

TOWN OF NEEDHAM
MASSACHUSETTS



500 Dedham Avenue
Needham, MA 02492
781-455-7550

PLANNING BOARD

APPLICATION FOR SITE PLAN REVIEW

Project Determination: (circle one) Major Project Minor Project

This application must be completed, signed, and submitted with the filing fee by the applicant or his representative in accordance with the Planning Board's Rules as adopted under its jurisdiction as a Special Permit Granting Authority. Section 7.4 of the By-Laws.

Location of Property 28 Glen Gary Road
Name of Applicant Town of Needham Select Board
Applicant's Address 1471 Highland Avenue, Needham MA 02492
Phone Number (781) 455-7500

Applicant is: Owner _____ Tenant _____
Agent/Attorney X Purchaser _____

Property Owner's Name Town of Needham
Property Owner's Address 1471 Highland Avenue, Needham MA 02492
Telephone Number (781) 455-7500

Characteristics of Property: Lot Area 24.6 acres Present Use Temporary Police and Fire
Map #102 Parcel #1 Zoning District General Residence

Description of Project for Site Plan Review under Section 7.4 of the Zoning By-Law:
The Applicant requests a modification of Condition 3.16 of Major Project Site Plan Special Permit No. 2018-05, to allow for a portion of the site to be returned to the condition shown on the plan submitted with this application when the Police and Fire Departments conclude their temporary use of the site, rather than to the "current conditions" that existed when the site was used as the Hillside Elementary School (as is currently required by the permit).

Signature of Applicant (or representative) [Signature]
Address if not applicant 40 Grove Street Suite 190, Wellesley MA 02482
Telephone # (617) 804-2422
Owner's permission if other than applicant [Signature]

SUMMARY OF PLANNING BOARD ACTION

Received by Planning Board _____ Date _____
Hearing Date _____ Parties of Interest Notified of Public Hearing _____
Decision Required by _____ Decision/Notices of Decision sent _____
Granted _____

Denied _____ Fee Paid _____ Fee Waived _____
Withdrawn _____

NOTE: Reports on Minor Projects must be issues within 35 days of filing date.



J. Raymond Miyares Thomas J. Harrington Christopher H. Heep Donna M. Brewer Jennie M. Merrill
Rebekah Lacey Bryan Bertram Ivria Glass Fried Alexandra B. Rubin Ethan B. Dively Maurica D. Miller Rian Rossetti

April 14, 2021

BY EMAIL (lnewman@needhamma.gov)

Planning Board
Town of Needham
Public Services Administration Building
500 Dedham Avenue
Needham, MA 02492

**Re: Requested Modification—Major Project Site Plan Special Permit No. 2018-05
28 Glen Gary Road**

Dear Planning Board members:

I am writing on behalf of the Town of Needham Select Board (the “Applicant”) to request an amendment of Major Project Site Plan Special Permit No. 2018-05 (the “decision”). This permit concerns property located at 28 Glen Gary Road, which was the site of the Hillside Elementary School until the summer of 2019. After the final school year at this site concluded, the decision authorized the property to be used as temporary headquarters for the Police and Fire Departments while their new permanent headquarters and Fire Station No. 2 were being constructed at 88 Chestnut Street and 707 Highland Avenue, respectively. Those new permanent buildings are scheduled to be completed in the winter of 2021/2022, and the project team is now preparing to wind down the temporary use and occupancy of 28 Glen Gary Road.

Condition 3.16 of the decision states as follows:

The Petitioner shall return the site to its current condition after the Police and Fire Departments conclude their temporary use of the property. Said restoration shall be consistent with a plan entitled “Partial Existing Conditions Plan, Hillside School,” dated April 3, 2018 as further detailed in Exhibit 3 of this Decision. The restoration shall be completed within 6 months of the date the Police and Fire Departments vacate the property with an as-built plan showing the restored condition submitted to the Board for review and approval.

A copy of the partial existing conditions plan referenced in Condition 3.16 is attached as Exhibit A. As shown on Exhibit A, and also on the “Site Demolition Plan” used during the construction of the

temporary headquarters (attached as Exhibit B), the “current condition” at the time of the decision included a school bus turn-around and 50 parking spaces in the upper portion of the parking lot.

In accordance with the decision, this upper portion of the parking lot was heavily disturbed and re-graded to allow for the installation of the modular Fire Department headquarters. The site with the temporary Fire Department headquarters, associated parking, and access, is shown on the “Site Layout and Materials Plan,” which is also included on Exhibit B for reference.

The Applicant is now requesting a modification of Condition 3.16 to allow it to return the site to the condition shown on the plans entitled Hill Side Site Plans Post-Use Sheet LT1.02 and Sheet LT2.01, as revised 2/03/2021. Copies of these plans are attached as Exhibit C for reference. This proposed post-use condition will include in excess of 90 parking spaces in the upper portion of the parking lot, and it will eliminate the extensive re-grading necessary to bring the site back to the topography that existed when the site still served as the Hillside Elementary School. The conditions shown on Exhibit C will be safe, stable, and will not affect vehicular circulation within the site. In addition, the Applicant estimates that returning the site to the condition shown on Exhibit A (as the decision currently requires) will cost approximately \$120,000 more than returning the site to the condition depicted on Exhibit C.

This site will not be returning to an elementary school use: The former Hillside Elementary School has permanently moved to the Sunita L. Williams Elementary School at 585 Central Avenue. In addition, the Town has no other concrete or imminent plans to use this property for another purpose. There has been some discussion of the property being a potential location for school administration, but this discussion has been preliminary in nature, and such a use is, at this point, entirely speculative. Any new use of this property will require considerable additional discussion within Town by the relevant stakeholders, an appropriation at a future Town Meeting, building and site design tailored to suit the prospective use, and approval from the Planning Board, at a minimum.

As a result, returning the site to the precise condition that it was in when used as the site of the Hillside Elementary School offers no benefit to the property owner or to the surrounding neighborhood, and involves significant additional cost and construction activity. The Applicant respectfully suggests that it is preferable to leave the site in a safe and secure condition that hews as closely to the current topography of the site, with the understanding that the entire site will be subject to another Major Project Site Plan Special Permit review at such time as another specific use of the property is identified.

Based on the foregoing, the Applicant requests that Condition 3.16 of Major Project Site Plan Special Permit No. 2018-05 be modified to state as follows:

The Petitioner shall return the site to the condition shown on the plans entitled Hill Side Site Plans Post-Use Sheet LT1.02 and Sheet LT2.01, as revised 2/03/2021. The restoration shall be completed within 6 months of the date the Police and Fire Departments vacate the property with an as-built plan showing the restored condition submitted to the Board for review and approval.

Thank you very much for your consideration of this request, and I look forward to discussing with the Board.

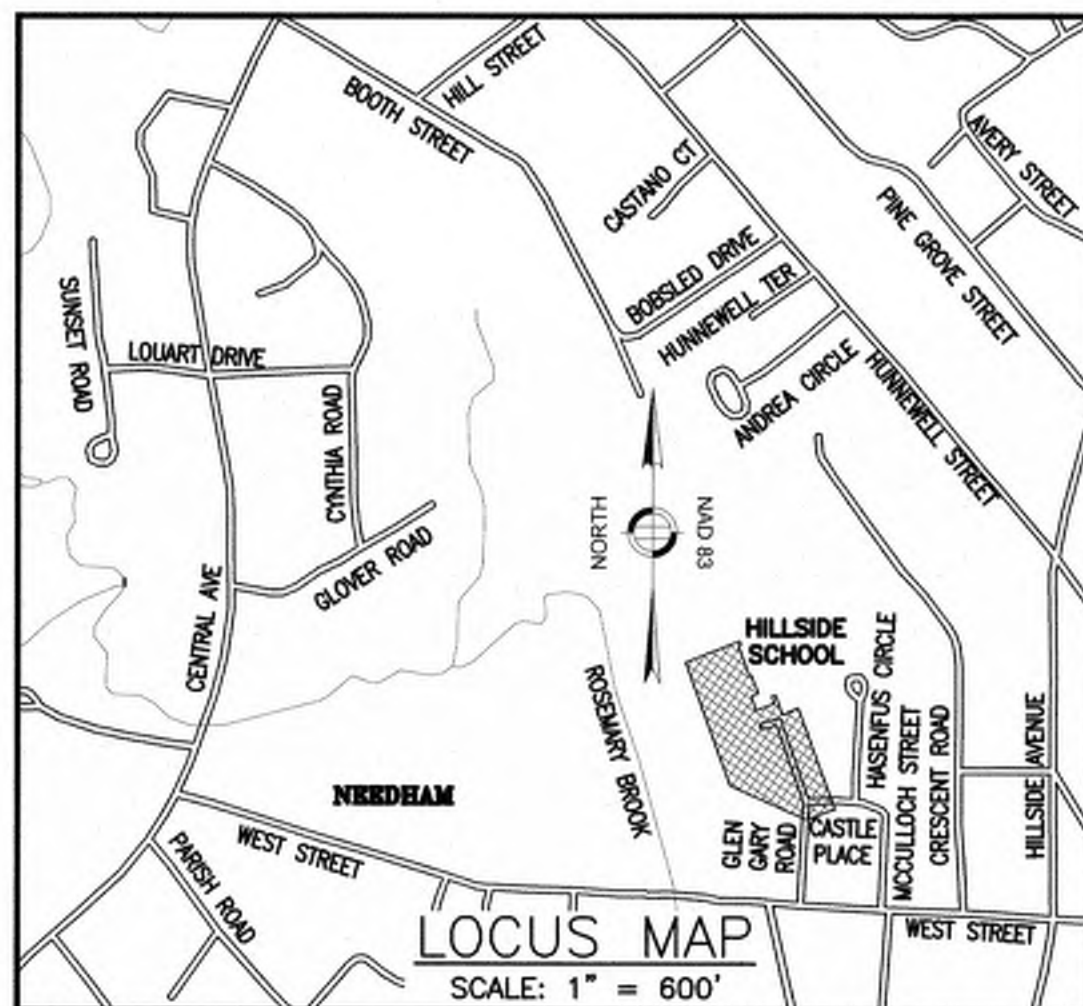
Sincerely,

/s/ Christopher H. Heep

Christopher H. Heep

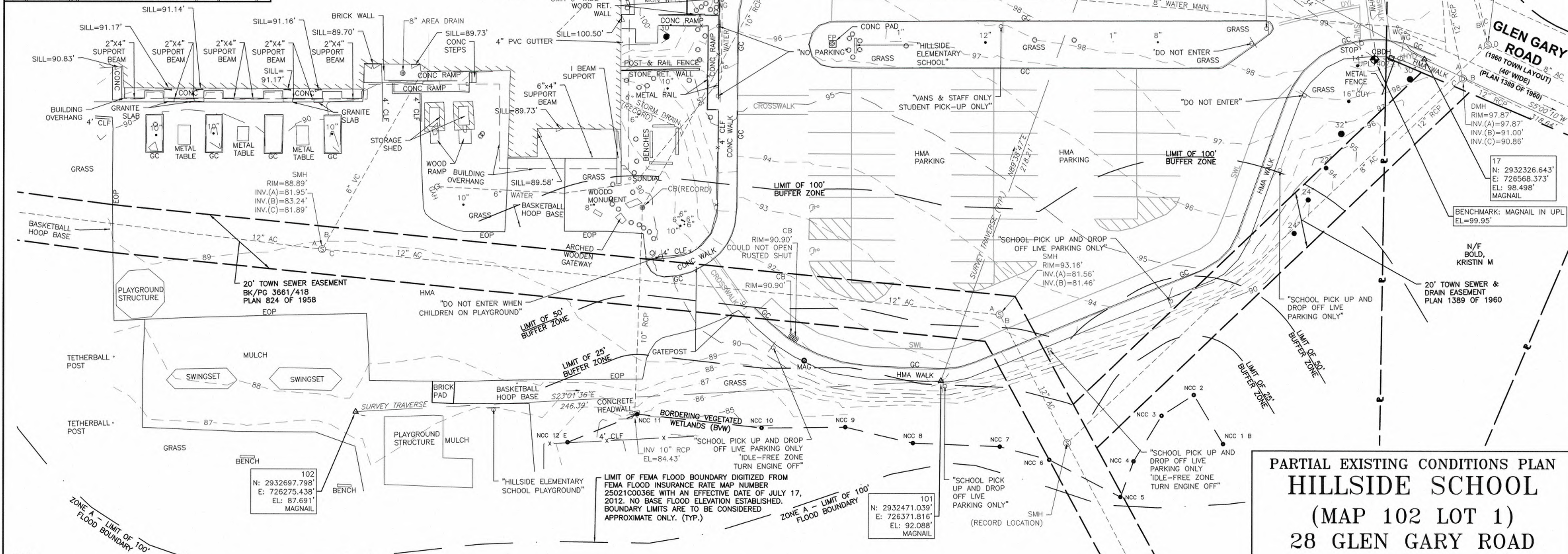
cc: K. Fitzpatrick
S. Popper

Exhibit A



HILLSIDE SCHOOL

N/F
THE INHABITANTS OF THE
TOWN OF NEEDHAM
BK/PG 1838/302
28 GLEN GARY RD
MAP 102 LOT 1



NOTES

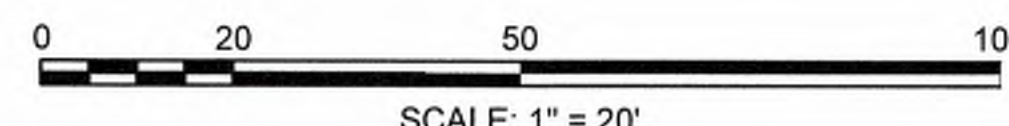
1. THE SURVEY CONTROL NETWORK WAS SET BY AN INSTRUMENT FIELD SURVEY PERFORMED BY GREENMAN-PEDERSEN, INC. (GPI) IN AUGUST, 2017.
2. THE BASEPLAN WAS COMPILED FROM DATA COLLECTED VIA TRADITIONAL TOTAL STATION BY GPI IN NOVEMBER, 2017.
3. THE HORIZONTAL DATUM SHOWN HEREON IS BASED UPON THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM - MAINLAND ZONE REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83) (2011), EPOCH 2010.00 AS ESTABLISHED BY GPI VIA GPS OBSERVATION IN CONJUNCTION WITH THE MACORS MAMI BASE STATION.
4. THE VERTICAL DATUM SHOWN HEREON REFERENCES THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88) AS ESTABLISHED BY GPI VIA GPS OBSERVATION IN CONJUNCTION WITH THE MACORS MAMI BASE STATION.
5. THE UNITS SHOWN HEREIN ARE US SURVEY FEET.
6. CONTOUR INTERVAL: 1 FOOT
7. THE RIGHT-OF-WAY AND PROPERTY BOUNDARY WERE ESTABLISHED VIA CADASTRAL SURVEY, FOUND MONUMENTATION AND RECORD INFORMATION INCLUDING DEEDS, PLANS AND ASSESSORS INFORMATION OBTAINED AT THE NORFOLK COUNTY REGISTRY OF DEEDS, AND THE TOWN ENGINEERING AND ASSESSING DEPARTMENTS.
8. ZONING DISTRICTS: GENERAL RESIDENCE (GR).
9. FLOOD ZONE: SEE NOTE ON PLAN.
10. RESOURCE AREAS WERE DELINEATED BY THE NEEDHAM CONSERVATION COMMISSION IN FEBRUARY 2018 AND FIELD LOCATED VIA TRADITIONAL GROUND SURVEY PERFORMED BY GPI IN FEBRUARY 2018.
11. SUBSURFACE UTILITY INFORMATION SHOWN HEREON IS APPROXIMATE ONLY AND WAS COMPILED FROM SURFACE EVIDENCE AND SUPPLEMENTED WITH RECORD UTILITY INFORMATION WHERE AVAILABLE. ALL UNDERGROUND UTILITY MAPPING IS IN COMPLIANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION SUBSURFACE UTILITY ENGINEERING QUALITY LEVEL C. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION TO VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES IN AND OUT OF THE EXISTING BUILDING SITES. GREENMAN-PEDERSEN, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. COORDINATION WITH THE APPROPRIATE UTILITIES BEFORE AND DURING DESIGN OF FUTURE CONNECTIONS IS REQUIRED.
12. CONTACT "DIG SAFE" AT 1 (888) 344-7233 PRIOR TO CONSTRUCTION.



Jeffrey P. Bradford
4/3/2018

PLAN REFERENCES:

- "PLAN OF LAND IN NORFOLK COUNTY, HILLSIDE SCHOOL" PREPARED BY GREENMAN-PEDERSEN, INC. IN FEBRUARY 2018.



PARTIAL EXISTING CONDITIONS PLAN HILLSIDE SCHOOL (MAP 102 LOT 1) 28 GLEN GARY ROAD

IN THE TOWN OF
NEEDHAM, MASSACHUSETTS

PREPARED FOR:
THE TOWN OF NEEDHAM
1471 HIGHLAND AVENUE
NEEDHAM, MASSACHUSETTS

OWNED BY:
**THE INHABITANTS OF
THE TOWN OF NEEDHAM**
1471 HIGHLAND AVENUE
NEEDHAM, MASSACHUSETTS

SCALE: 20 FEET TO THE INCH

FILE NAME: 17089.02_SV.DWG FIELD BOOK: 2017089.02 (ELECTRONIC)
DRAWN BY: BJB/RJD CHECKED BY: JPB

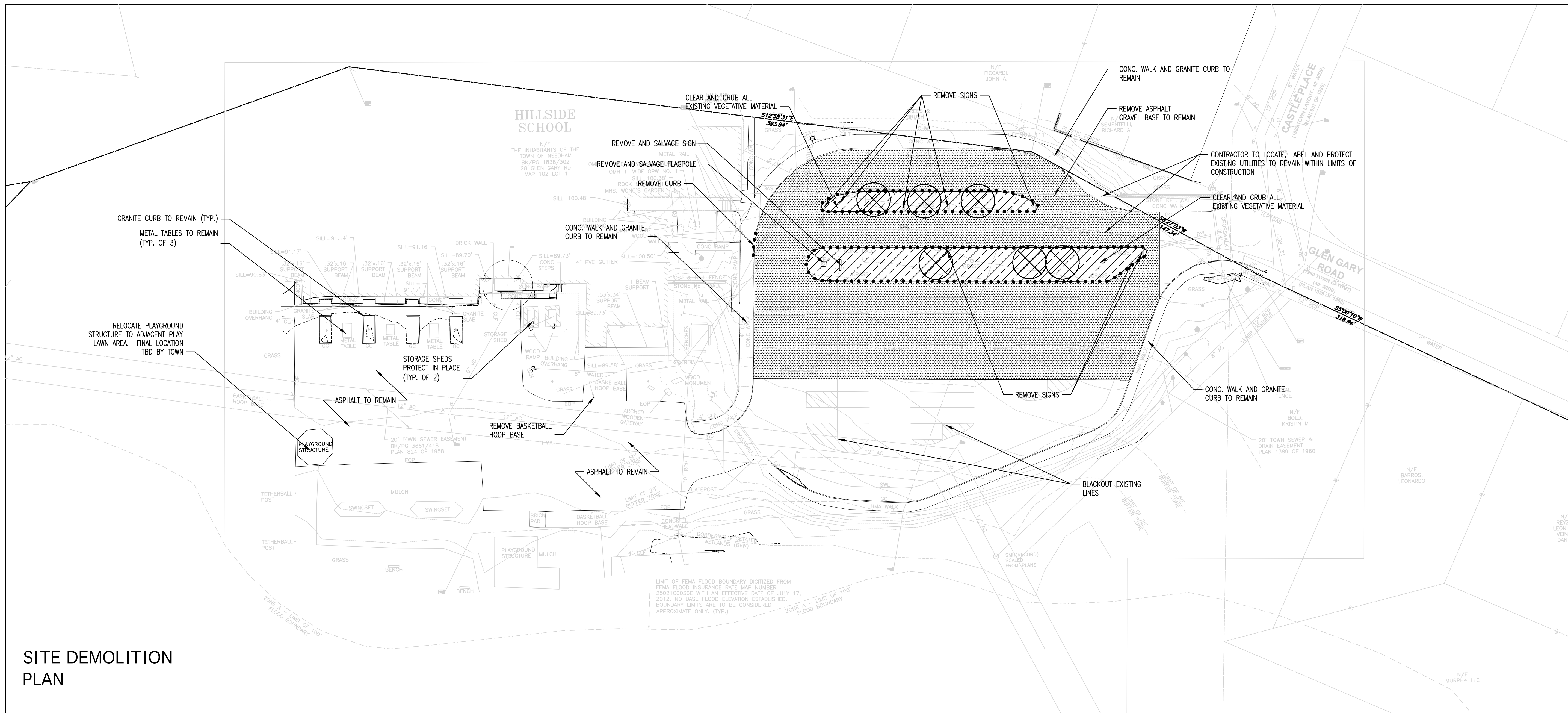
GPI PREPARED BY:
Greenman-Pedersen, Inc.
Engineering & Construction Services

181 Ballardvale Street, Suite 202, Wilmington, MA 01887
Tel: (978) 570-2999 Fax: (978) 658-3044
http://www.gpinet.com

DATE: APRIL 3, 2018

X0.1

Exhibit B



SITE DEMOLITION
PLAN

SITE DEMOLITION LEGEND

- CLEAR AND GRUB
- REMOVE PAVING
- REMOVE CURB
- SAW CUT LINE
- REMOVE TREE

SITE DEMOLITION NOTES

- AREAS OF EXISTING VEGETATION TO REMAIN SHALL BE PROTECTED THROUGHOUT CONSTRUCTION. REVIEW ACTUAL LIMITS OF CLEARING WITH THE OWNER/ARCHITECT, AND SELECTIVELY CLEAR AND PRUNE AS REQUIRED TO REMOVE DEAD, DISEASED, OR POORLY FORMED VEGETATION.
- REMOVE ALL PAVEMENTS TO THEIR FULL DEPTHS.
- COORDINATE ALL UTILITY DEMOLITION OPERATIONS WITH OWNER. MAINTAIN SYSTEMS IN OPERATION AS REQUIRED.
- COORDINATE DEMOLITION LIMITS WITH PROPOSED IMPROVEMENTS.
- CONTRACTOR MAY PULVERIZE, DISTRIBUTE AND REUSE ASPHALT ON SITE TO ACHIEVE SUB-GRADE ELEVATION. PULVERIZED MATERIAL SHALL MEET REQUIRED SIEVES FOR SSB M11.10

416 Slater Road, P.O. Box 2590, New Britain, CT 06050-2590
Phone: 860-229-0361 Fax: 860-229-5303
16 Chestnut Street, Suite 301, Foxborough, MA 02035
Phone: 508-549-9905 Fax: 508-549-9907

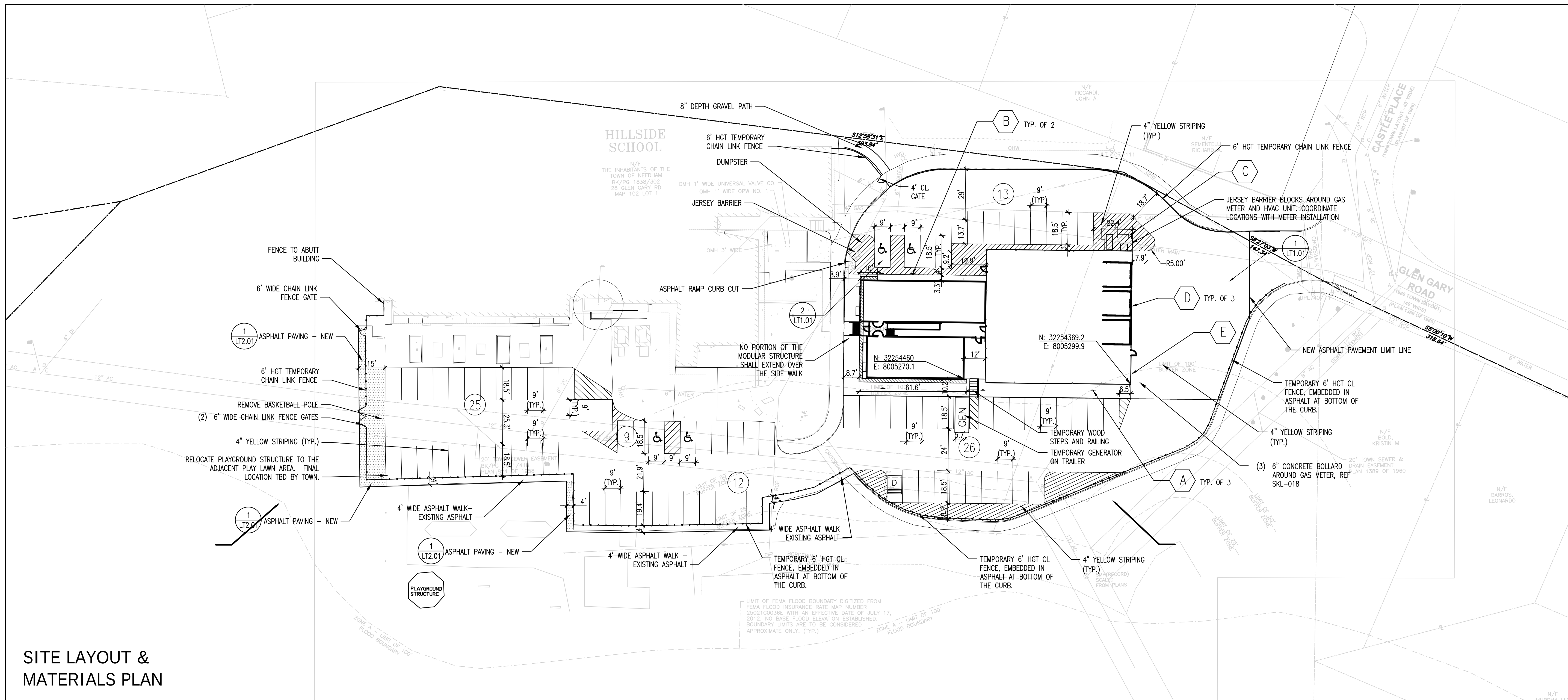
Email: kba@kba-architects.com Web: www.kba-architects.com



CONSTRUCTABILITY SET
DATE: 6/1/2018
NOT FOR CONSTRUCTION

ISSUE DATE	
DATE	DESCRIPTION
11/07/2018	BID AND CONSTRUCTION
11/16/2018	ADDENDUM 1

REVISIONS	
DATE	DESCRIPTION
6/11/2019	SKL004 - WALKWAY & FENCING
7/30/2019	TEXT MODIFICATIONS



SITE LAYOUT &
MATERIALS PLAN

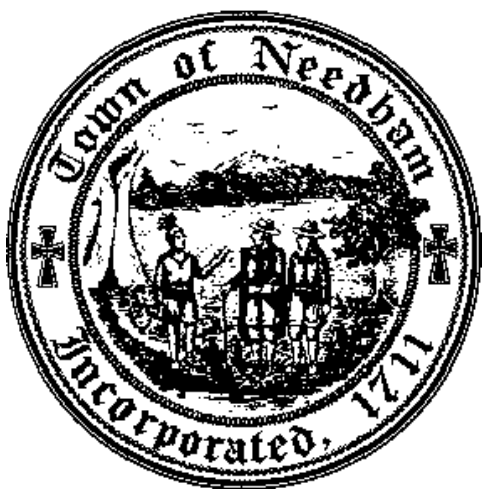
SITE LAYOUT & MATERIALS LEGEND

- PROPERTY LINE
- LAYOUT BASE LINE
- RADIAL DIMENSION
- LINEAR DIMENSION
- PARKING TOTAL
- DETAIL REFERENCE TAG
- DETAIL REFERENCE TAG
- DENOTES MATERIAL CHANGE
- CONCRETE PAVING
- SIGNAGE
- SIGNAGE REFERENCE TAG
- CURBING
- CONCRETE CURB RAMP
- GATES
- FENCE
- LIGHTING

SITE LAYOUT & MATERIALS NOTES

- LAYOUT INFORMATION IS FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. CONTRACTOR IS RESPONSIBLE TO VERIFY ALL LAYOUT INFORMATION. BRING ANY DISCREPANCIES TO THE ARCHITECT'S ATTENTION FOR REVIEW AND CLARIFICATION.
- ALL RADI ARE 5' UNLESS OTHERWISE NOTED.

0 15' 30' 60'
SCALE: 1" = 30'-0"



**NEEDHAM
POLICE AND FIRE
TEMPORARY
FACILITY**

28 GLEN GARY RD
NEEDHAM, MA 02494

PROJECT NO.: 16015.02

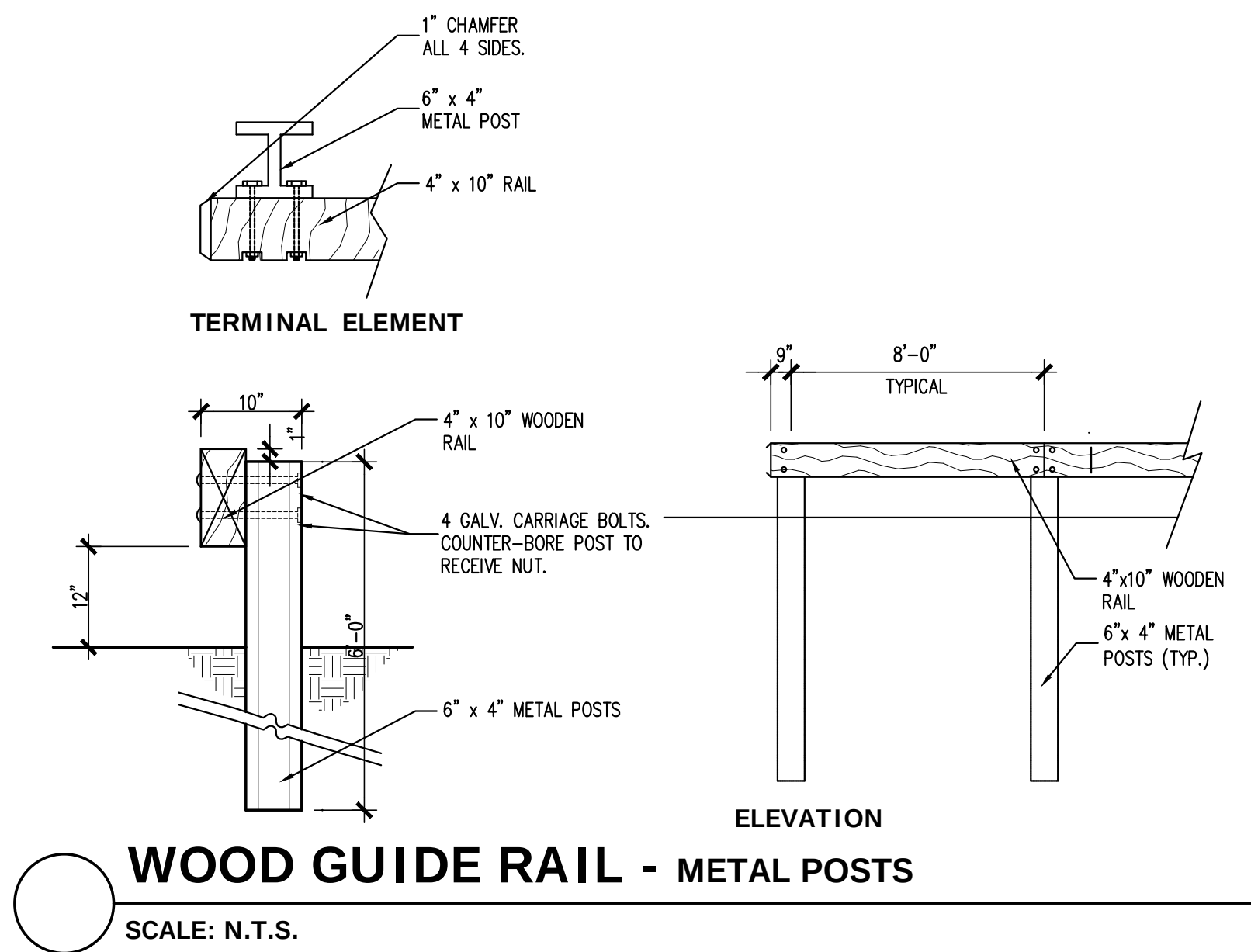
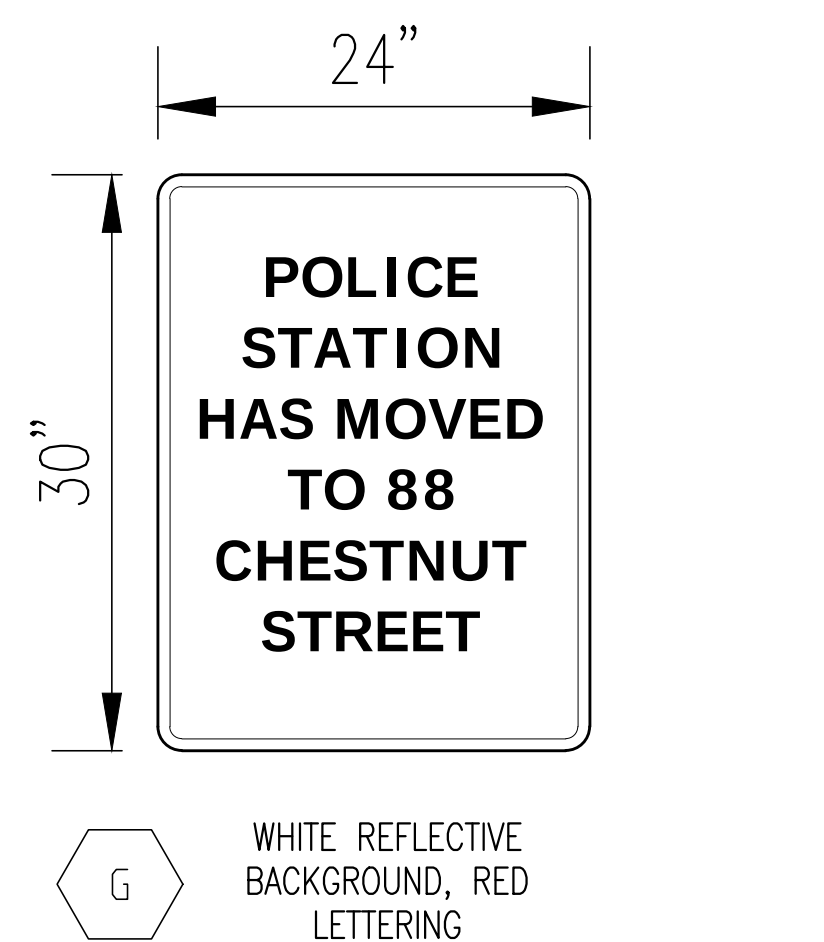
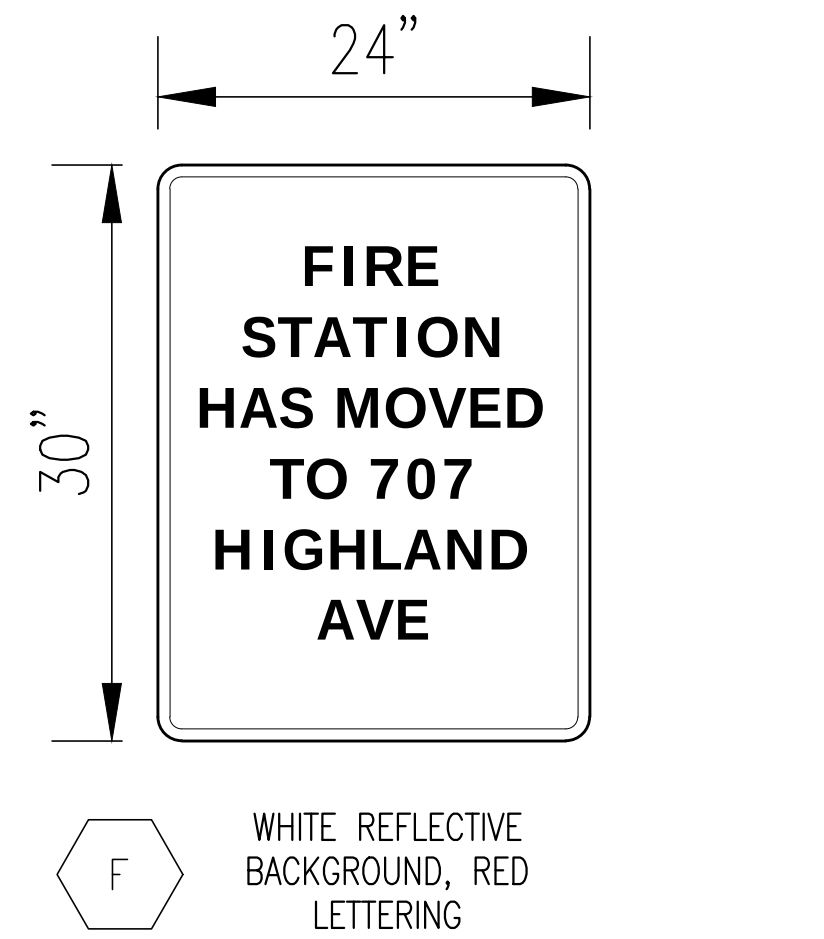
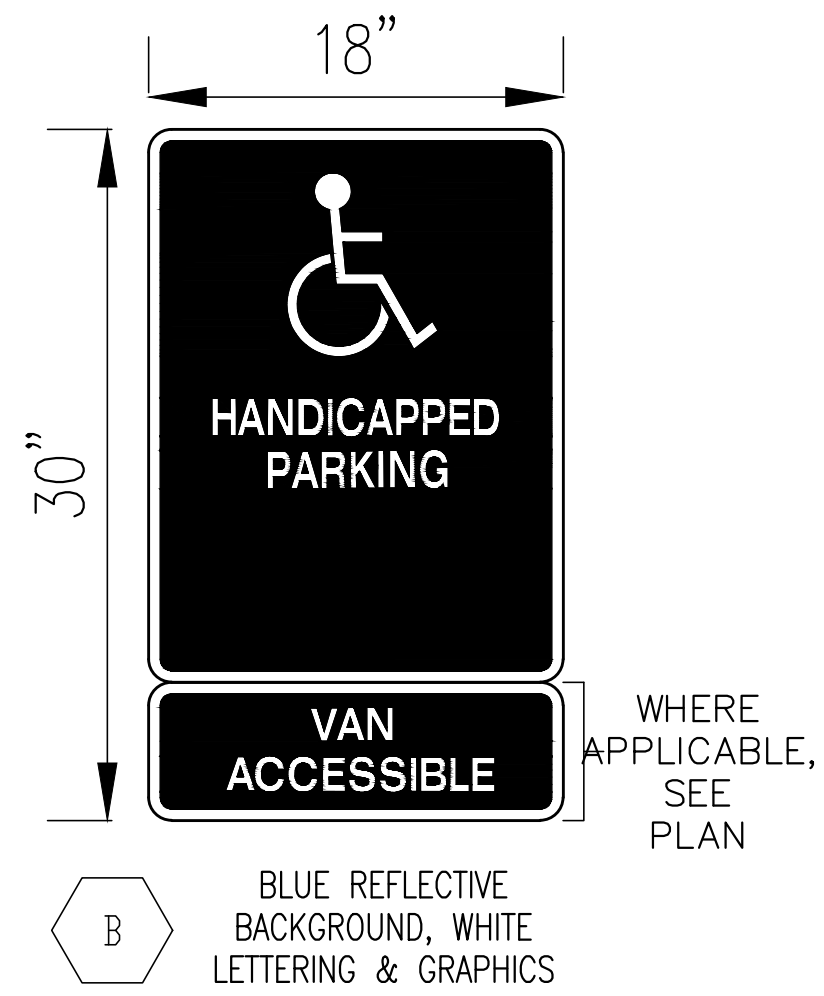
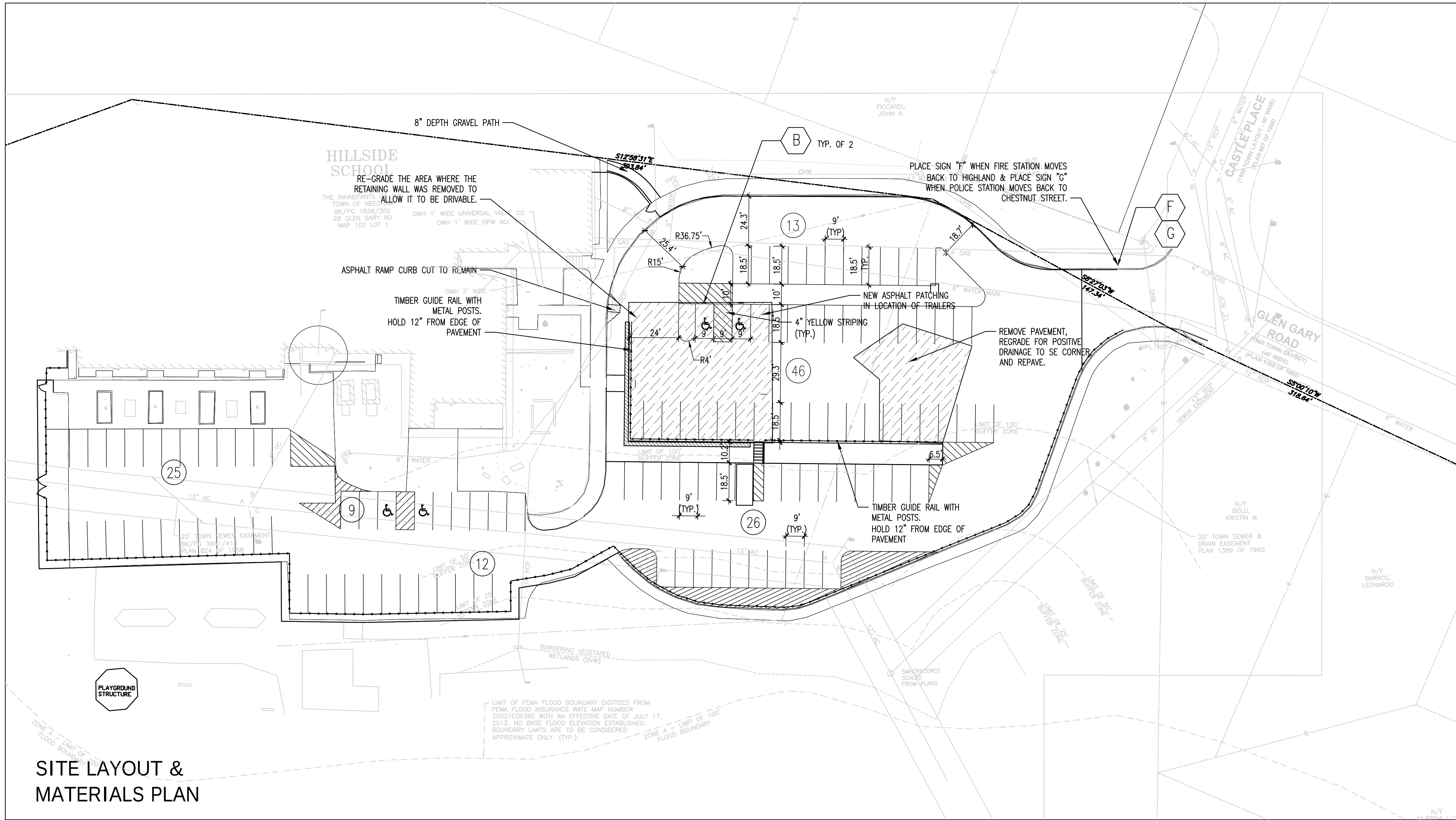
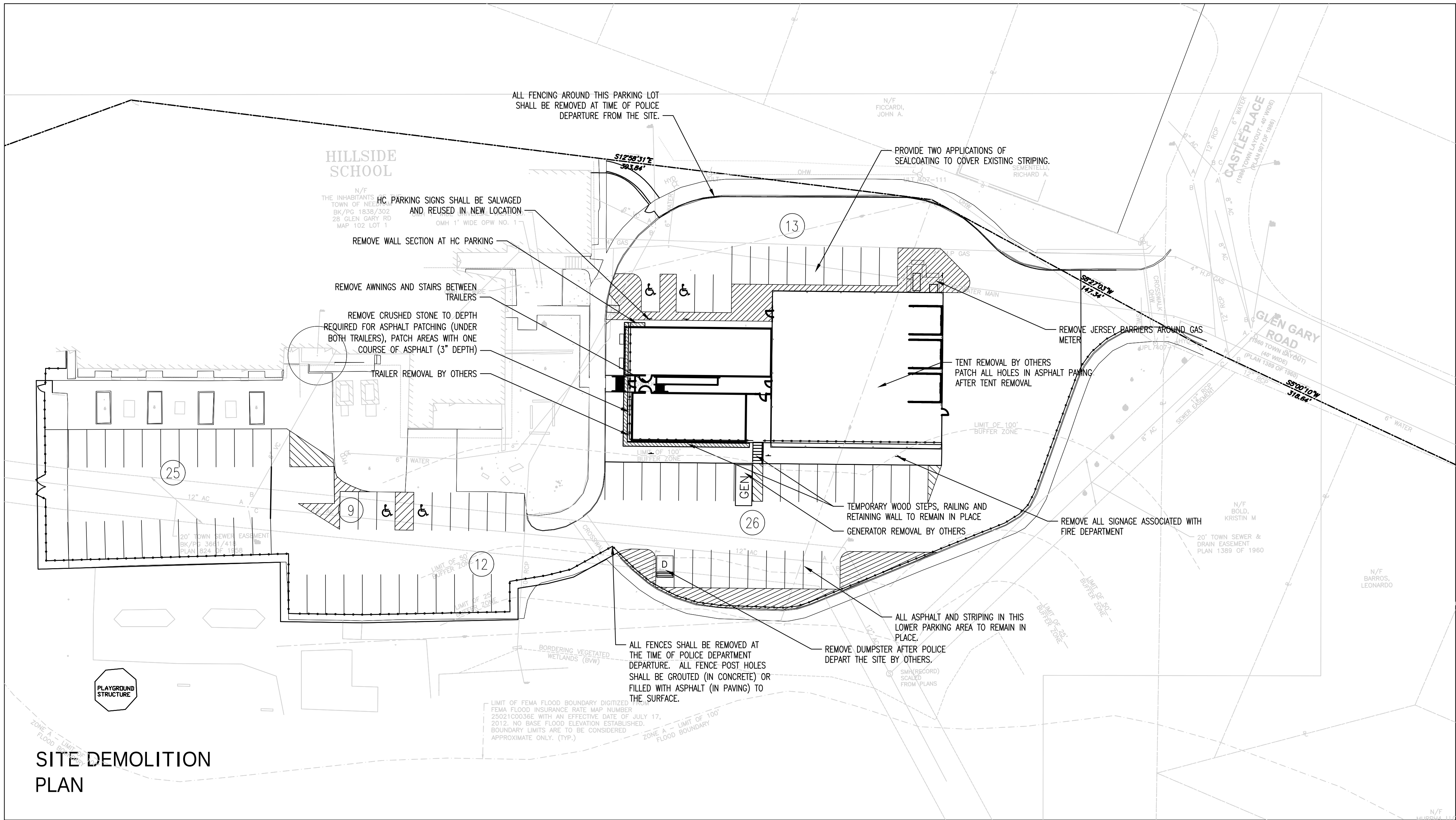
DRAWN BY: DGM

**HILL SIDE
SITE PLANS**

DRAWING NO.:

LT1.01

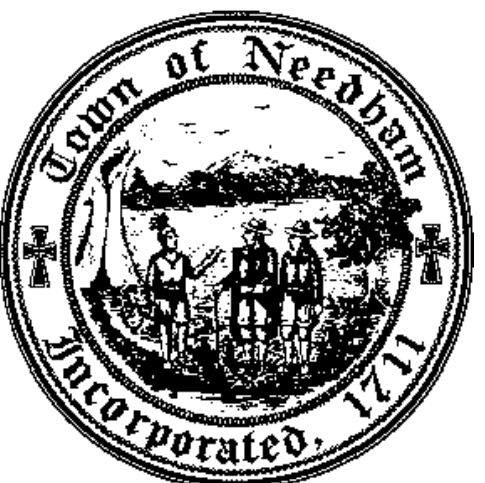
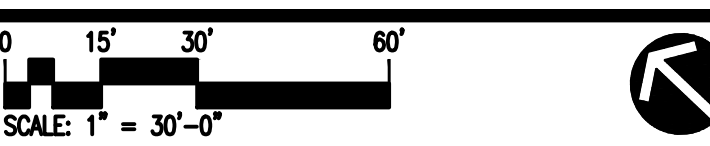
Exhibit C



CONSTRUCTABILITY SET
DATE: 6/1/2018
NOT FOR CONSTRUCTION

ISSUE DATE	
DATE	DESCRIPTION
11/07/2018	BID AND CONSTRUCTION
11/16/2018	ADDENDUM 1

REVISIONS	
DATE	DESCRIPTION
6/11/2019	SKL004 - WALKWAY & FENCING
7/30/2019	TENT MODIFICATIONS
2/03/2021	POST USE PLAN



**NEEDHAM
POLICE AND FIRE
TEMPORARY
FACILITY**

28 GLEN GARY RD
NEEDHAM, MA 02494

PROJECT NO.: 16015.02 DRAWN BY: DGM

**HILL SIDE
SITE PLANS
POST -USE**

DRAWING NO.:

LT1.02

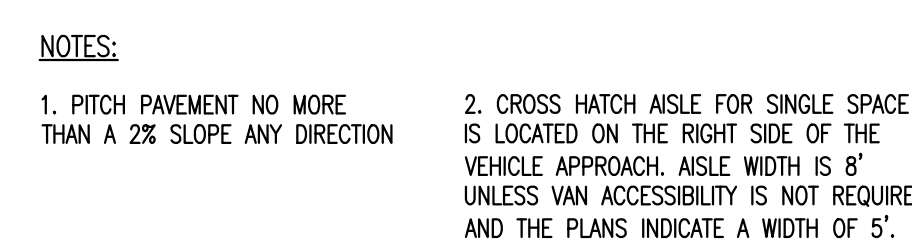


	EXISTING CONTOUR
	PROP. INTERMEDIATE CONTOUR
	PROP. INTERVAL CONTOUR
	SPOT ELEVATION
	FLUSH CONDITION
	CATCH BASIN
	AREA/YARD DRAIN
	DRAINAGE ARROW
F.F.E.	FINISH FLOOR ELEVATION
B.W.	BOTTOM OF WALL
T.W.	TOP OF WALL
B.S.	BOTTOM OF STAIRS
T.S.	TOP OF STAIRS
B.C.	BOTTOM OF CURB
T.C.	TOP OF CURB
T.F.	TOP OF FRAME
H.P.	HIGH POINT
L.P.	LOW POINT

1. BEFORE STARTING EACH PORTION OF THE WORK, THE CONTRACTOR SHALL COMPARE THE EXISTING CONDITIONS SHOWN ON THE DRAWINGS, WITH ACTUAL FIELD CONDITIONS. THE CONTRACTOR MUST NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, IN WRITING, COMMENCING WORK IN ANY AREA, UNTIL THE ACCEPTANCE OF EXISTING CONDITIONS SHOWN ON THE DRAWINGS AS BEING SUBSTANTIALLY CORRECT.
2. SEE CIVIL DRAWINGS FOR ALL SITE DRAINAGE INFORMATION. "L" SERIES GRADING ARE FOR SITE GRADING ONLY.
3. SMOOTHLY BLEND ALL PROPOSED GRADES TO EXISTING CONDITIONS. ROUND OFF TOPS AND TOE OF ALL SLOPES.
4. MAINTAIN DRAINAGE PATTERNS TO EXISTING DRAINAGE SYSTEMS UNLESS NOTED OTHERWISE.
5. CONTRACT LIMIT LINE IS COINCIDENT WITH PROPERTY LINE UNLESS NOTED OTHERWISE.
6. PAVED WALKS NOT TO EXCEED 5% MAXIMUM SLOPE UNLESS SPECIFICALLY NOTED OTHERWISE.
7. ALL HANDICAP PARKING SPACES, SEATING AREAS AND PASSENGER LOADING ZONES SHALL NOT EXCEED 2.0% IN ANY DIRECTION.
8. ALL HANDICAP EGRESSES SHALL BE FLUSH WITH ADJACENT MATERIAL UNLESS NOTED OTHERWISE.
9. ALL EXPANSION JOINTS AND SCORE JOINTS SHALL BE FLUSH UNLESS NOTED OTHERWISE.

DATE	DESCRIPTION
2/03/2021	POST USE PLAN

REQUIREMENTS	NCB	PROPOSED	COMPLIANCE	NOTES
(A) PARKING LOT ILLUMINATION - TO BE DESIGNED TO MIN. OF ONE FOOTCANDLE WITH CUT OFF TO ABUTERS			N/A	N/A
(B) LOADING REQUIREMENTS			N/A	N/A
(C) HANDICAPPED PARKING - COMPLIANT WITH MAAB AND ADA			YES	SEE LAYOUT PLAN
(D) DRIVEWAY OPENINGS - MINIMIZES CONFLICT WITH TRAFFIC AND ENABLES GOOD VISIBILITY			YES	SEE LAYOUT PLAN
(E) COMPACT CARS			N/A	N/A
(F) PARKING SPACE SIZE - ALL SPACES COMPLY - FULL SIZE = 9' X 18.5'; OVERSIZE = 10' X 18.5'			YES	SEE LAYOUT PLAN
(G) BUMPER OVERHANG - NO MORE THAN 1' BUMPER OVERHANG ALLOWED			YES	SEE LAYOUT PLAN
(H) PARKING SPACE LAYOUT - NO BACKING OR MANEUVERING IN SIDEWALK OF PUBLIC ROW REQUIRED			YES	SEE LAYOUT PLAN
(I) WIDTH OF MANEUVERING AISLE - 90' & 24' WIDE OR GREATER			YES	SEE LAYOUT PLAN
(J) FRONT PARKING SETBACKS	20'	130'	YES	SEE LAYOUT PLAN
SIDE & REAR PARKING SETBACKS	4'	43'	YES	SEE LAYOUT PLAN
MANEUVERABLE AISLE SETBACK FROM BUILDING	5'	54'	YES	SEE LAYOUT PLAN
(K) LANDSCAPED AREAS	10% LANDSCAPE	NO INTERIOR LANDSCAPING	NO	SEE LAYOUT PLAN
(L) TREES	1 TREE/10 SPACES	NO INTERIOR LANDSCAPING	NO	WANNER REQUESTED
(M) LOCATION	ON SITE		YES	SEE LAYOUT PLAN
(N) BICYCLE RACKS	1/20 SPACES	NONE PROPOSED	YES	WANNER REQUESTED



2 ACCESSIBLE PARKING SPACES

FIRE STAFF PARKING ONLY	HANDICAPPED PARKING VAN ACCESSIBLE	FIRE STATION HAS MOVED TO 707 HIGHLAND AVE	
WHITE REFLECTIVE BACKGROUND, RED LETTERING	BLUE REFLECTIVE BACKGROUND, WHITE LETTERING & GRAPHICS	WHITE REFLECTIVE BACKGROUND, RED LETTERING	
POLICE & FIRE VISITOR PARKING	DO NOT BLOCK DOORS NO PARKING ANYTIME	EMERGENCY VISITOR FIRE PARKING	POLICE STATION HAS MOVED TO 88 CHESTNUT STREET
WHITE REFLECTIVE BACKGROUND, BLACK LETTERING	WHITE REFLECTIVE BACKGROUND, RED LETTERING	WHITE REFLECTIVE BACKGROUND, RED LETTERING	WHITE REFLECTIVE BACKGROUND, RED LETTERING

