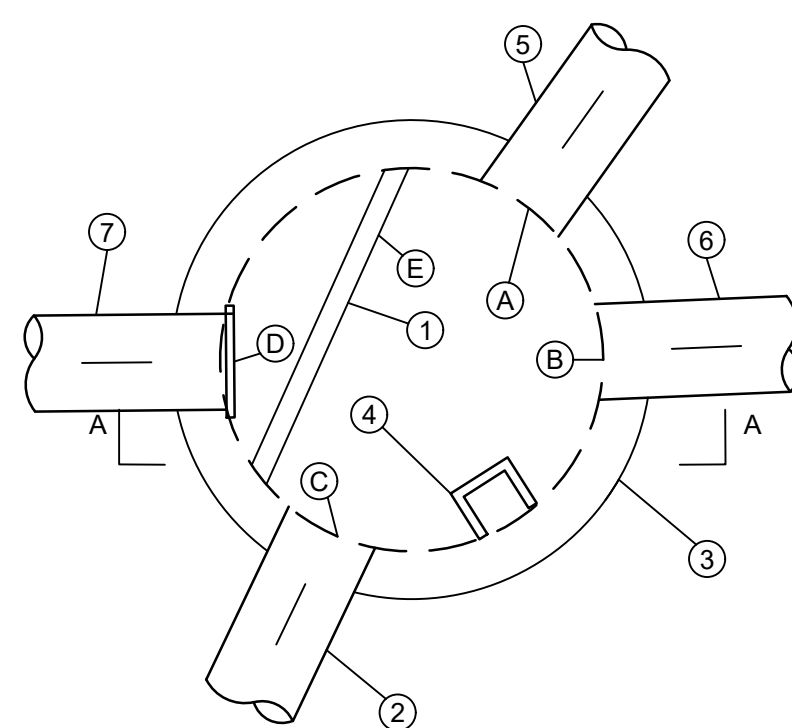


NOTES:

- CONTRACTOR SHALL TAKE PRECAUTION NOT TO COMPACT SUBGRADE.
- CONTRACTOR SHALL NOT PLACE OR OPERATE MACHINERY ON SUBGRADE.
- CONTRACTOR SHALL NOTIFY ENGINEER (48 HRS MIN) PRIOR TO EXPOSING SUBGRADE TO SCHEDULE INSPECTION.
- ONCE CONTRACTOR HAS SUBGRADE EXPOSED, THE ENGINEER SHALL BE CONTACTED FOR INSPECTION.
- CONSTRUCTION OF THE SYSTEM SHALL NOT COMMENCE UNTIL ENGINEER INSPECTS SUBGRADE AND CRUSHED STONE AND GRANTS PERMISSION TO PROCEED.
- CONTRACTOR SHALL INSTALL UNDERGROUND INFILTRATION SYSTEM PER MANUFACTURERS RECOMMENDATIONS.

UNDERGROUND INFILTRATION SYSTEM DETAIL

NOT TO SCALE

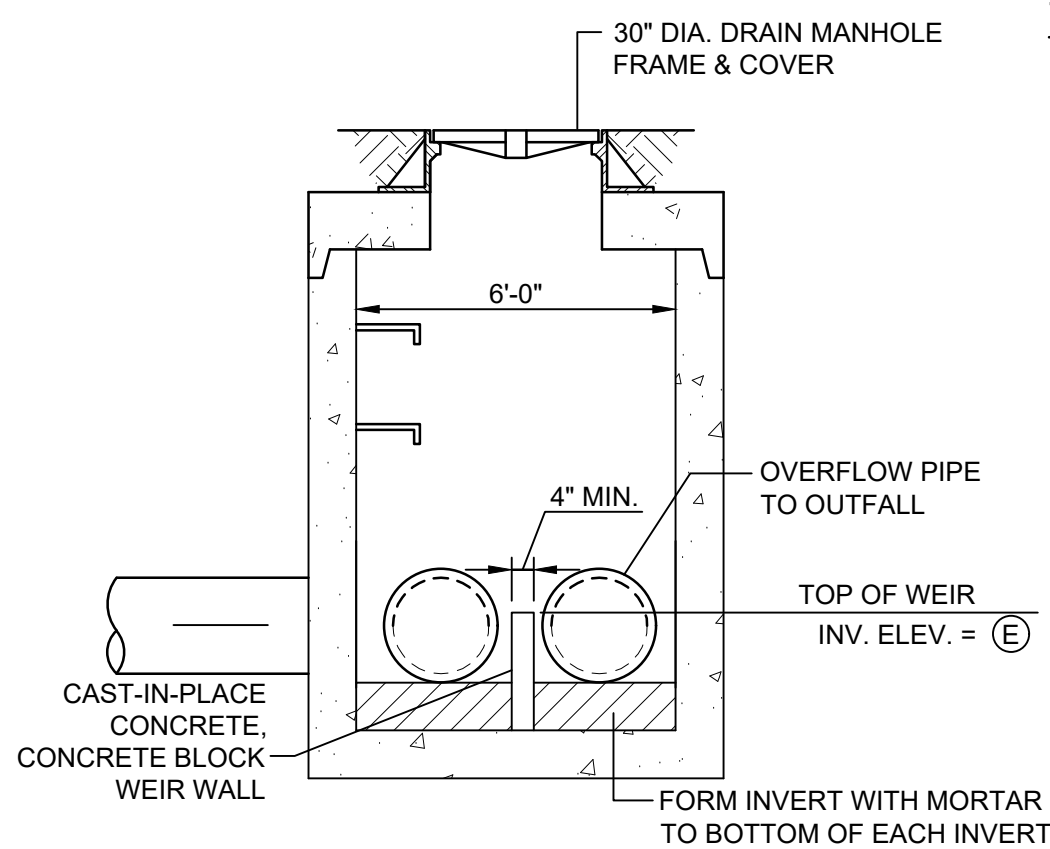


DIV 1

	A	B	C	D	E
DIV 1	164.00	163.00	162.75	162.50	164.30

TYPICAL NOTES LEGEND

- CAST IN PLACE CONCRETE DIVERSION WEIR WALL (4" WIDE)
- OUTFLOW PIPE TO CULTEC RECHARGERS
- PRECAST 6" DIAMETER MANHOLE
- PROVIDE STEPS
- PIPE IN (ROOF DRAIN)
- PIPE IN (FOUNDATION DRAIN)
- EMERGENCY OUTFLOW PIPE

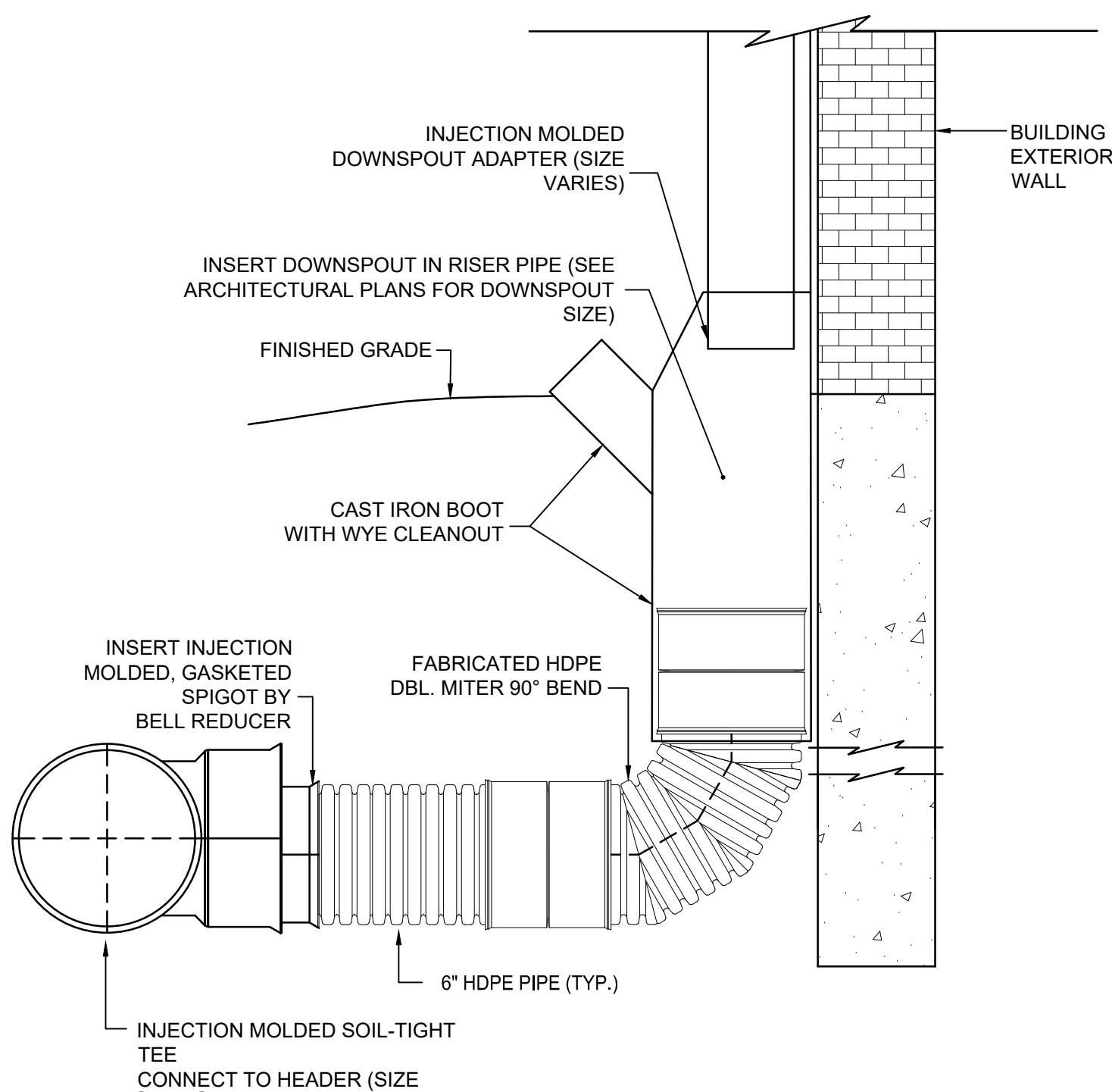


SECTION A-A DIVERSION WEIR WALL ELEVATION

CAP ELEVATION

TYPICAL DIVERSION MANHOLE DETAIL

NOT TO SCALE

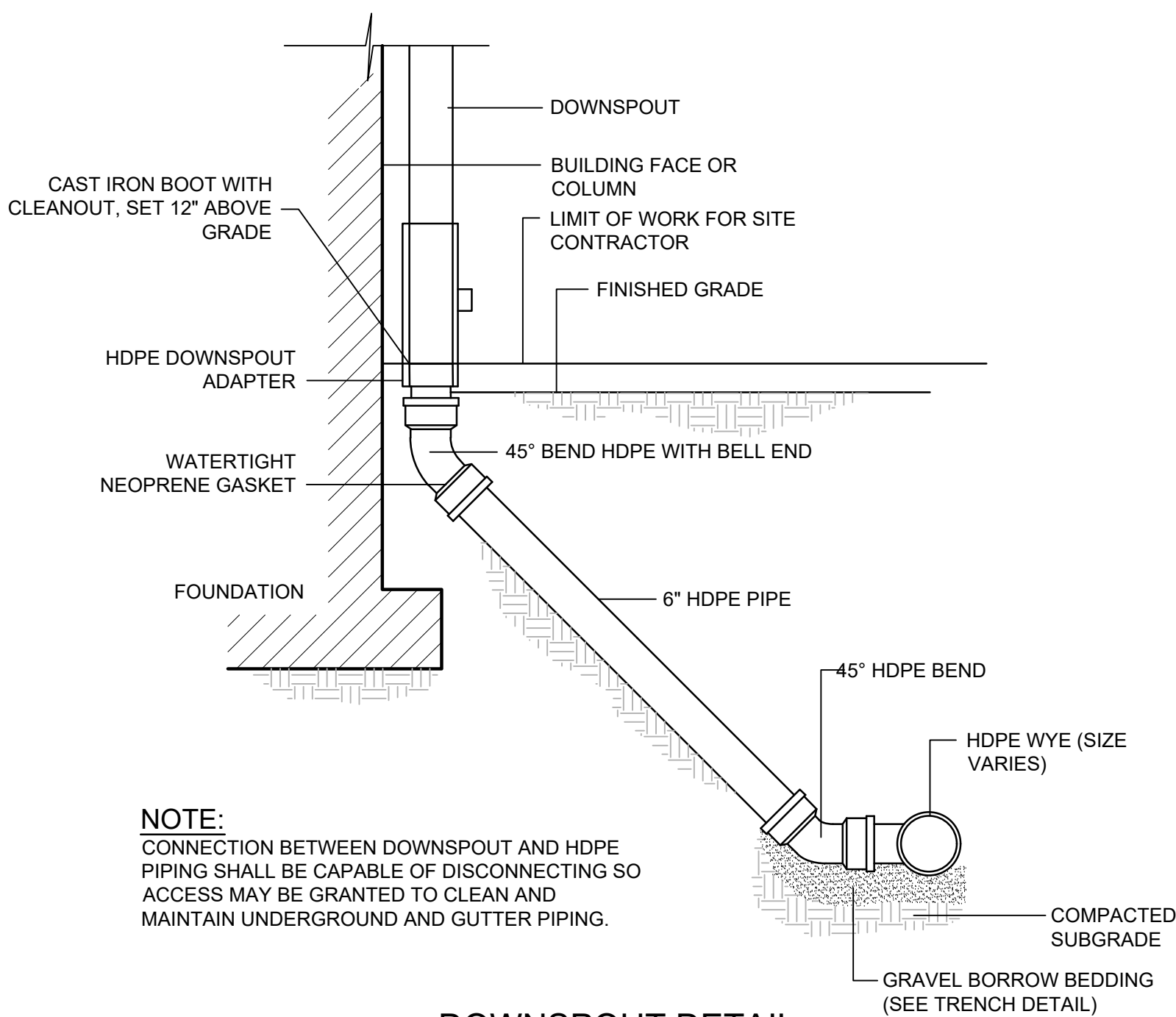


NOTES:

- COORDINATE WITH OWNER AND ARCHITECT ON STYLE AND TYPE OF CAST IRON BOOT. CAST IRON BOOT SHOWN HERE FOR GENERAL COORDINATION PURPOSES ONLY.
- CONTRACTOR SHALL INSTALL CAST IRON BOOT IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS.
- DOWNSPOUT ADAPTORS SHALL BE INSTALLED AT ALL DOWNSPOUTS ROUTING TO UNDERGROUND DRAINAGE SYSTEMS.

DOWNSPOUT ADAPTOR TO HEADER

NOT TO SCALE

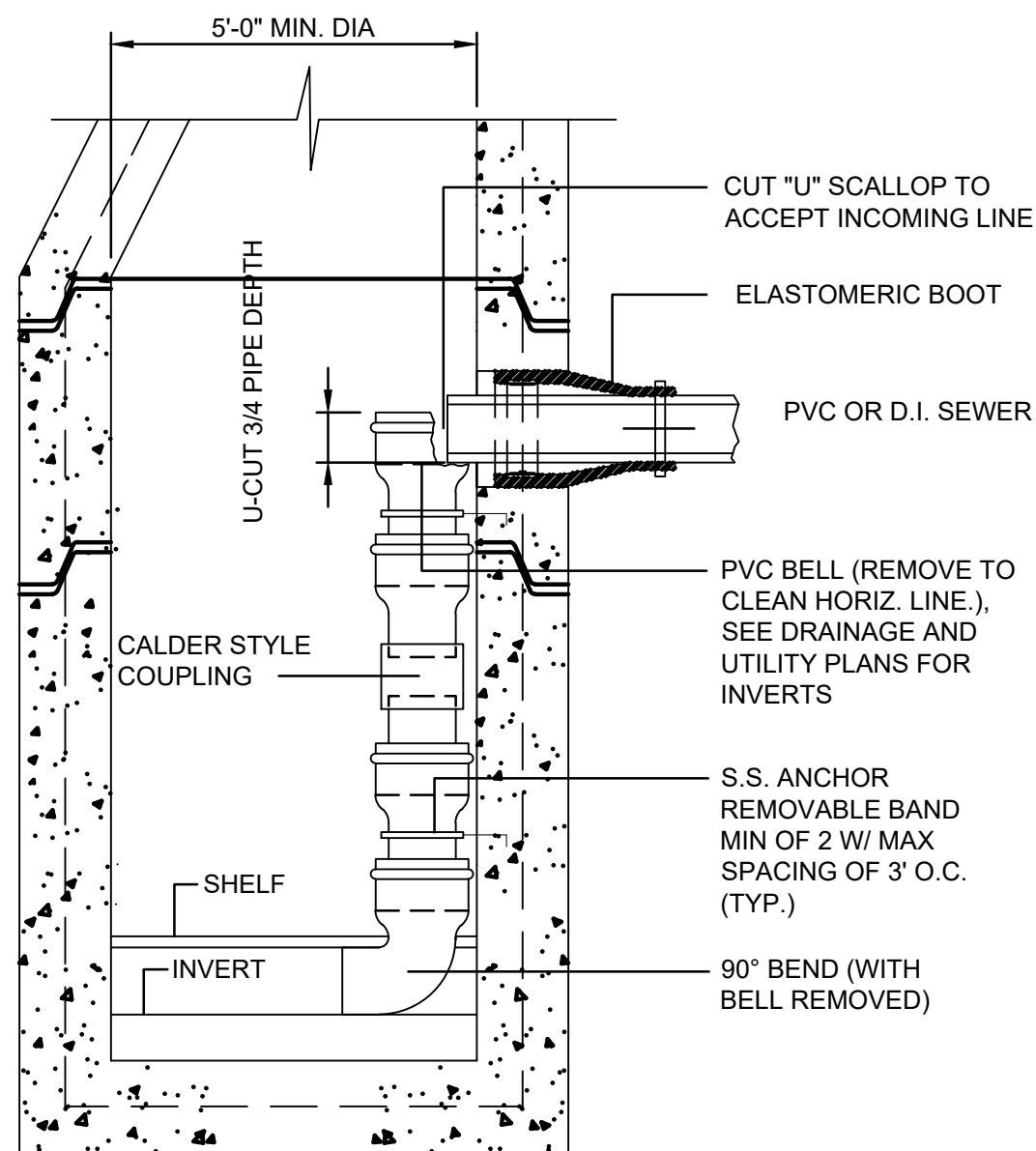


NOTE:

CONNECTION BETWEEN DOWNSPOUT AND HDPE PIPING SHALL BE CAPABLE OF DISCONNECTING SO ACCESS MAY BE GRANTED TO CLEAN AND MAINTAIN UNDERGROUND AND GUTTER PIPING.

DOWNSPOUT DETAIL

NOT TO SCALE



NOTE:

ALL HARDWARE TO BE TYPE 316 STAINLESS STEEL

DROP MANHOLE DETAIL

NOT TO SCALE

ARCHITECT

bh+a

Bergmann Hendrie + Archetype, Inc.
9 Channel Center Street, Suite 300
Boston, MA 02210
(617) 350 0450

PROJECT NAME

Emery Grover
Renovations

1330 Highland Ave
Needham, MA 02492

CLIENT

Town of Needham
Permanent Public

Building Committee
500 Oedham Ave
Needham, MA 02492

PROJECT TEAM

Civil Engineer

Pere Corporation
10 Lincoln Rd, Suite 210
Foxboro, MA 02035
(508) 543-1755

Landscape Architect

Kyle Zick Landscaping Architecture, Inc.
36 Bromfield St Suite 202
Boston, MA 02108
(617) 451-1018

Structural Engineer

Structures North Consulting
Engineers, Inc.
60 Washington St, Suite 401
Salem, MA 01971
(978) 745-6817

MEP/FP Engineer

Allied Engineering
235 Littleton Road, Suite 5
Westford, MA 01886
(978) 443-7888

Technology

Building Technology Consulting
992 Bedford St
Bridgewater, MA 02324
(617) 759-4309

REVISIONS

NO.	DATE	DESCRIPTION

DRAWING TITLE

CIVIL DETAILS 4

DRAWING INFORMATION

DATE OF ISSUE

APRIL 15, 2022

SITE PLAN SUBMISSION

DESCRIPTION

AS NOTED

SCALE

21228.00

PROJECT #

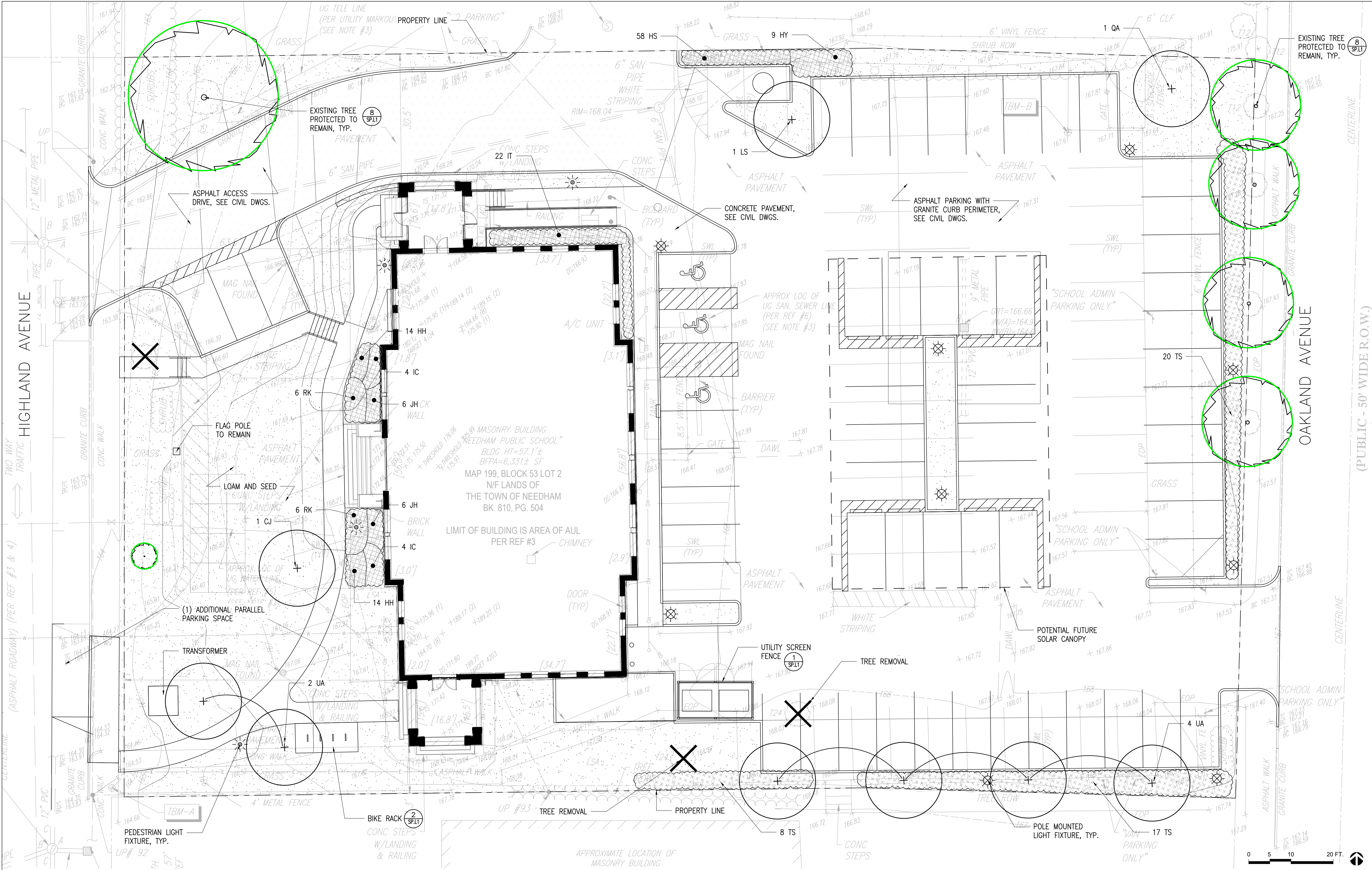
FILE NAME

DRAWING NUMBER

SP.C10

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V.2.1



- LEGEND**
- LOAM AND SEED, TYP. (3 SPLIT)
 - SHRUBS/PERENNIALS (415 SPLIT)
 - EVERGREEN SCREEN PLANTING (7 SPLIT)
 - EXISTING TREE PROTECTED TO REMAIN, TYP. (8 SPLIT)
 - TREE REMOVAL, TYP. (X)
 - DECIDUOUS TREE (6 SPLIT)
 - POLE MOUNTED LIGHT FIXTURE, TYP. (1 SPLIT)
 - PEDESTRIAN LIGHT FIXTURE, TYP. (2 SPLIT)

PLANT SCHEDULE

Quantity	Symbol	Scientific Name	Common Name	Size	Notes
Deciduous Trees					
1	CJ	CERCIDIPHYLLUM JAPONICUM	KATSURA TREE	3" CALIPER	SPRING DIG ONLY
1	LS	LIQUIDAMBAR STYRACIFLUA 'ROTUNDILOBA'	SWEETGUM	3" CALIPER	SPRING DIG ONLY
1	QA	QUERCUS ALBA	WHITE OAK	3" CALIPER	SPRING DIG ONLY
6	UA	ULMUS AMERICANA 'PRINCETON'	PRINCETON AMERICAN ELM	3" CALIPER	SPRING DIG ONLY
Evergreen Trees					
45	TS	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	6' HEIGHT	5' O.C.
Shrubs					
8	IC	ILEX CRENATA	JAPANESE HOLLY	24" SPREAD	4' O.C.
28	HH	HEMEROCALLIS 'HYPERION'	HYPERION DAYLILY	1 GALLON	2' O.C.
58	HS	HEMEROCALLIS X 'GENTLE SHEPARD'	GENTLE SHEPARD DAYLILY	1 GALLON	1.5' O.C.
9	HY	HYDRANGEA MACROPHYLLA 'ENDLESS SUMMER'	ENDLESS SUMMER HYDRANGEA	5 GALLON	4' O.C.
22	IT	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPIRE	36" HEIGHT	3' O.C.
12	JH	JUNIPERUS HORIZONTALIS 'ANDORRA'	ANDORRA JUNIPER	12" HEIGHT	3' O.C.
12	RK	ROSA 'RADRAZZ'	KNOCK OUT ROSE	24" SPREAD	4 O.C.

ARCHITECT
bh+a
Bergmann Hendrie + Archetype, Inc.
9 Channel Center Street, Suite 300
Boston, MA 02210
(617) 350 0450

PROJECT NAME
Emery Grover Renovations
1330 Highland Ave
Needham, MA 02462

CLIENT
**Town of Needham
Permanent Public Building Committee**
500 Oyster Ave
Needham, MA 02462

PROJECT TEAM
Civil Engineer
Pare Corporation
10 Lincoln Rd, Suite 210
Framingham, MA 01905
(508) 543-1755
Landscape Architect
Kyle Zick Landscaping Architecture, Inc.
36 Bromfield St Suite 202
Boston, MA 02108
(617) 451-0118
Structural Engineer
Structures North Consulting
Engineers, Inc.
60 Washington St, Suite 401
Salem, MA 01971
(978) 745-6817
MEP/FP Engineer
Allied Engineering
235 Lilian Road, Suite 5
Westford, MA 01886
(978) 443-7888
Technology
Building Technology Consulting
592 Bedford St
Bridgewater, MA 02324
(617) 799-4390

REVISIONS

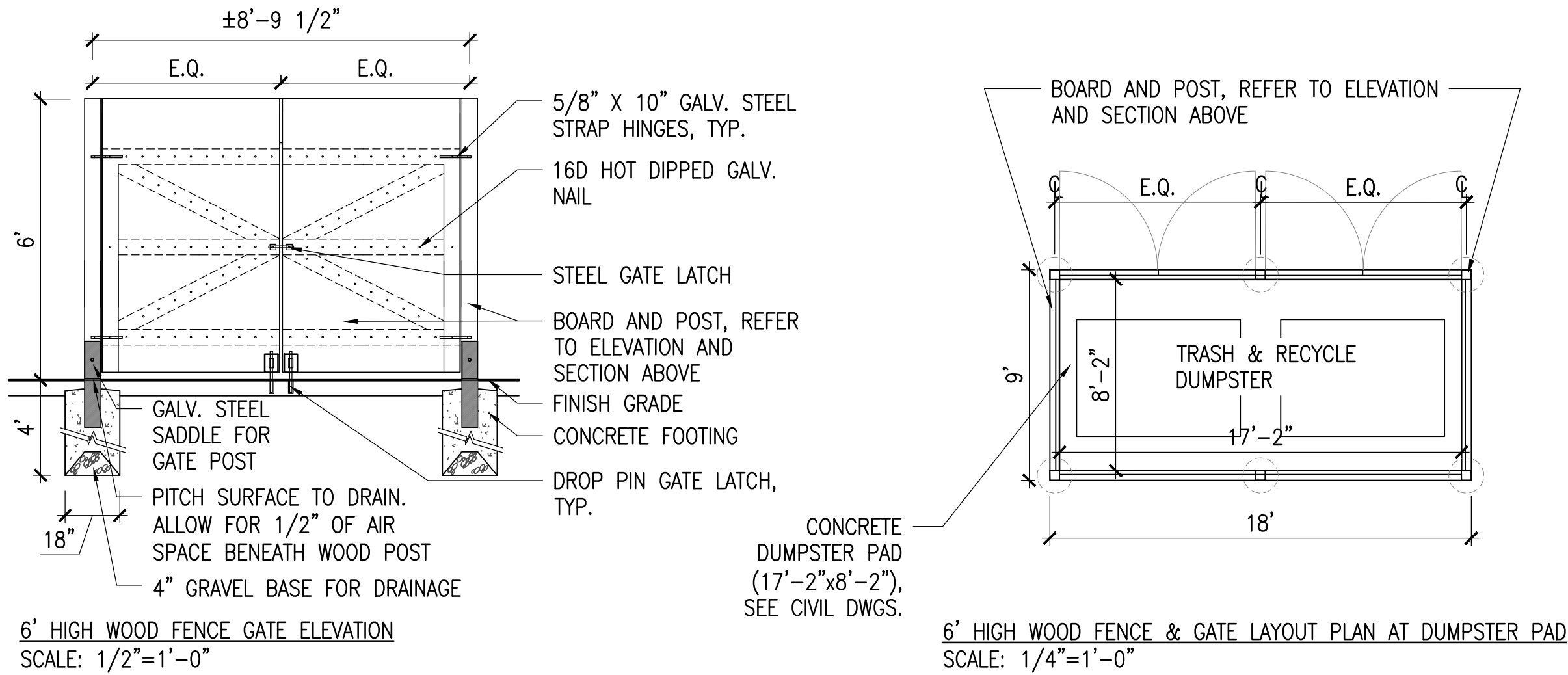
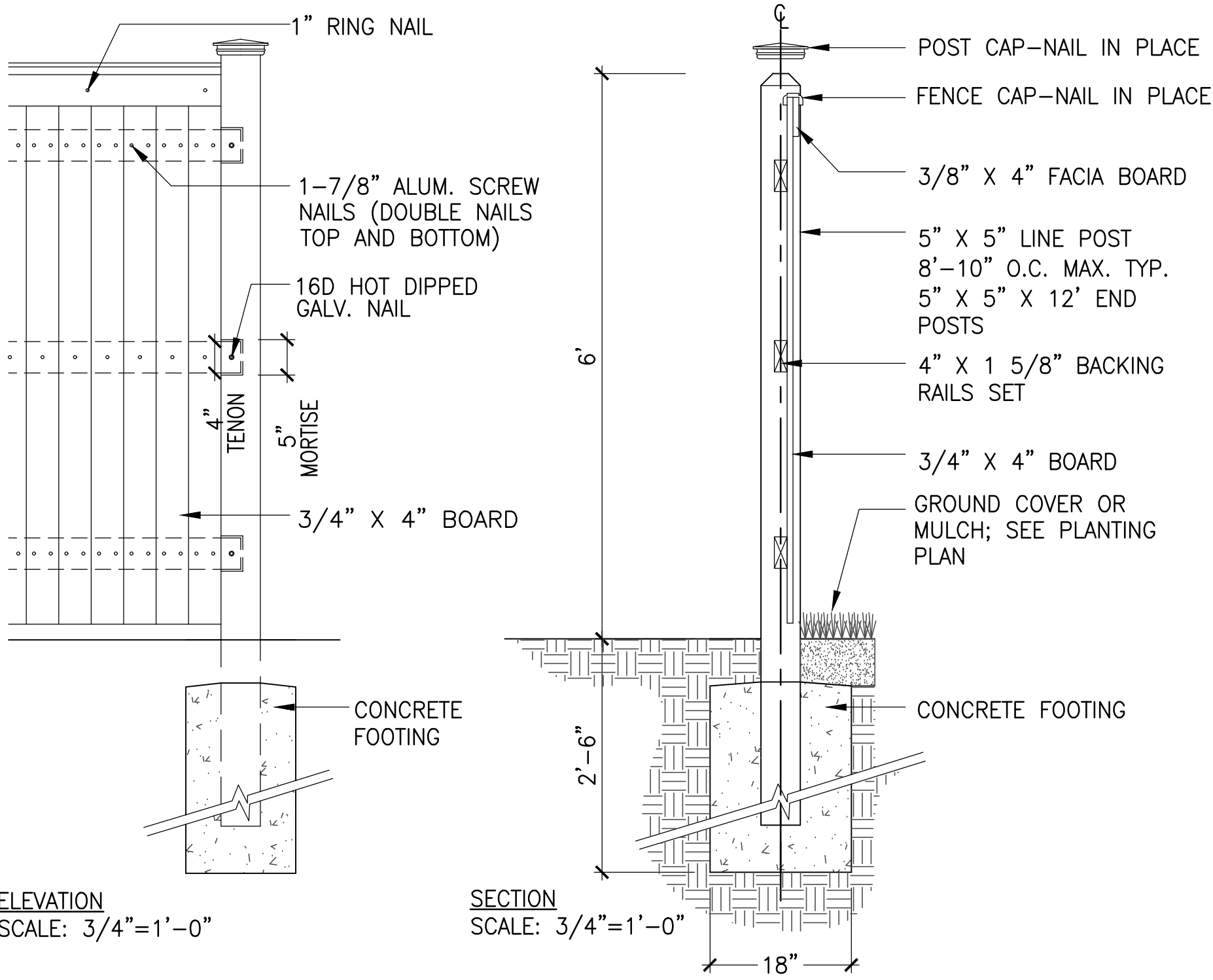
DRAWING TITLE
Landscape Improvement Plan

DRAWING INFORMATION

04/14/2022	DATE OF ISSUE
Design Development	DESCRIPTION
1"=10' 0"	SCALE
3/3/2022	DATE
SP.L0	PROJECT #
	FILE NAME

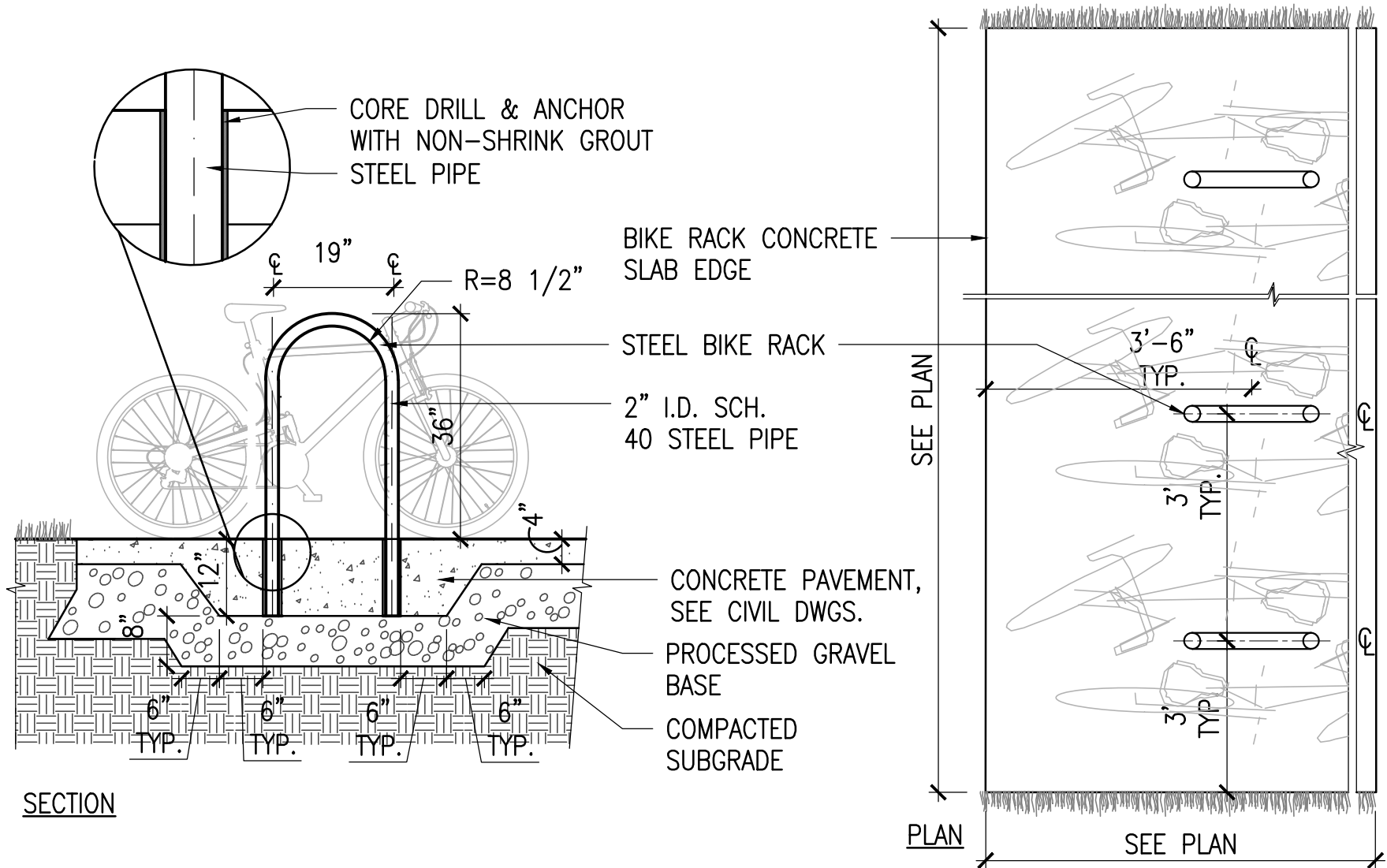
DRAWING NUMBER
SP.L0

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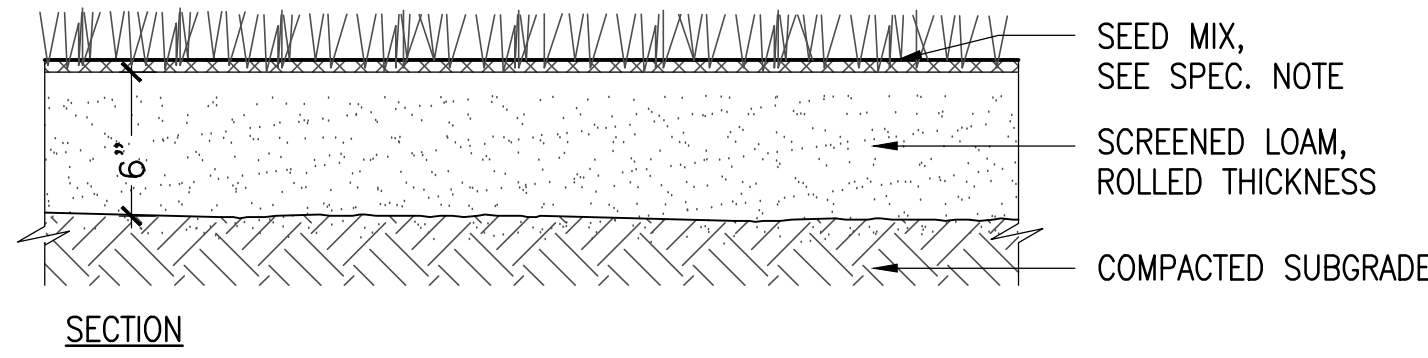
1 UTILITY SCREEN FENCE

SCALE: AS SHOWN



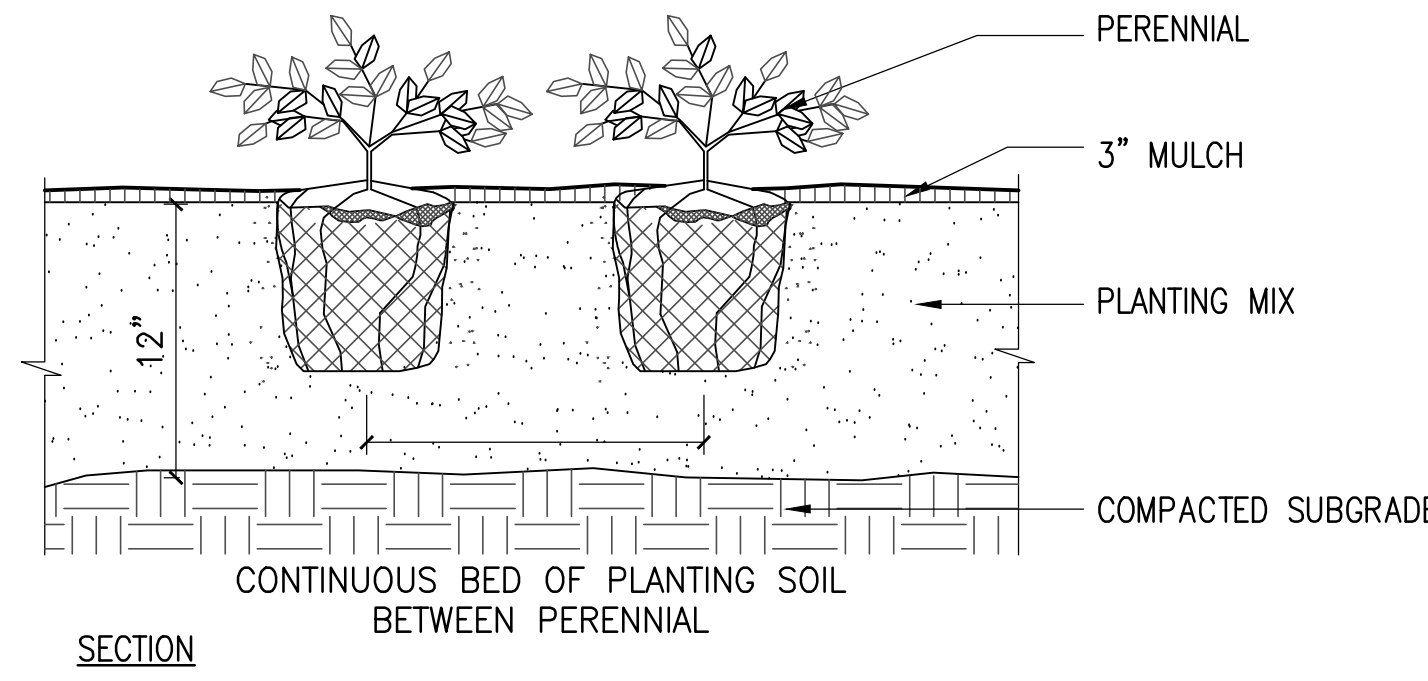
2 BIKE RACK

SCALE: 1/2"=1'-0"



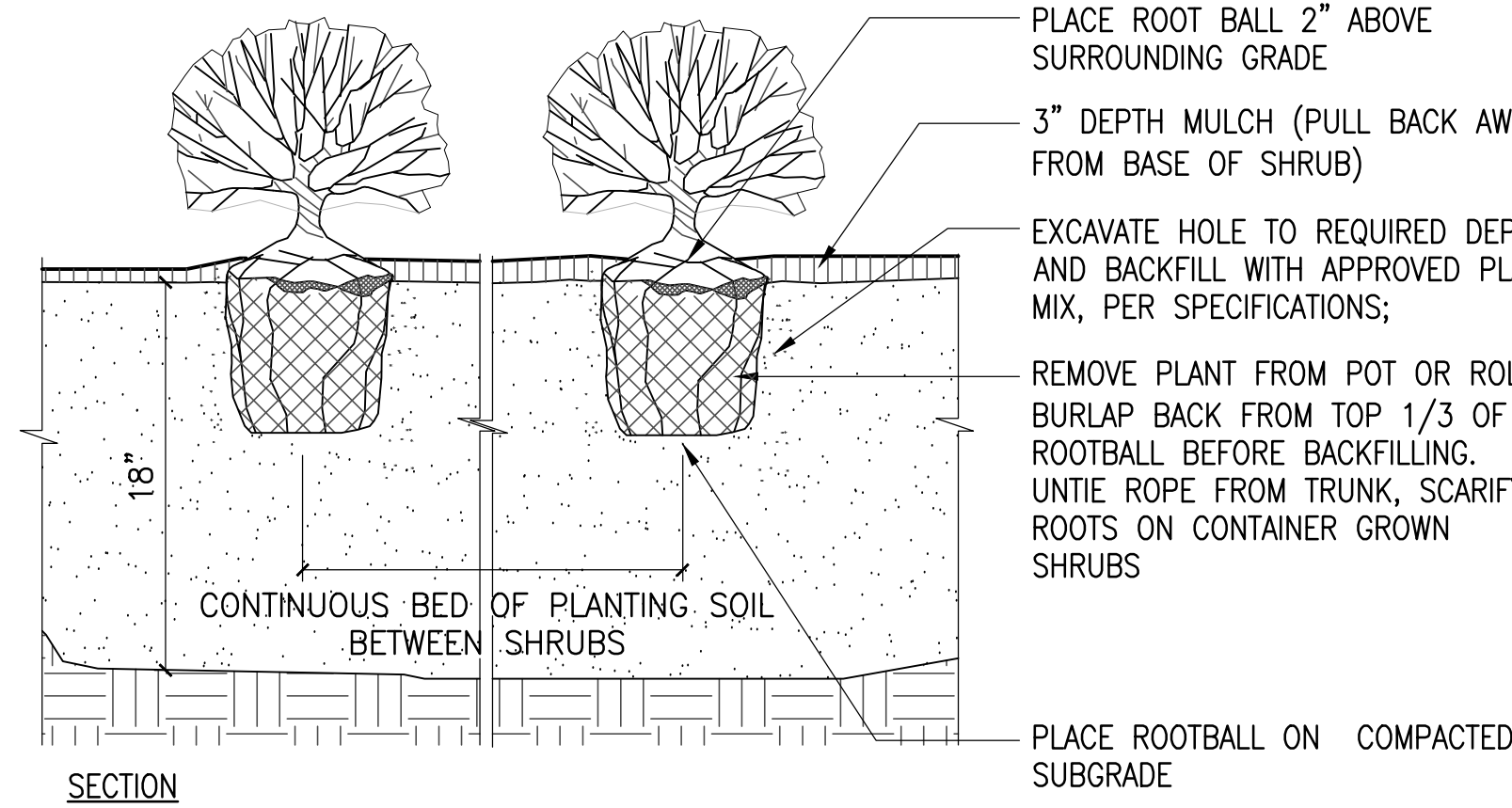
3 LAWN

SCALE: 1'-1/2"=1'-0"



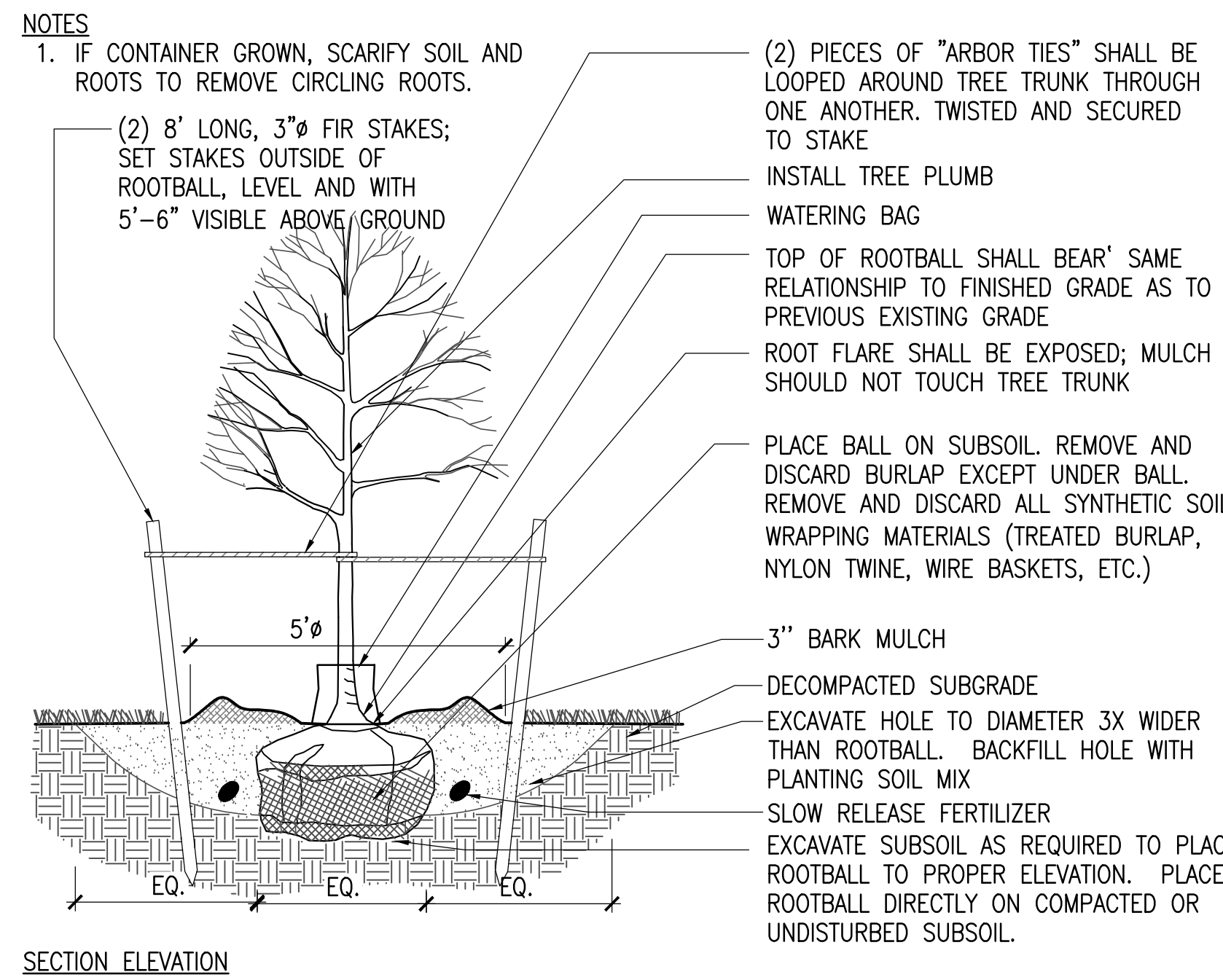
4 PERENNIAL PLANTING

SCALE: 1 1/2"=1'-0"



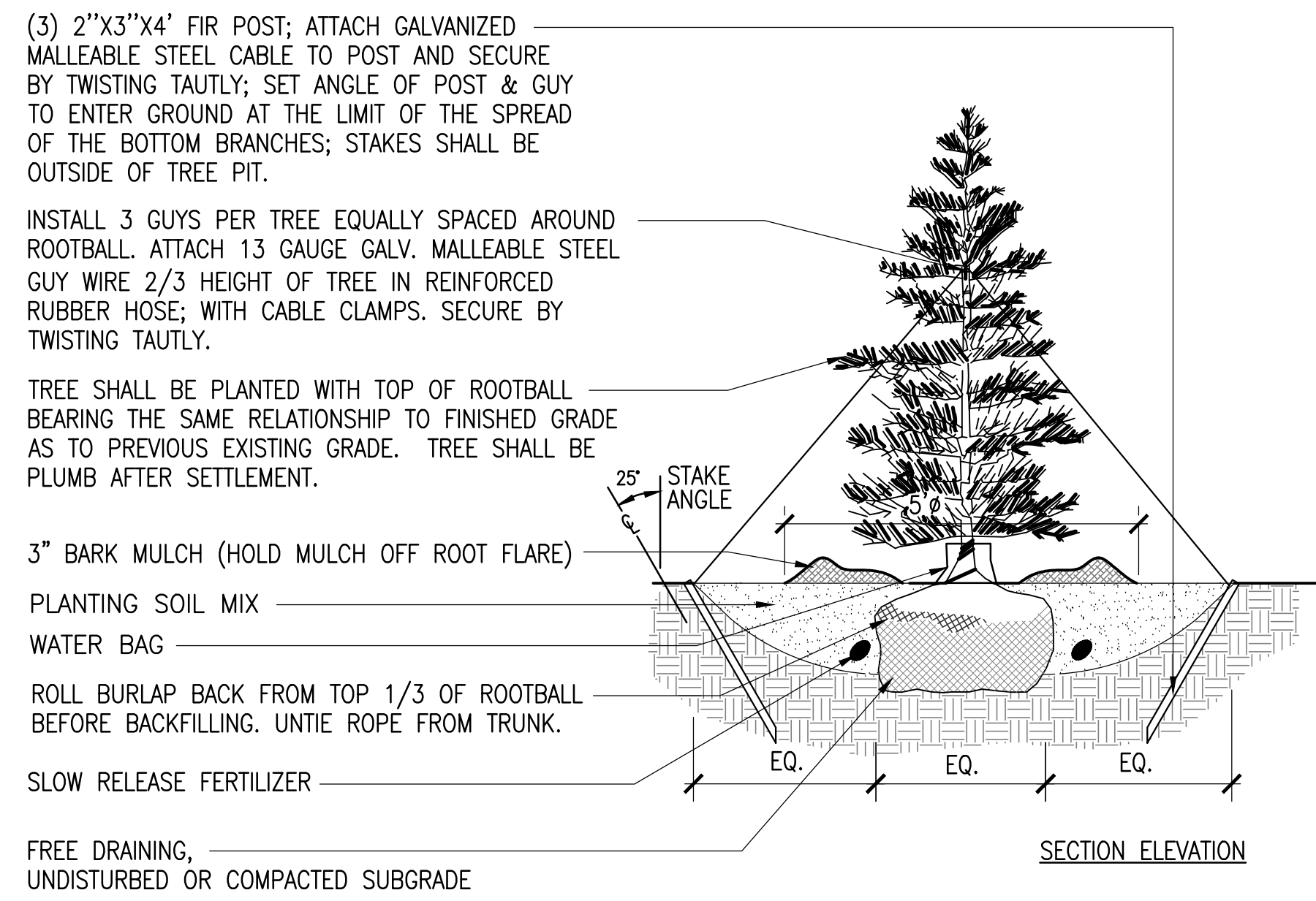
5 SHRUB PLANTING

SCALE: 1 1/2"=1'-0"



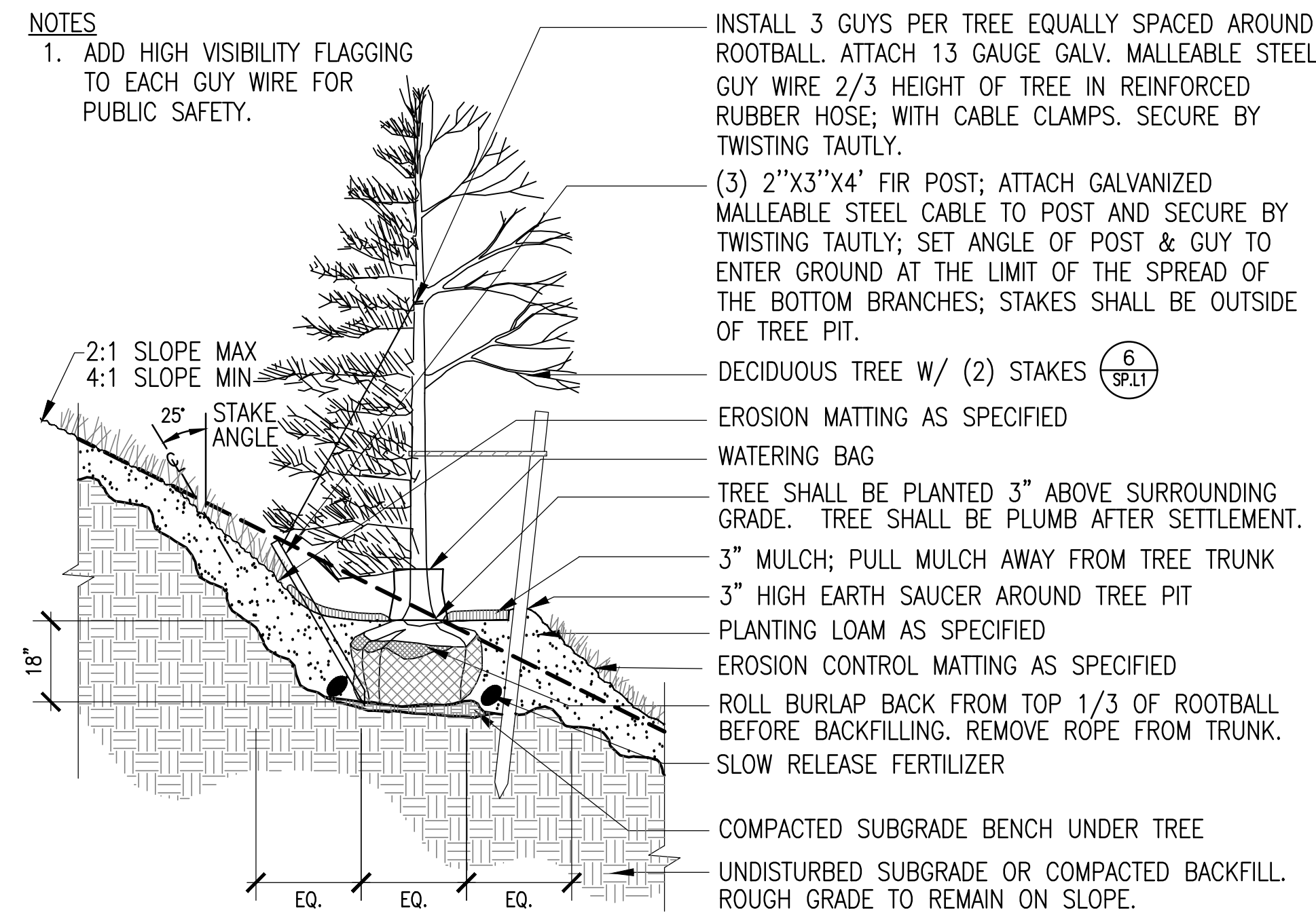
6 DECIDUOUS TREE PLANTING

SCALE: N.T.S.



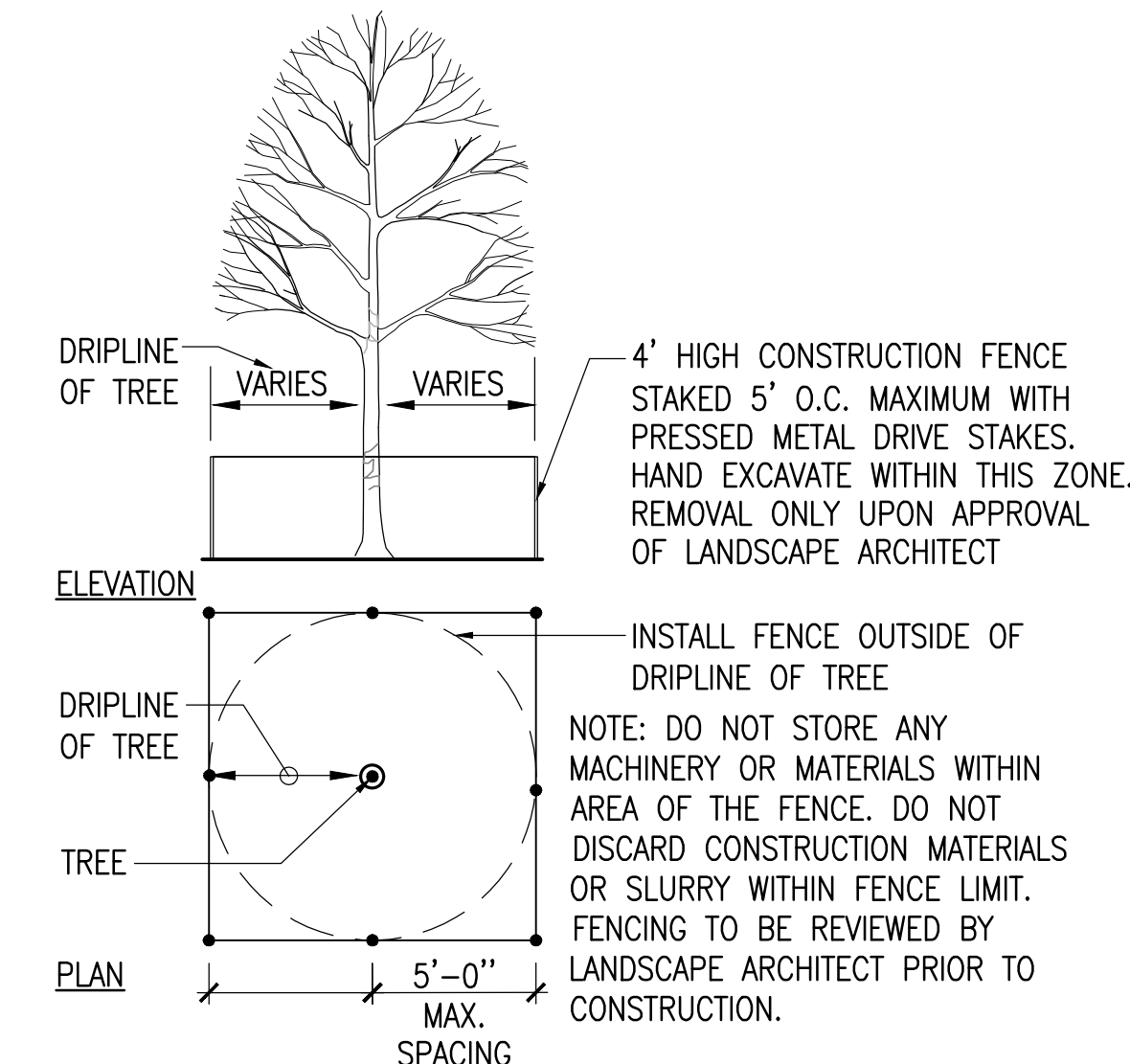
7 EVERGREEN TREE PLANTING

SCALE: N.T.S.



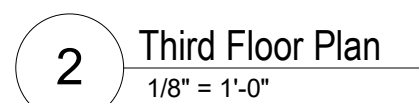
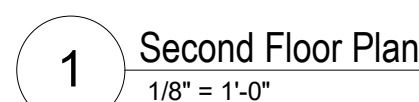
8 TREE PLANTING ON SLOPE

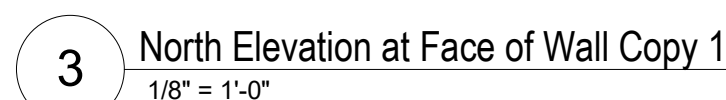
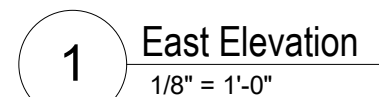
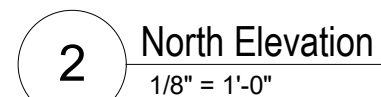
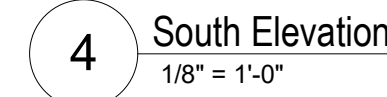
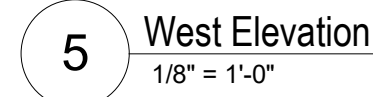
SCALE: N.T.S.



9 TREE PROTECTION - FENCE

SCALE: N.T.S.







Historic Photo



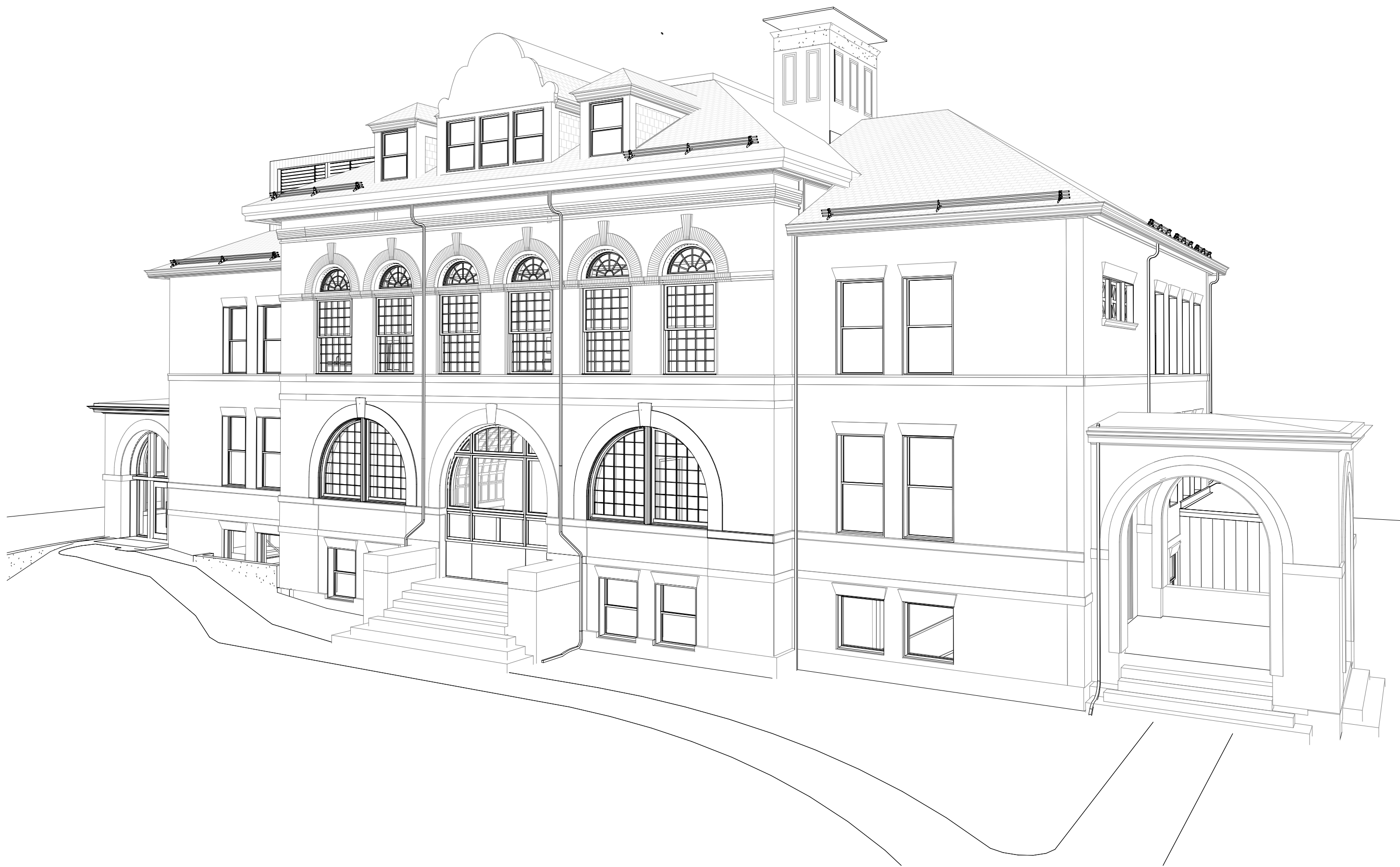
Existing Current Photo



Windows - Existing and Proposed



Northwest Exterior



Southwest Exterior



1 West Elevation - Wood Frame - Off White



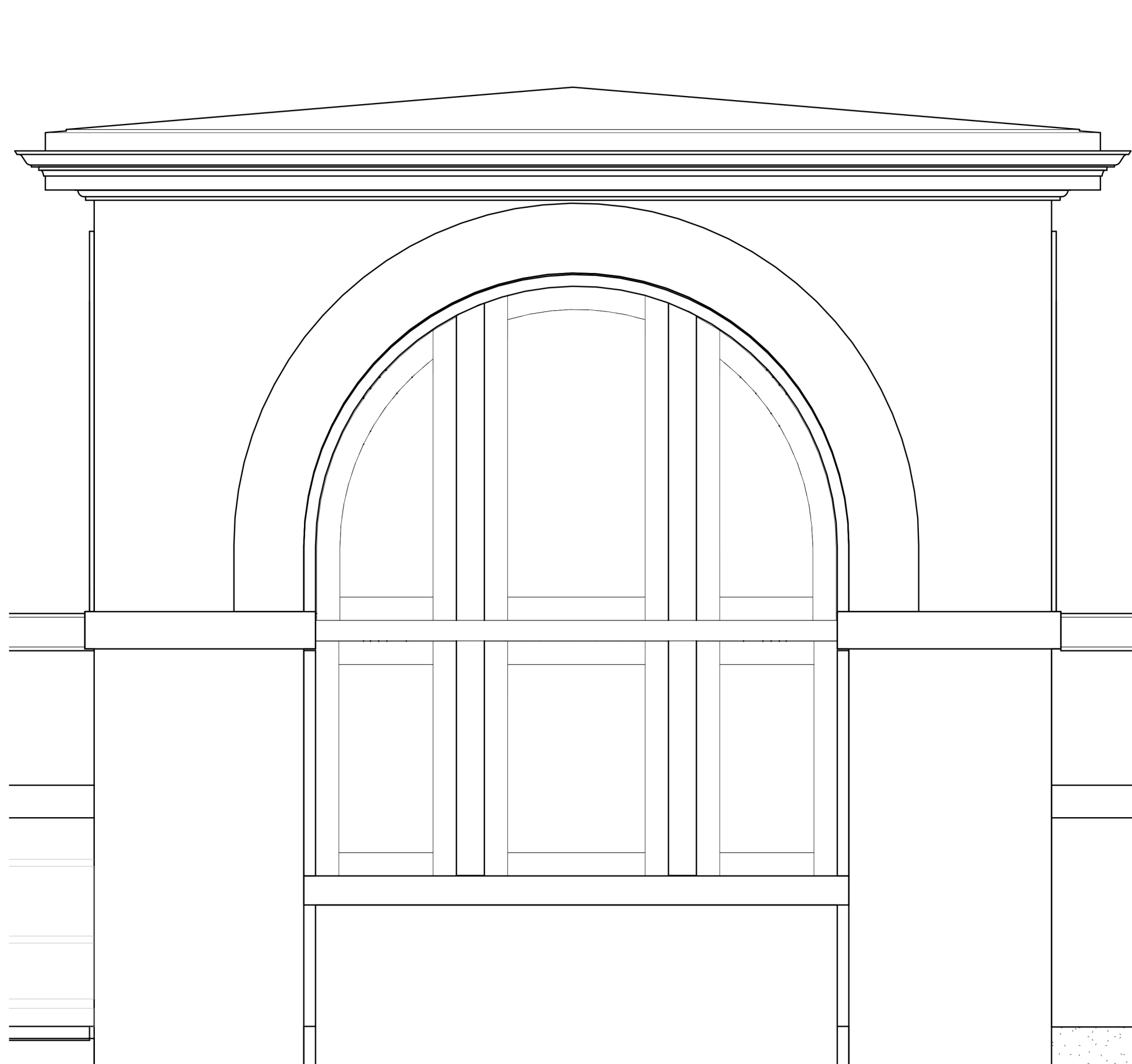
2 North Elevation - Wood Frame - Off White



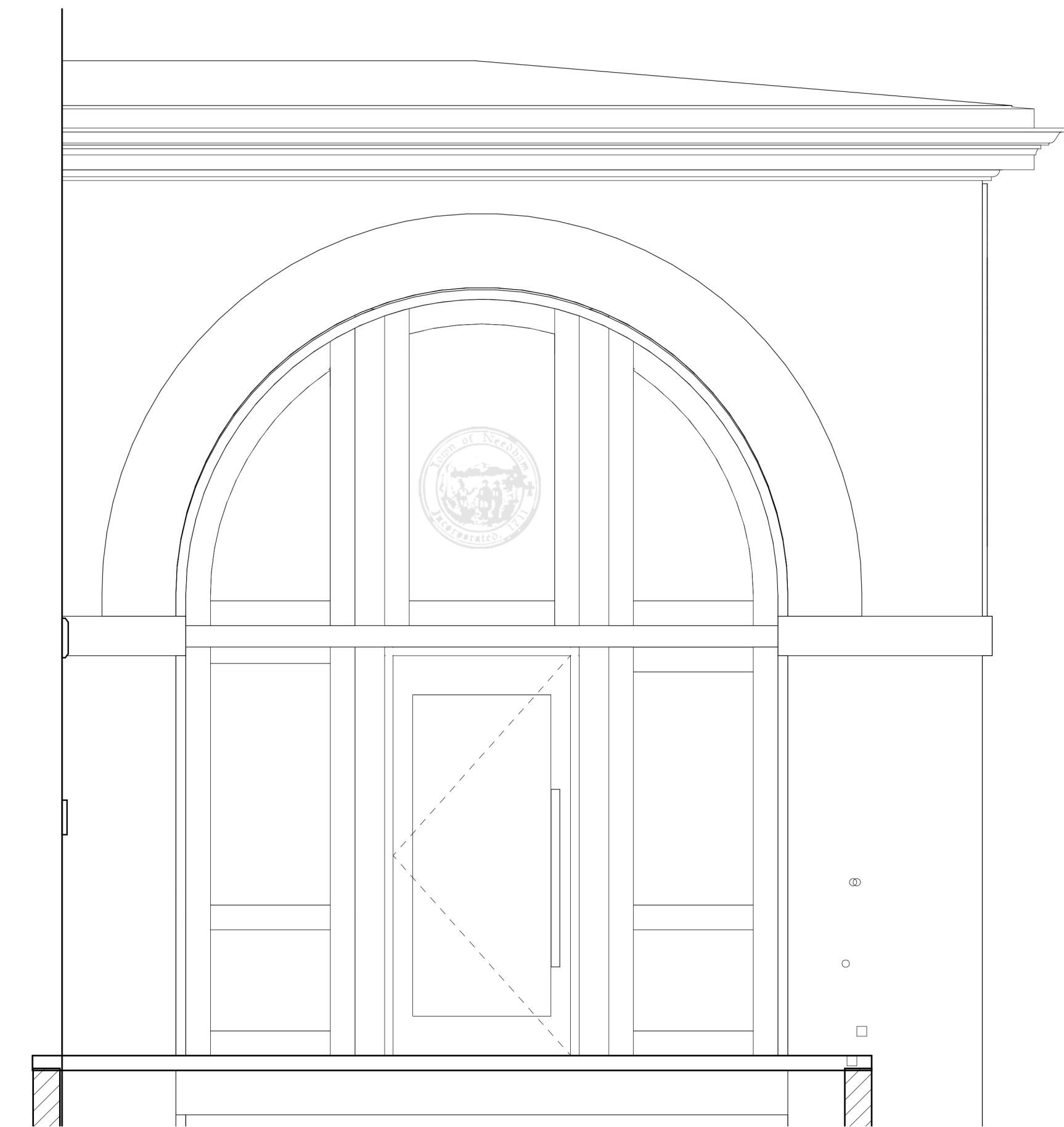
3 East Elevation - Wood Frame - Off White



4 North Portico - West Elevation
1/2" = 1'-0"



5 North Portico - North Elevation
1/2" = 1'-0"



6 North Portico - East Elevation
1/2" = 1'-0"

REVISIONS	

DRAWING TITLE
North Portico Entry

DRAWING INFORMATION	

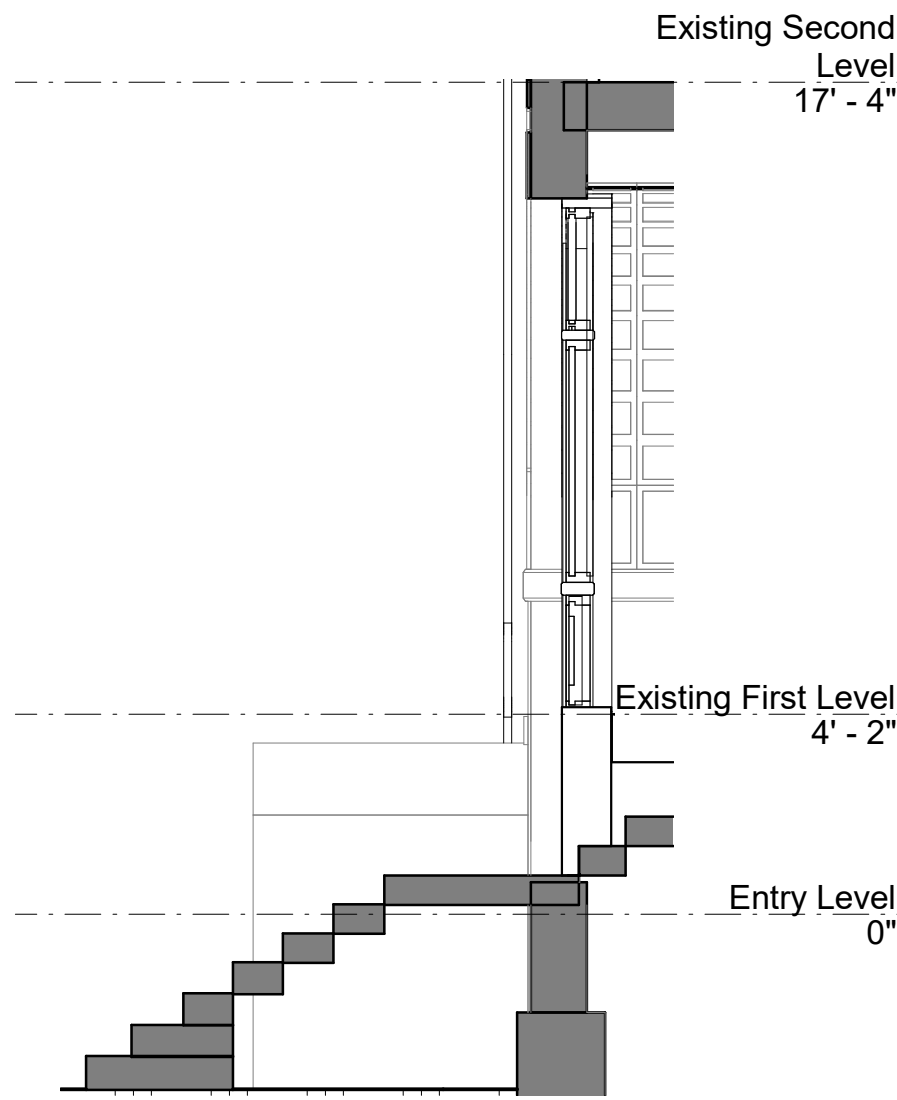
DRAWING NUMBER
SP.A5



3 Existing Center Entry



2 Center Infill View



1 Section - Center Infill
1/4" = 1'-0"

REVISIONS	
	DATE

DRAWING INFORMATION	
04/10/2022	DATE OF ISSUE
Site Plan Review	DESCRIPTION
1/4" = 1'-0"	SCALE
3398.03	PROJECT #
	FILE NAME
	Author
	DRAWN BY



TOWN OF NEEDHAM

DESIGN REVIEW BOARD

Public Service Administration Building
500 Dedham Avenue
Needham, MA 02492
Application and Report

Property Location: 1037 GREAT PLAIN AVE. NEEDHAM Date: 04/14/2022

Owner: PETRO THOMAS

Address: 198 CURVE ST. NEEDHAM MA 02026
Street City State Zip

Telephone: 781-329-5894

Applicant: THE REVITALIZATION TRUST FUND (NCRTF)

Address: 1471 HIGHLAND AVE. NEEDHAM, MA 02492
Street City State Zip

Telephone: 781-718-5552 (PAUL GRAD)

Designer/Installer: NCRTF

Address: SAME
Street City State Zip

Telephone: SAME

Type of Application
☒ Sign
☐ Minor Project
☐ Exterior Alterations
Major Project (Site Plan Review)
☐ - preliminary
☐ - final
☐ Flexible Subdivision
☐ Planned Residential Development
☐ Residential Compound

Brief description of sign or project:

(SEE IMAGE ATTACHED W/ PERSON INFO.)

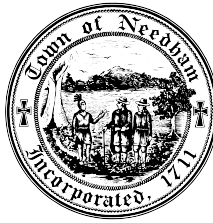
4 FT X 8 FT VINYL WALL APPLIQUE FOR

TEMPORARY DISPLAY OF EATON SQ. GALLERY IMAGE ON

Please email completed application to elitchman@needhamma.gov SITE WALL.

(LEFT SIDE WALL OF 1037 GREAT PLAIN AVE.)
(RICK BARN)

Revised 2/2020



The Revitalization Trust Fund (NCRTF)

“It is only through reaching out, that we are drawn together™”

04/14/2022

The Eaton Square Art Galerie Wall Image All Year Rotating Outdoor Public Art Gallery Project - Needham Center

This application is for approval of a temporary 8 ft w x 4 ft h wall appliqué image of the completed Eaton Square Art Galerie Project.

It's purpose is to raise public awareness of this NCRTF fully approved project waiting for funding that we are focused on funding and installing during 2022.

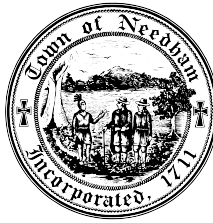
Thanks to all of you for your wonderful support of our nearly 40 public space Revitalization projects since 1999!

You input and contributions have made every project better.

Cheers,

Paul

Paul A. Good
Founder/Chair
The Revitalization Trust Fund Committee (NCRTF)
781-718-5552



The Revitalization Trust Fund (NCRTF)

“It is only through reaching out, that we are drawn together™”

04/14/2022

The Eaton Square Art Galerie Project All Year Rotating Outdoor Public Art Gallery - Needham Center

Initial Funding Includes: Wall Renovations, (5) 3ft x5ft All Weather Art Frames, Installation, Graphic Arts Production, Image Panel Materials and 1 Year of Quarterly Art Rotations.

Location: Needham Center - Side Wall Of The Rice Barn
Visible From Great Plain Avenue/Rt. 35 Traffic, MBTA Commuter Rail, Local Pedestrians

This project when completed will provide:

- * A Rotating Showcase of high quality Art from almost any medium and bring public exposure to both the works of Needham's vibrant Art Community, as well as works from National and International Artists.
- * Alliances with Boston Art Museums are also being pursued to help expand visibility of their great works to the suburbs, increasing awareness of their exceptional museum offerings and support a high level of interesting, diverse content within the downtown of Needham.
- * **Art Curation Committee.** As a sub-committee of the NCRTF, it will be composed of professional artists who will screen submissions, compose themed shows and assist in the posting of the shows and sharing details of each show with the Select Board and then the public.
- * After the Galerie is established and operating, it is hoped this Galerie concept will act as a model for other towns to help bring the experience of colorful, high quality, consistently changing public art displays to their communities.

Potential Local Economic Impact

- * Adds a Destination Oriented feature to help attract visitors to our downtown business areas.
- * The Galerie highlights Art as a visibly unique quality of the Needham experience.
- * Outreach made by the displaying artists will encourage additional people to visit their display, supporting increased foot traffic within the downtown area and exposure to Needham's wide selection of quality Restaurants, Local Shops and Services.
- * Expanded Public Exposure For Local Artists: A significantly greater number of Artists, local and beyond, will become visible to the public, helping connect them to a wider audience, and support their ability to continue creating art at the professional level.
- * More local restaurants and shops may entertain adding local art as an enhancement within their businesses, further expanding our atmosphere of artistic creativity and positive energy.

Operational Elements

- * All physical elements are designed for extremely low maintenance.
- * High resolution digital images are submitted by the Artists or Gallery as part of the submission process. A sizing template and process details will be provided to all applicants. Upon selection of their work, submitted in the high resolution format required for the application, and receipt of the fee, the NCRTF will have the panels reproduced and installed.
- *The Art Frame display contains five weather proof, large format frames 3 ft x 5 ft sized for distance visibility. The backdrop wall is designed to mimic a quality art gallery motif.
- * Each art insert is digitally imprinted in full high resolution color on a weather resistant, rigid substrate material designed for outdoor use. This format will allow any medium of art to be displayed within the Galerie.
- * Each artist's piece description and contact information is also displayed in a small frame beneath each Art Frame made of the same materials.
- * An optional QR Code will be available to link to an About video, website or other artist related Learn More Now information, placed within this artist's details frame.

Once installed, each "Art Display Cycle" is priced to be affordable for most professional artists.

Per Frame cost to display is priced at \$350 for a minimum 30 day display cycle, which also includes a contribution to The Revitalization Trust Fund.

A full five frame display is priced at \$1,695 for a minimum 30 days exposure.

The initial project installation funding includes funding for a minimum of 4 quarterly rotations within the first year.

Ongoing displays production and maintenance will be funded by the displaying Artists fee, show Sponsorships / Grants and general donations to the NCRTF.

More frequent rotations will occur based upon sponsorship demand.

The NCRTF and it's Art Curation sub-committee, will manage the scheduling and coordinate the reproduction, installation and removal of the art for each cycle.

See Image Of The Eaton Square Galerie (attached)

Visibility

Art in this location, based upon Town traffic studies, will be visible to between 8,000-10,000 cars per day that pass the wall or are stopped at the light just before the wall.

In addition, multiple Restaurants, Banks, a public plaza and various Shops and Services are all located adjacent to or near by the Galerie's location.

Initial Funding Required:

\$85,000

Includes Wall revitalization, all materials, fabrication of frames, signage, lighting, installation and first year of quarterly art exhibit rotations.

The Artist's "Application For Display" Submission Form will provide the details to make the requirements and application process easy to follow.

For additional information please contact: Paul Good - Chair (NCRTF) 781-718-5553

You Can Change The World!

EATON SQUARE GALERIE

“Art enables
us to find ourselves
and lose ourselves at
the same time.”
- THOMAS MERTON



This project
made possible
a donation to the
Revitalization
Fund (NCRTF).
Visit us at:
NeedhamMA.gov/Donations

Name

Artists Name

Artists Name

Artists Name

Artists Name

NeedhamMA.gov/NCRTF

Right Where You Live™

Here's how





TOWN OF NEEDHAM

DESIGN REVIEW BOARD

Public Service Administration Building
500 Dedham Avenue
Needham, MA 02492
Application and Report

Property Location: EATON SQUARE PLAZA - GR. PL. AVE. Date: 04/14/2022

Owner: TOWN OF NEEDHAM

Address: 1471 HIGHLAND AVE., NEEDHAM, MA 02492
Street City State Zip

Telephone: 781-455-7500

Applicant: THE REVITALIZATION TRUST FUND (NCRTE)

Address: 1471 HIGHLAND AVE., NEEDHAM, MA 02492
Street City State Zip

Telephone: 781-718-5552

Designer/Installer: NCRTE

Address: SAME AS APPLICANT
Street City State Zip

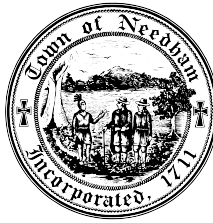
Telephone: SAME

Type of Application
☒ Sign
☐ Minor Project
☐ Exterior Alterations
Major Project (Site Plan Review)
☐ - preliminary
☐ - final
☐ Flexible Subdivision
☐ Planned Residential Development
☐ Residential Compound

Brief description of sign or project:

SEE ATTACHED DOCUMENTS
EATON SQ. PLAZA QR CODE/BANNER SYSTEM
FOR PUBLIC PLAZA (EATON SQUARE PLAZA)

Please email completed application to elitchman@needhamma.gov



The Revitalization Trust Fund (NCRTF)

“It is only through reaching out, that we are drawn together™”

04/14/2022

The Eaton Square Interactive QR Banner Project Eaton Square Plaza - Great Plain Ave.

Purpose: To add a fun, interactive element to the Eaton Square Public Plaza.

We wanted to find a practical way of adding an interactive experience to this new public plaza, so those who use it for outdoor dining and rest would find the location more fun to experience.

QR Codes can allow a person to experience something interesting, useful or just fun by simply scanning the code.

We thought by adding a QR Code to the banners on Eaton Square Plaza, and creating a way to bring the QR Code down to the Pedestrian level for easy scanning, we could accomplish this.

This would open the opportunity for any organization that displayed on the plaza to add something interactive to their message.

It could be a short video to learn more about their event or organization, or link the person to a web page with additional related content.

We believe we’ve created a way to accomplish this.

The NCRTF has created a 4" x4" stainless steel bracket that uses a stainless steel band to hold it to the shaft of the light pole at about 4.6 feet from the ground.

The bracket contours to the pole and contains the QR Code that is on the banner above, so a passerby can easily scan it at their level after seeing the banner message.

This QR Code links then them to more information about the organization.

We tested this with a prototype in October 2021 at Eaton Square Plaza to:

1. Confirm it was easy to scan with a phone.
2. Be sure the bracket profile would not protrude beyond the pole base area so pedestrians walking or in a wheelchair would not snag on it and could easily scan it if they choose to.
3. We added text to the QR Code image to assure people of the QR Code organization connection. The production QR Code would have The Revitalization Trust Fund letters or logo so the Dynamic QR Code image would remain consistent for all banners displayed.
4. Confirm the QR Code element would add a fun, interactive experience to the Eaton Square Plaza when people pass by or sit at the benches and tables on the plaza.

We would like the Board to review the concept and confirm that use of the bracket/Code system is considered useful and safe.

Each of the three light poles on the plaza would have the same "Dynamic" QR Code image/bracket, so individuals could easily scan at the pole they are closest to.

A Dynamic QR Code can use one code image, but have the link it connects to changed in the background according to the need.

Once the brackets are installed, the brackets with the code image would remain in place, with the same image code able to be used to link to different organization's information as the banners change above it.

The NCRTF has a QR Code account to perform this function as the banners change.

I look forward to your input and ideas on this interactive addition to the Eaton Square Plaza.

Cheers,

Paul

Paul A. Good

Founder/Chair

The Revitalization Trust Fund Committee (NCRTF)

781-718-5552

You Can Change The World!



Right Where You Live™

Here's how



NeedhamMA.gov/NCRTF



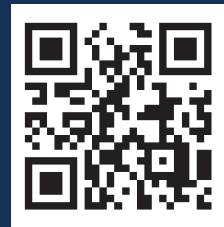
SKY POETRY™

SKYPOETRY™

Two roads diverged
in a yellow wood,
And sorry I could
not travel both
And be one traveler,
long I stood
And looked down one
as far as I could
To where it bent
in the undergrowth;

And then...

Watch the video



Visit: NeedhamLibrary.org/SkyPoetry



Design Review Board Meeting Minutes
Monday, February 28, 2022
7:30 PM

Board Members:

Mark Gluesing, Chair (P)
Bob Dermody, Board Member (P)
Chad Reilly, Board Member (P)
Steve Tanner, Board Member (P)
Deborah Robinson, Board Member (P)
Susan Opton, Board Member (P)
Rana Mana-Doerfer, DRB Recording Secretary (P)
Elisa Litchman, Administrative Specialist, Planning & Community Development (P)

Hearings:

The Needham Channel located at 257 Chestnut Street, has made application to the Design Review Board for a Special Permit pursuant to the Sign By-Law Section 5.5.3.1 a) Requesting a second sign which will be freestanding, and any other applicable sections of the By-law.

Applicants & Attendees:

1. Wayne Arthur, Speedpro representing The Needham Channel located at 257 Chestnut Street and applying for wall sign.
 - Marc Mandel, Executive Director, The Needham Channel
2. Steve Schwede, FastSigns representing Royal Barbershop located at 925 Great Plain Avenue and applying for signage.
3. Danny Choe, owner of Serenity Spa located at 1201 Highland Avenue and applying for window decal signage.

Mr. Chair called the meeting to order on February 28, 2022, at 7:30 PM EST.

Mr. Chair notified attendees of new public meeting orders issued by the governor of Massachusetts.

Agenda Item 1 (Hearing):

Needham Channel located at 257 Chestnut Street, seeking a special permit for a second freestanding sign. – Wayne Arthur, SpeedPro and Marc Mandel, Needham Channel Executive Director

Wayne Arthur briefly described the freestanding sign, which is a permanent standing sign 48” W, 36” H for the sign panel, standing at 6 feet tall. The sign will be post mounted and set at 2 feet into the ground with cement footings. The sign will be located on the grassy part of the property. The sign will be white, and it will have the Needham Channel logo in blue and yellow on the right-hand side and “The Needham Channel” on the left-hand side, left justified. There is a blue line on the bottom of the sign that says, “Needham Community Television Development Corporation”.

Anne Hayek from 116 Maple Street had some feedback regarding the free-standing sign. She thought with the bushes removed and the sign installed it feels sterile. She is hoping from kind of native ground cover plant, or perennials, something that would make that space more welcoming.

Ms. Opton said ground cover can be hard to do in a parking lot, especially with salt, and watering it, etc. Mr. Mandel said he has been doing the landscaping himself for several years, but he wanted to take time to figure out what he wanted to do with that area, they have a landscaper now, so he is hoping he can come up with an idea of what to do with that area. The Chair noted that the landscaping is not part of the signage review, but the Board encourages the applicant to add some hardy landscaping to the area.

Mr. Reilly asked if signs like these need to be setback 15 feet from the road. Mr. Chair said that the regulation says its either 36 inches high, or seven feet to the bottom of the panel, and it needs to be 15 feet back from the road. Mr. Reilly said it appears that sign is only 9 feet back. Mr. Chair said that the Building Inspector checks and enforces this regulation.

The Board deliberated on the height and the location of the sign in terms of its setback.

Motion to reduce the logo size to align with the height of the lettering: “The Needham Channel”, reduce the height of the overall sign height be reduced to 5 feet so that the bottom is two feet above grade, and to relocate the sign to approximately where the notation B occurs in the overhead view that was included in the submission by Mr. Dermody.

Motion was seconded by Ms. Robinson.

Name	Aye	Nay
Mark Gluesing	Aye	
Bob Dermody	Aye	
Susan Opton	Aye	
Chad Reilly	Aye	
Deborah Robinson	Aye	
Steve Tanner	Aye	

Agenda Item 2:

Needham Channel located at 257 Chestnut Street and applying for wall sign. – Wayne Arthur, SpeedPro, and Marc Mandel, Needham Channel Executive Director.

This wall sign is 48” high, by 84” wide, framed in a metal, 1-3/8” brushed silver frame. The sign is white, with the Needham Channel logo in blue and yellow on the right hand-side and “The Needham Channel” on the left hand-side, below that it says their slogan “Your Town... Your Neighbors... Your Television!”

Ms. Robinson said she thinks the wall sign is busy, she thinks the slogan is too much.

Mr. Tanner questioned how the wall sign will be attached, he is worried about screws being visible or the molding not being the right type. Mr. Arthur said this is a standard sign frame, manufactured specifically for them, the sign frame will slide into a channel, the sign will be mounted onto L brackets, and they will use stainless steel screws, so as not to rust. Mr. Arthur shared his screen to answer Mr. Tanner’s questions and clarify the installation process of this sign.

Mr. Dermody agreed with Ms. Robinson that it is a busy sign. He thinks that the letters are too small, too high, and too far away. The Board typically does not encourage logos/slogan unless absolutely necessary for the business to identify what it is if their name is not clear enough.

Mr. Reilly said the logo should be smaller and the name of the business should be bigger. The sign looks more like a business card than a wall sign. The relationship of the elements of the sign should be reversed. The proposed logo is larger than the name. The slogan could be something like a decal on the door as Mr. Dermody suggested. Mr. Reilly suggested aligning the top of the logo and the top of the letter T similar to the free-standing sign, and shrinking down the logo, which will give more room for the business name and make the sign look more comfortable instead of cramped. He also suggested capitalizing the lettering on both signs.

The Board discussed a variety of details regarding both the wall sign and the free-standing sign.

Motion to reduce the sign panel to 36 inches in height, and that uppercase lettering be used for the wall sign, similar style to the proposed free-standing sign, and that the NTC logo be reduced proportionally so that it fits within the height of ‘The Needham Channel’ lettering, with the option to make the background light blue, and the tagline (slogan) be removed by Mr. Dermody.

Motion was seconded by Mr. Tanner.

Name	Aye	Nay
Mark Gluesing	Aye	
Bob Dermody	Aye	
Susan Opton	Aye	
Chad Reilly	Aye	
Deborah Robinson	Aye	
Steve Tanner	Aye	

Agenda Item 3:

Royal Barbershop located at 925 Great Plain Avenue and applying for signage. - Steve Schwede, FastSigns

Mr. Schwede came before the Board and presented the sign for Royal Barbershop. The sign is made of composite material called Max Metal, it is 34” high, 96” wide, total square footage of 22.7’. It is covered with black vinyl and overlaid with gold vinyl cut letters. The sign has a black glossy background, with the crown logo to the left hand-side, and Royal Barbershop to the right in metallic gold. The sign is to be mounted in the middle above the entrance, and it will be mounted with galvanized hardware.

Mr. Tanner thought the lettering has very wide spaces between it, and thinks the panel is crowded, and should be centered.

Mr. Reilly concurred with Mr. Tanner, he thinks the logo should be smaller, that the kerning could be adjusted so the sign can have some breathing room on the left and right.

Ms. Robinson concurred with her colleagues; she also doesn’t think the sign doesn’t fill the height of the panel that the sign will be mounted on. Mr. Schwede said he can make it bigger.

Mr. Dermody asked Mr. Schwede if he knows what the owner thinks of filling that entire sign box, so it is a clean black background, so that we can cover the corrugation. Mr. Schwede said he agrees as a sign maker, but the owner of this business is just starting out so this may not be in their budget.

Ms. Opton said if the choice is driven by economics, then making the corrugation more prominent to make things more uniform would be better.

Motion to approve the sign be approved with the conditions that the spacing on the word “Royal” be adjusted so that the kerning is closer, and that the sign be reduced to 30 inches in height, and the lettering be centered in the sign panel, and the kerning each side of the Y be adjusted, and that the crown be reduced as needed proportionately to fit the reduced height of the panel, and the lettering be centered in the panel by Mr. Dermody.

Motion was seconded by Mr. Tanner.

Name	Aye	Nay
Mark Gluesing	Aye	
Bob Dermody	Aye	
Susan Opton	Aye	
Chad Reilly	Aye	
Deborah Robinson	Aye	
Steve Tanner	Aye	

Agenda Item 4:

Serenity Spa located at 1201 Highland Avenue and applying for window decal signage. - Danny Choe, owner

Mr. Choe came back before the Board to apply for a heavy-duty vinyl decal to put in the front windows. The decal is 47 x 47, it is to be installed indoors, the decal is UV and weather resistant.

Mr. Chair asked if he knows the height of the lettering on the word serenity. Mr. Choe said he does not know.

Mr. Dermody referred to a photo submitted with the application with dimensions on it that says 66 by 62, which doesn't match what Mr. Choe mentioned earlier. Mr. Choe said that dimension is for that specific part of the window partition.

Mr. Reilly said he would prefer to see the website and phone number removed from the logo, and maybe installed on the door. Otherwise, he doesn't have a problem with it.

Mr. Chair said historically they have been reserved about websites and websites being part of a logo, he is curious to see what the other Board members think, since in this instance he doesn't have a problem with it.

Ms. Robinson said normally she does object to websites and phone numbers being in the logo, but in this case, it does not bother her. She asked Mr. Choe if he plans to keep the awning empty. Mr. Choe hopes in the spring to install an awning, so he will be back before the Board.

Mr. Tanner said he agrees with Mr. Reilly about having the flower, the text and the nail spa on the window, and moving the number and website text to the door.

Ms. Opton agreed with her colleagues.

Board members deliberated regarding the location of the website and phone number.

Motion to approve the decal with the conditions that the website and phone be removed from the window, with the option to reduce that information in size and put it on the door. The applicant may install a second decal on the window to the right of the door if they choose by Mr. Dermody.

Motion was seconded by Mr. Tanner.

Name	Aye	Nay
Mark Gluesing	Aye	
Bob Dermody	Aye	
Susan Opton	Aye	
Chad Reilly	Aye	
Deborah Robinson	Aye	
Steve Tanner	Aye	

Minutes:

Motion to approve the minutes of February 7th, 2022 by Mr. Dermody.

Motion was seconded by Mr. Tanner.

Name	Aye	Nay
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Mark Gluesing	Aye
Bob Dermody	Aye
Susan Opton	Abs.
Chad Reilly	Aye
Deborah Robinson	Abs.
Steve Tanner	Aye

Motion to Adjourn:

Motion to adjourn the Design Review Board meeting by Mr. Dermody.

Motion was seconded by Mr. Tanner.

Meeting adjourned at 8:53 PM.

Future Meetings:

March 28, 2022	Via Zoom
April 25, 2022	Via Zoom
May 16, 2022	Via Zoom
June 6, 2022	Via Zoom
June 27, 2022	Via Zoom
July 11, 2022	Via Zoom
July 25, 2022	Via Zoom
Aug. 8, 2022	Via Zoom
Aug. 22, 2022	Via Zoom



Design Review Board Meeting Minutes
Monday, March 28, 2022
6:45 PM

Board Members:

Mark Gluesing, Chair (P)
Chad Reilly, Board Member (P)
Susan Opton, Board Member (P)
Steve Tanner, Board Member (P)
Rana Mana-Doerfer, DRB Recording Secretary (P)
Elisa Litchman, Administrative Specialist, Planning & Community Development (P)

Review of Applications for Outdoor Seating:

1. Latin-A Kitchen and Bar, 30 Dedham Avenue – Antonio De Trizio
2. Farmhouse, 970 Great Plain Avenue – Dora Tavel-Sanchez Luz
3. Hearth Pizzeria, 974 Great Plain Avenue – Ivan Millan Pulecio
4. The James, 1025 Great Plain Avenue – Stuart Henry

Applicants & Attendees:

1. Jeff Sarra, Batten Brothers Signs representing Beth Israel Lahey Health located at 310 Chestnut Street and applying for signage.
2. Jeff Sarra, Batten Brothers Signs representing Beth Israel Lahey Health located at 817 Highland Avenue and applying for signage.

Mr. Chair called the meeting to order on March 28, 2022, at 6:45 PM EST.

Mr. Chair notified attendees of new public meeting orders issued by the governor of Massachusetts.

Agenda Item 1 (Outdoor Seating Review):

Latin-A Kitchen and Bar, 30 Dedham Avenue – Antonio De Trizio

Mr. Trizio came before the Board seeking approval for his outdoor seating. It is the same as their approval last year which consists of 10 tables located in the alleyway between the two buildings 30 Dedham Ave & 50 Dedham Ave. There will be orange Jersey Barriers to indicate the start and end of the zone and they are also limited by planters on the 50 Dedham Ave. side. The Chair

noted that the previous approval process for outdoor seating was made by the Select Board. This is a new process under the Planning Board review, and they ask for comment by the DRB.

Mr. Tanner asked if the Jersey barriers can be improved with some kind of graphic element. Mr. Chair said he is not inclined to require them to do anything with the jersey barriers, but he would recommend they decorate them at some point.

Motion to approve Latin-A Kitchen & Bar outdoor seating plan as submitted by Mr. Tanner.

Motion seconded by Mr. Reilly.

Name	Aye	Nay
Mark Gluesing	Aye	
Susan Opton	Aye	
Chad Reilly	Aye	
Steve Tanner	Aye	

Agenda Item 2 (Outdoor Seating Review):

Farmhouse, 970 Great Plain Avenue – Dora Tavel-Sanchez Luz

Ms. Tavel-Sanchez came before the Board seeking approval for her outdoor seating which consists of 58 seats in the rear of the restaurant. They are also going to be using a new wood fence along the existing metal guardrail and add some landscaping work.

Mr. Reilly said he doesn't like the proximity of the dumpsters to the outdoor dining area, but he understands there is nowhere else for them go. Ms. Tavel-Sanchez stated that the dumpsters belong to CVS and she has not been able to get their relocation. The restaurants' dumpsters are further from the seating areas in the middle of the parking lot.

Motion to approve outdoor seating plan as submitted by Mr. Tanner.

Motion seconded by Mr. Reilly.

Name	Aye	Nay
Mark Gluesing	Aye	
Susan Opton	Aye	
Chad Reilly	Aye	
Steve Tanner	Aye	

Agenda Item 3 (Outdoor Seating Review):

Hearth Pizzeria, 974 Great Plain Avenue – Ivan Millan Pulecio

Mr. Pulecio came before the Board seeking approval for his outdoor seating plan. Prior to COVID-19 Mr. Pulecio used to have planters to grow herbs and tomatoes at the rear of the

building, as well as a picnic table. When he began considering outdoor seating for his restaurant, he wanted to bring a backyard feel to it. The outdoor seating now consists of 33 seats, screened with wooden planters and new fencing. They have a counter top bar area, server station with a portable hand wash station which is handicap accessible. They will have a stainless steel sign and more decorative elements to the blank wall.

Motion to approve outdoor seating plan as submitted by Mr. Tanner.

Motion seconded by Mr. Reilly.

Name	Aye	Nay
Mark Gluesing	Aye	
Susan Opton	Aye	
Chad Reilly	Aye	
Steve Tanner	Aye	

Agenda Item 4 (Outdoor Seating Review):

The James, 1025 Great Plain Avenue – Stuart Henry

Mr. Henry came before the Board seeking approval for outdoor seating. Mr. Henry is requesting 69 outdoor seats. They have put in a raised platform to combat water puddling from rain. They are also looking to add another raised platform coming from the back of the building with a handicap accessible ramp.

Board members concurred that everything looks good and commended the decorative work with extending the lattice upwards, fencing and furniture canopies.

Motion to approve outdoor seating plan as submitted by Mr. Tanner.

Motion seconded by Mr. Reilly.

Name	Aye	Nay
Mark Gluesing	Aye	
Susan Opton	Aye	
Chad Reilly	Aye	
Steve Tanner	Aye	

Agenda Item 5:

Batten Brothers Signs representing Beth Israel Lahey Health located at 310 Chestnut Street and applying for signage. - Jeff Sarra

Mr. Sarra came before the Board for 310 Chestnut Street application. They wish to remove 2 existing wall signs and install one non illuminated wall sign. The sign is 20” in height and 84”

wide. The sign is white with blue lettering that say “Beth Israel Lahey Health” and “Primary Care” underneath it and a bluebird logo on the right hand-side.

Mr. Tanner was concerned with the brightness of the white. He was wondering if they could select a more muted white. Mr. Tanner asked what the finish on the paint is. Mr. Sarra said it is a satin finish, and he wanted to point out that the photo rendering is much brighter than the sign really is.

Motion to approve the proposed signage at 310 Chestnut Street with the condition that it fits completely above the reveal at the bottom of the spandrel panel by Mr. Tanner.

Motion seconded by Ms. Opton.

Name	Aye	Nay
Mark Gluesing	Aye	
Susan Opton	Aye	
Chad Reilly	Abs.	
Steve Tanner	Aye	

Agenda Item 6:

Batten Brothers Signs representing Beth Israel Lahey Health located at 817 Highland Avenue and applying for signage. - Jeff Sarra

Mr. Sarra applied for a wall sign at 817 Highland Ave. The sign is 24” in height, and 96” in width. The sign is non-illuminated, and it is white with blue lettering that say “Beth Israel Lahey Health” and “Primary Care” underneath and the bluebird logo on the right hand-side. The existing sign on the fence in front of the property will be removed so that they will have one sign instead of two.

Mr. Tanner expressed concerned regarding the bright white. and he also thought the text is too big and crammed on this sign and should be shrunk by 10%.

Mr. Chair & Mr. Tanner deliberated the specifics of the lettering size of this sign.

Motion to approve the 817 Highland Avenue proposed sign with the conditions that the letter size be reduced to 4.5 inches high and the bluebird graphic be reduced proportionally, and that the background color be a closer match to the color of the existing architectural panels on the building by Mr. Tanner.

Motion seconded by Ms. Opton.

Name	Aye	Nay
Mark Gluesing	Aye	

Susan Opton	Aye
Chad Reilly	Abs.
Steve Tanner	Aye

Minutes:

No minutes to approve until April 25 meeting.

Motion to Adjourn:

Motion to adjourn the Design Review Board meeting by Mr. Tanner

Motion was seconded by Ms. Opton.

Meeting adjourned at 7:30 PM.

Name	Aye	Nay
Mark Gluesing	Aye	
Susan Opton	Aye	
Chad Reilly	Abs.	
Steve Tanner	Aye	

Future Meetings:

April 25, 2022	Via Zoom
May 16, 2022	Via Zoom
June 6, 2022	Via Zoom
June 27, 2022	Via Zoom
July 11, 2022	Via Zoom
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