

DESIGN REVIEW BOARD

Monday, April 12, 2021

7:30 p.m.

Virtual Meeting using Zoom

Meeting ID: 845-1987-6965

(Instructions for accessing below)

To view and participate in this virtual meeting on your phone, download the “Zoom Cloud Meetings” app in any app store or at www.zoom.us. At the above date and time, click on “Join a Meeting” and enter the following Meeting ID: 845-1987-6965

Link: <https://us02web.zoom.us/j/84519876965>

To view and participate in this virtual meeting on your computer, at the above date and time, go to www.zoom.us click “Join a Meeting” and enter the following ID: 845-1987-6965

APPLICANTS:

(Items for which a specific time has not been assigned may be taken out of order.)

1. Aaron Sicotte, Needham High School located at 609 Webster Street applying for signage.
2. Tim Parker, Fast Signs representing Proud Mary Gifts located at 1024 Great Plain Avenue and applying for awning and signage
3. Jamie Anderson, Greenleaf Construction representing F.W Webb to be located at 68 Highland Avenue applying for façade work, signage, landscaping and awning.
4. Melissa Gale, owner of Cookie Monstah located at 1257 Highland Avenue and applying for signage and awning.

REVIEW Minutes of 3/22/2021 meeting.

Next Public Meeting – May 3, 2021 at 7:30pm via Zoom Webinar



TOWN OF NEEDHAM

DESIGN REVIEW BOARD

Public Service Administration Building

500 Dedham Avenue

Needham, MA 02492

Application and Report

Property Location: Needham High School Date: 4-6-21

Owner: Town of Needham

Address: 609 Webster St. Needham MA 02484
Street City State Zip

Telephone: 781-455-0800

Applicant: Aaron Sicotte - Principal

Address: 609 Webster St. Needham MA 02484
Street City State Zip

Telephone: 781-455-0800 ext 22007

Designer/Installer: Monument Warehouse

Address: 1551 Mineral Springs Rd Elberton GA 30655
Street City State Zip

Telephone: 1-800-300-8025 ext 3102

Type of Application
☒ Sign
☐ Minor Project
☐ Exterior Alterations
Major Project (Site Plan Review)
☐ - preliminary
☐ - final
☐ Flexible Subdivision
☐ Planned Residential Development
☐ Residential Compound

Brief description of sign or project:

1-4' x 2' Admiral Greasy Blvd Entrance

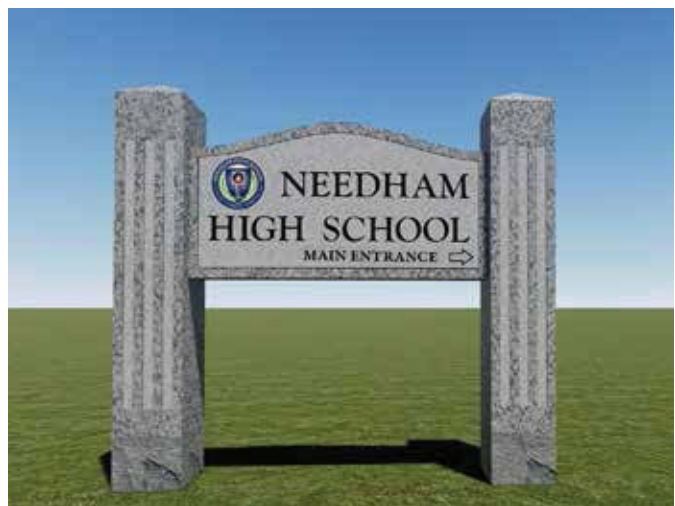
Please email completed application to elitchman@needhamma.gov



NEEDHAM HIGH SCHOOL NAME SIGN - SMALL
OPTION - 1



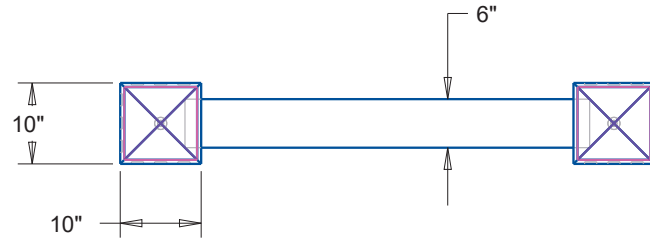
Monument Warehouse
1551 Mineral Springs Rd
Elberton GA 30635
(800)-300-8025



NEEDHAM HIGH SCHOOL NAME SIGN - SMALL
OPTION -2



Monument Warehouse
1551 Mineral Springs Rd
Elberton GA 30635
(800)-300-8025



OVERALL SIZE 66"X10"X62"

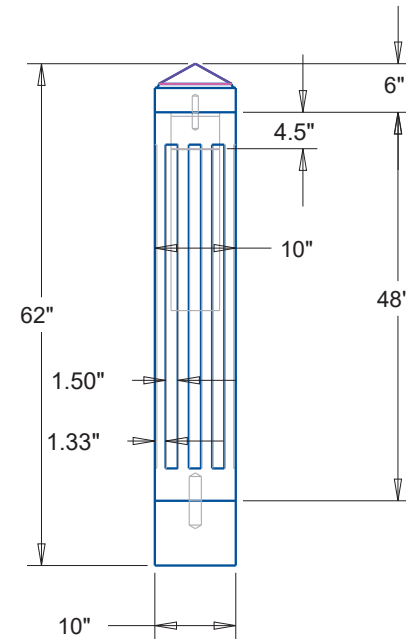
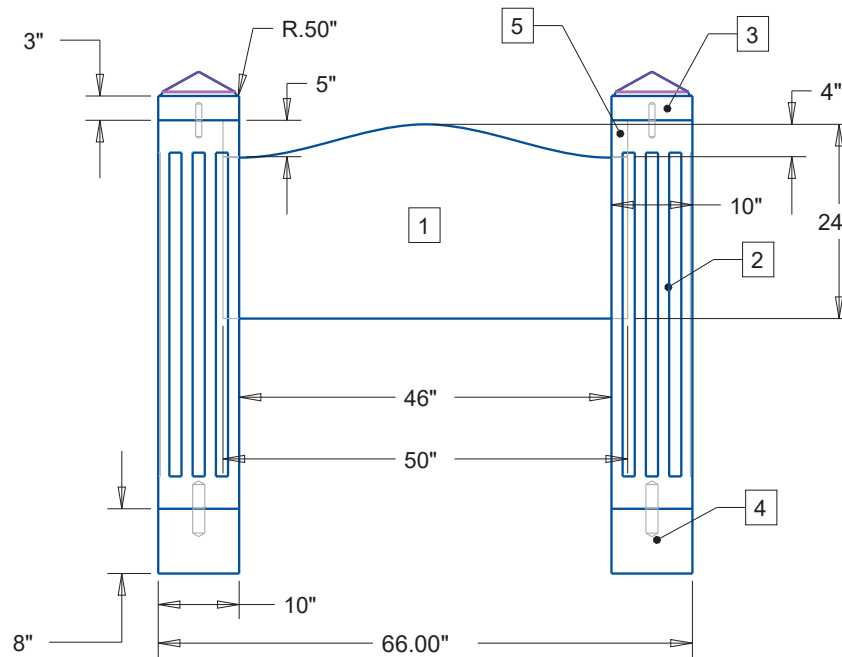
1.SLAB - 50"X6"X24"=1(P4POL)

2.POST - 10"X10"X48"=2(P4POL)

3.CAP - 10"X10"X6"=2(P5POL)

4.FOUNDATION COVER - 10"X10"X8"=2(P1BRP)

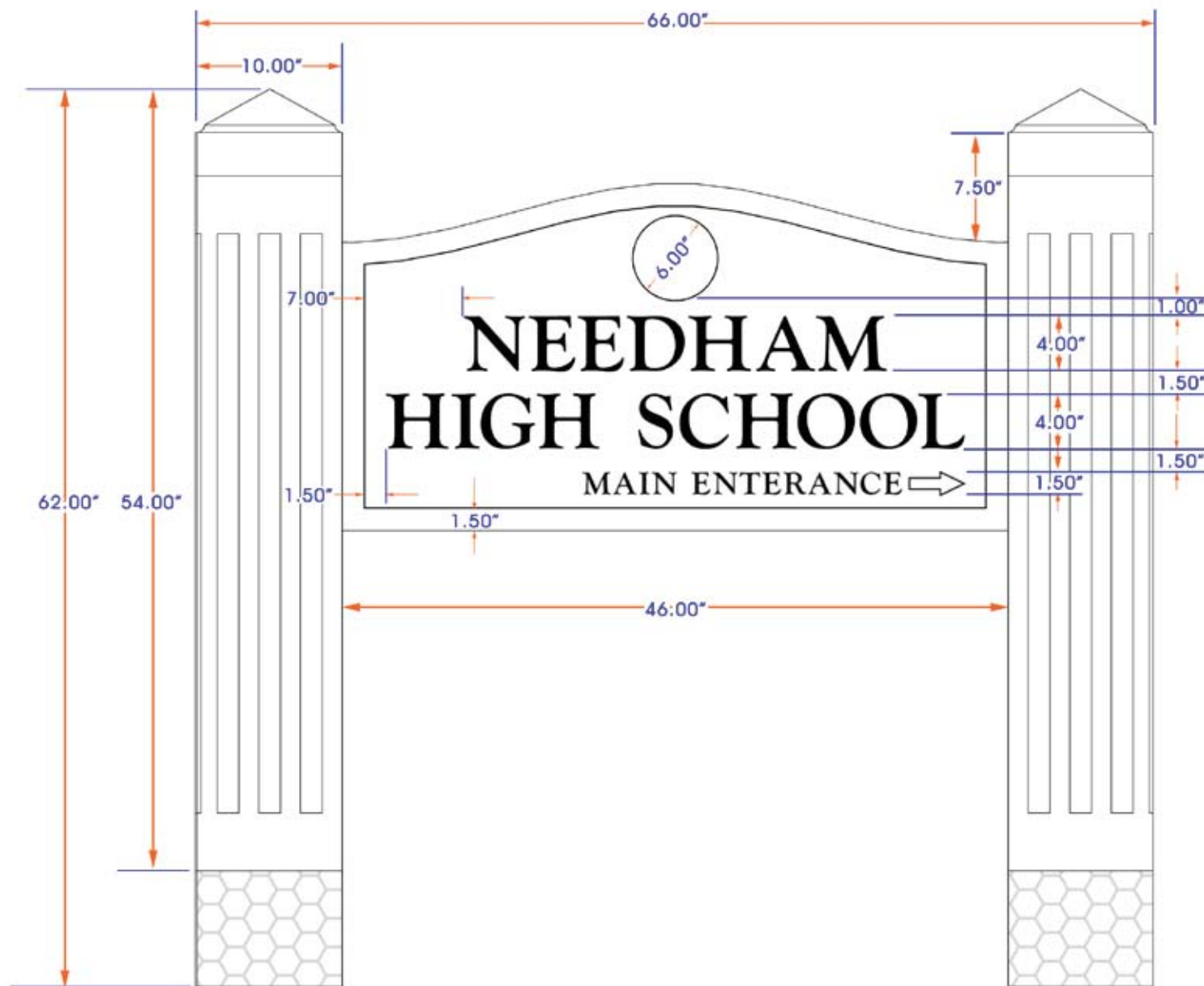
5.INSERT - 2X6X4.5 =2(P1SWN)



NEEDHAM HIGH SCHOOL NAME SIGN - SMALL
LINE DRAWING



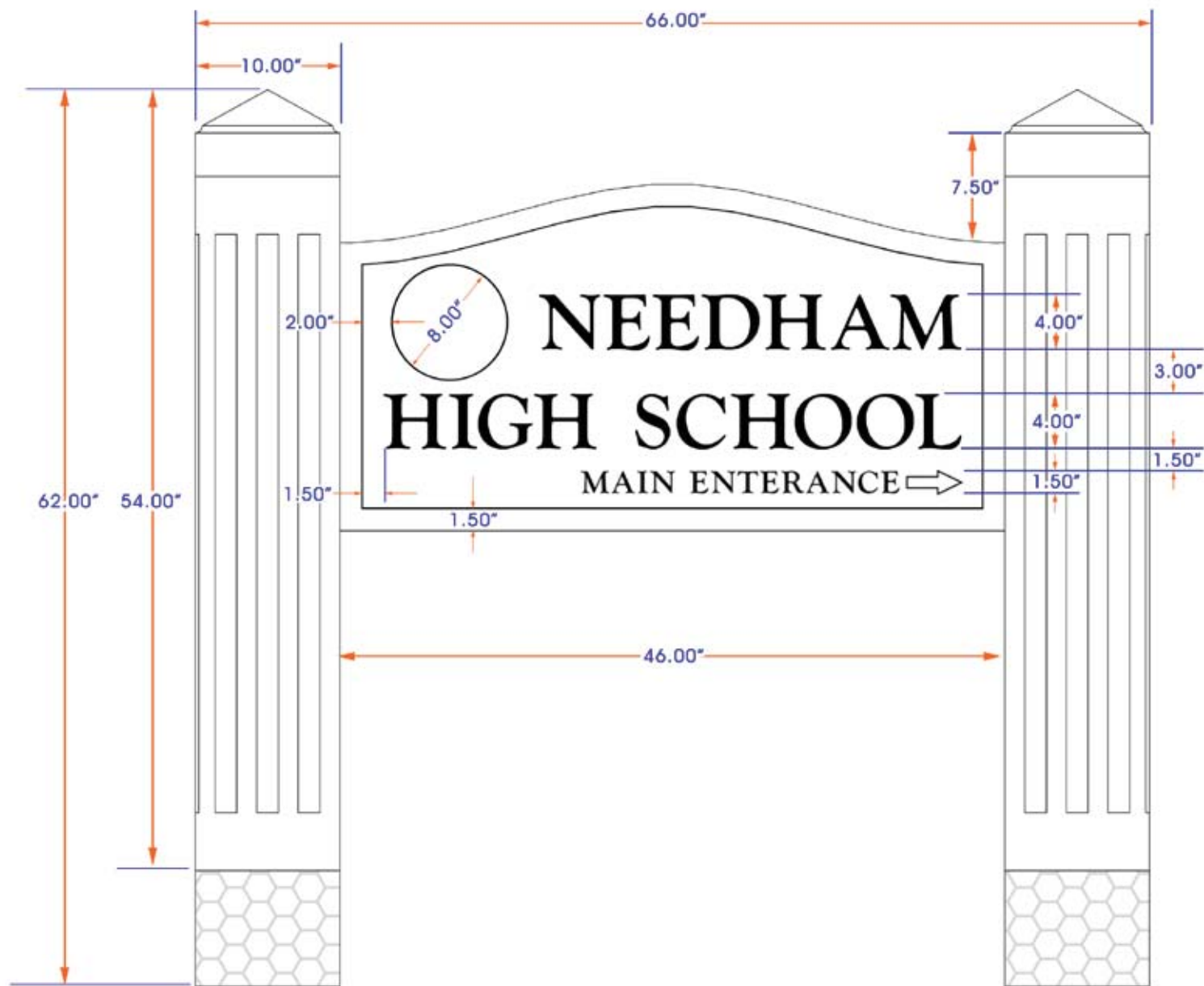
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Elberton GA 30635
(800)-300-8025



NEEDHAM HIGH SCHOOL NAME SIGN - SMALL
OPTION -1 - LETTERING DETAIL



Monument Warehouse
1551 Mineral Springs Rd
Elberton GA 30635
(800)-300-8025



NEEDHAM HIGH SCHOOL NAME SIGN - SMALL
OPTION -2 - LETTERING DETAIL



Monument Warehouse
1551 Mineral Springs Rd
Elberton GA 30635
(800)-300-8025



TOWN OF NEEDHAM

DESIGN REVIEW BOARD

Public Service Administration Building

500 Dedham Avenue

Needham, MA 02492

Application and Report

Property Location: Needham High School Date: 4-6-21

Owner: Town of Needham

Address: 609 Webster St. Needham MA 02454
Street City State Zip

Telephone: 781-455-0800

Applicant: Aaron Sicate - Principal

Address: 609 Webster St. Needham MA 02454
Street City State Zip

Telephone: 781-455-0800 ext 22007

Designer/Installer: Monument Warehouse

Address: 1551 Mineral Springs Rd Elberton GA 30635
Street City State Zip

Telephone: 1-800-300-8025 Ext 3102

Type of Application
☒ Sign
☐ Minor Project
☐ Exterior Alterations
Major Project (Site Plan Review)
☐ - preliminary
☐ - final
☐ Flexible Subdivision
☐ Planned Residential Development
☐ Residential Compound

Brief description of sign or project:

1 - 8'x4' Webster Street Entrance

Please email completed application to elitchman@needhamma.gov



OPTION - 1



OPTION - 2

NEEDHAM HIGH SCHOOL NAME SIGN - LARGE
OPTION - 1 AND 2



Monument Warehouse
1551 Mineral Springs Rd
Elberton GA 30635
(800)-300-8025



OVERALL SIZE 124"X14"X92"

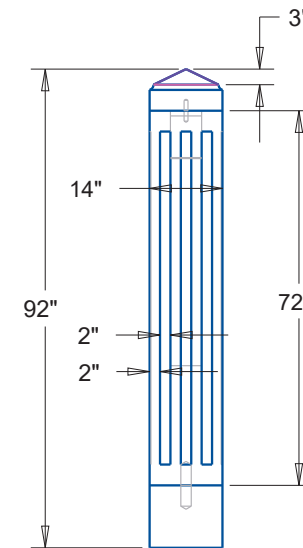
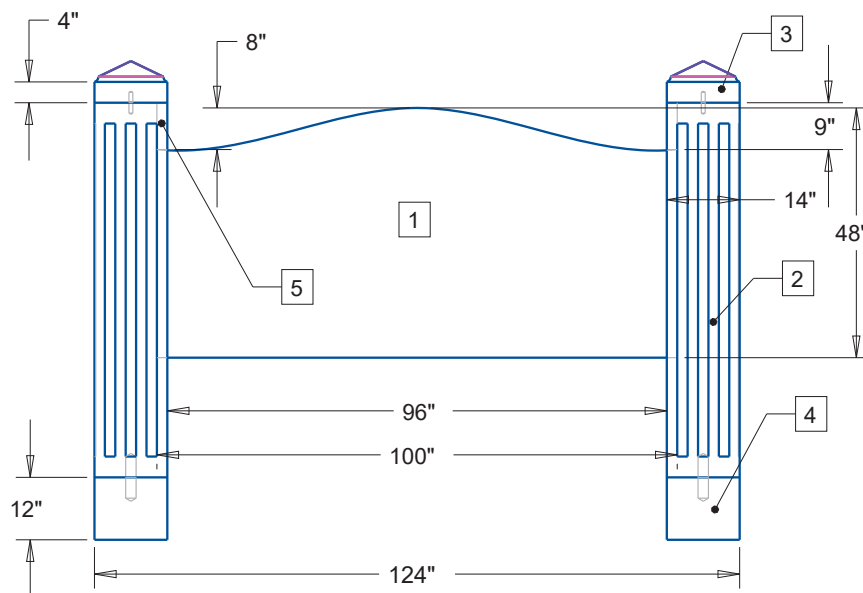
1.SLAB - 100"X6"X48"=1(P4POL)

2.POST - 14"X14"X72"=2(P4POL)

3.CAP - 14"X14"X8"=2(P5POL)

4.FOUNDATION COVER - 14"X14"X12"=2(P1BRP)

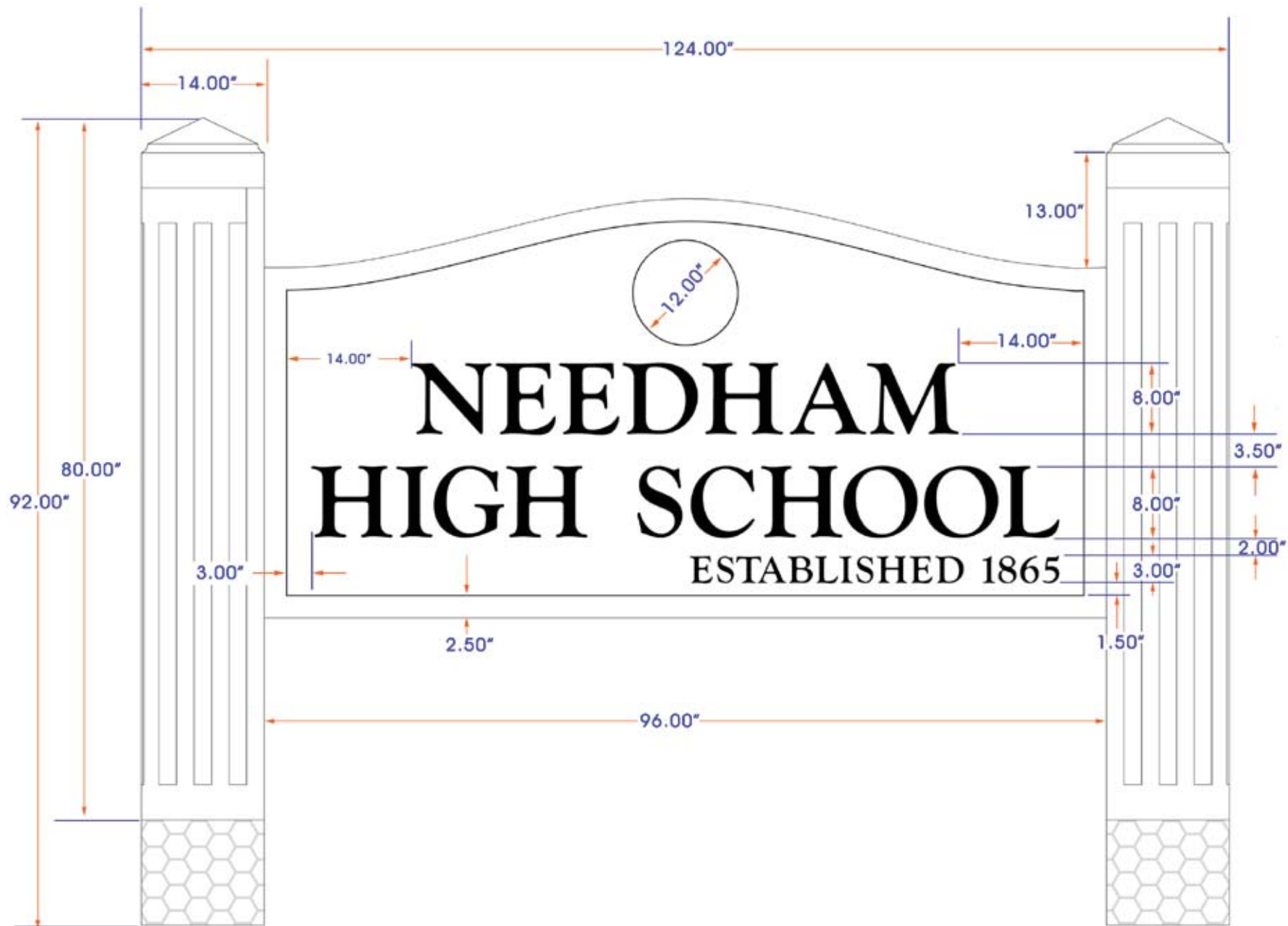
5.INSERT - 2"X6"X9" - 2(P1SWN)



NEEDHAM HIGH SCHOOL NAME SIGN - LARGE
LINE DRAWING



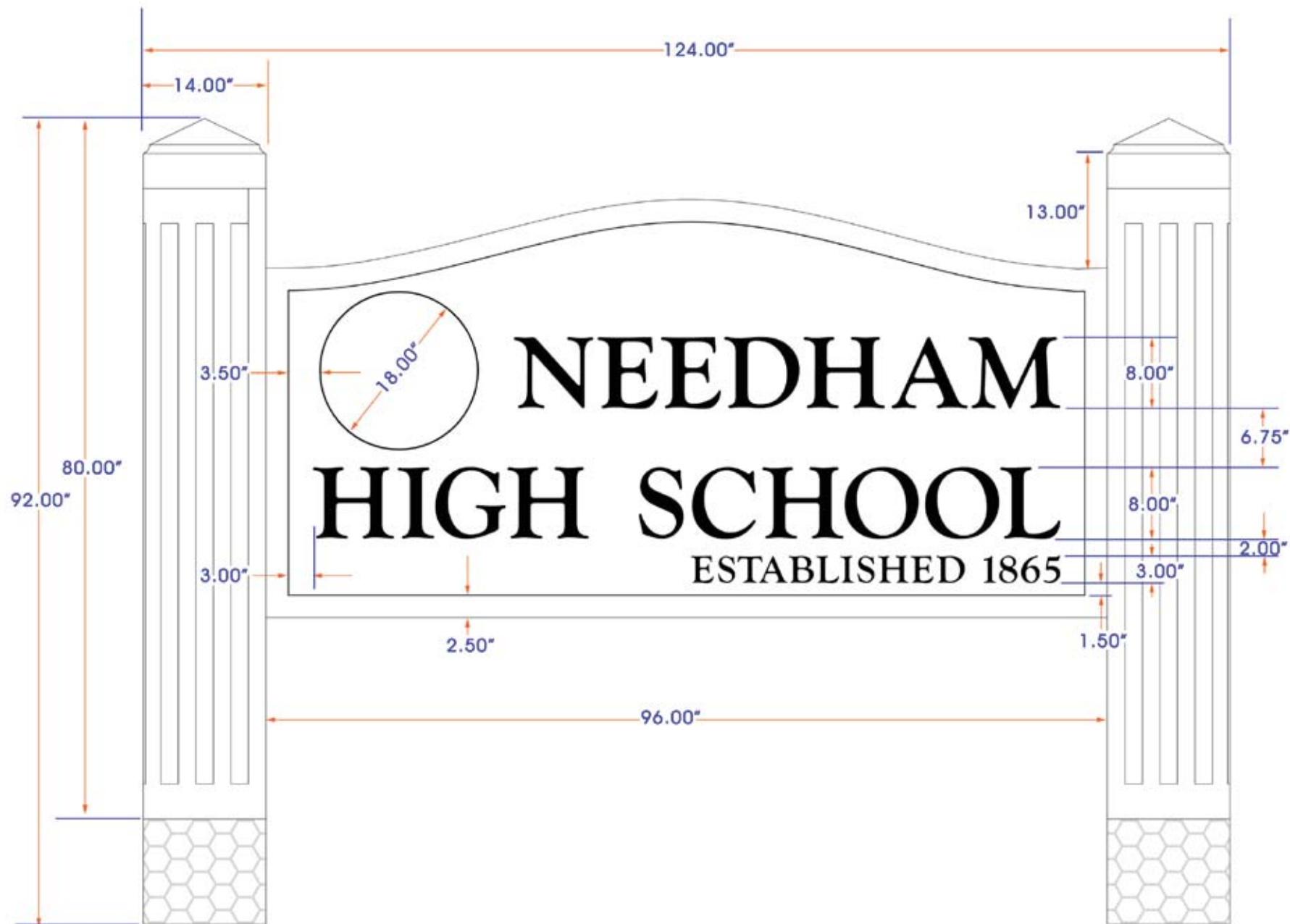
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Elberton GA 30635
(800)-300-8025



NEEDHAM HIGH SCHOOL NAME SIGN - LARGE
OPTION -1 - LETTERING DETAIL



Monument Warehouse
1551 Mineral Springs Rd
Elberton GA 30635
(800)-300-8025



NEEDHAM HIGH SCHOOL NAME SIGN - LARGE
OPTION -2 - LETTERING DETAIL



Monument Warehouse
1551 Mineral Springs Rd
Elberton GA 30635
(800)-300-8025

Scale 1" = 10'

WEBSTER

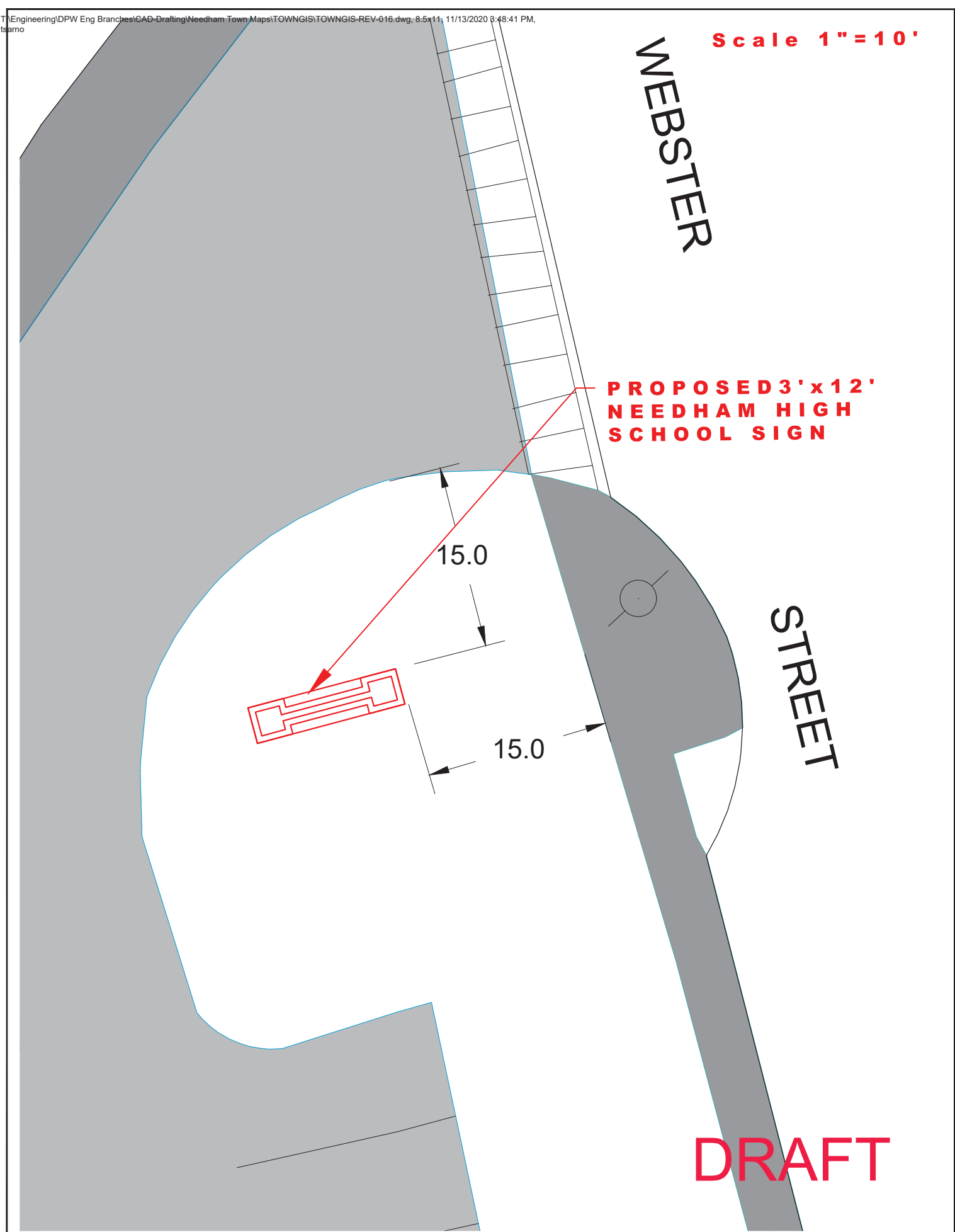
PROPOSED 3'x12'
NEEDHAM HIGH
SCHOOL SIGN

15.0

15.0

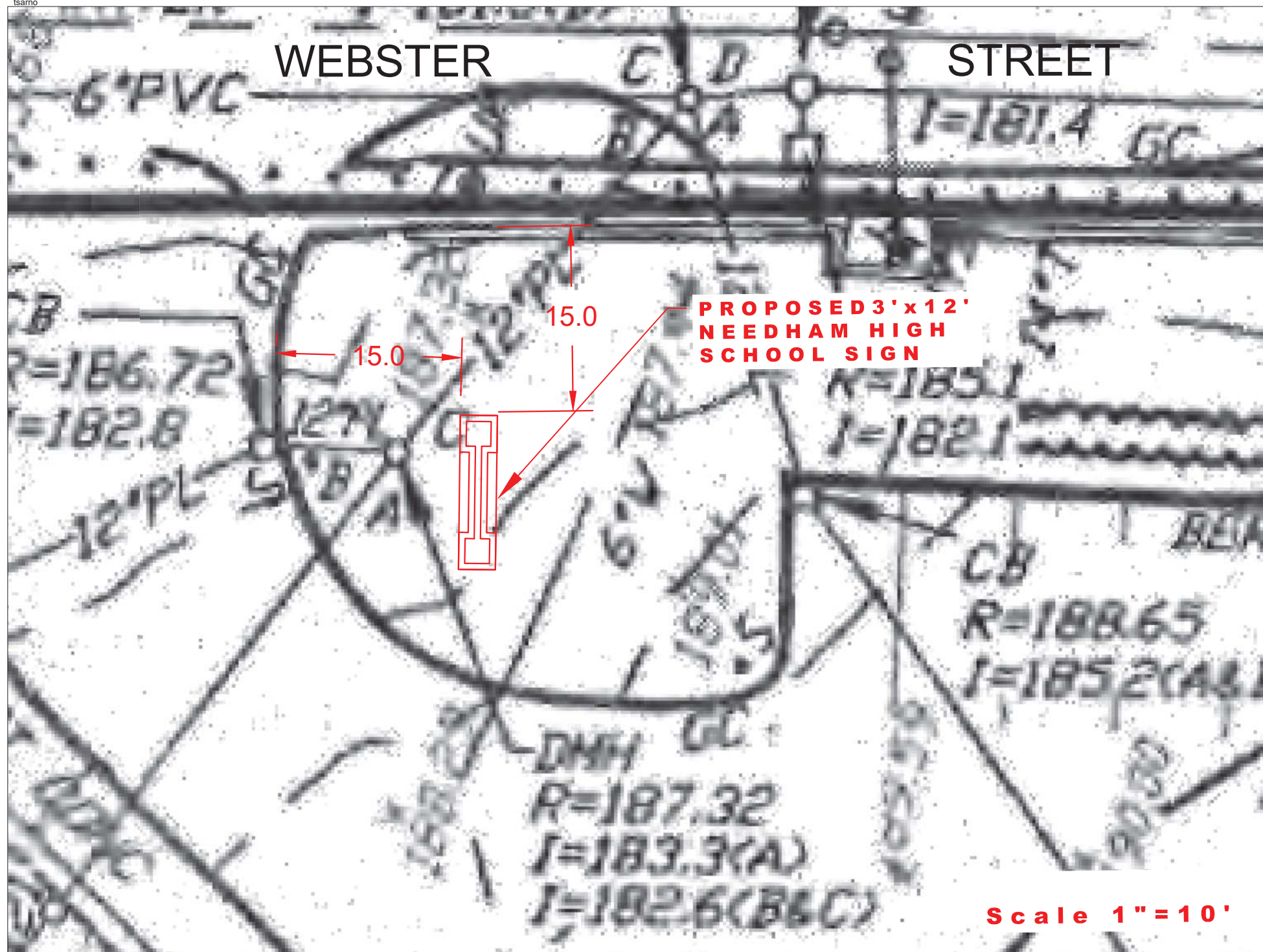
STREET

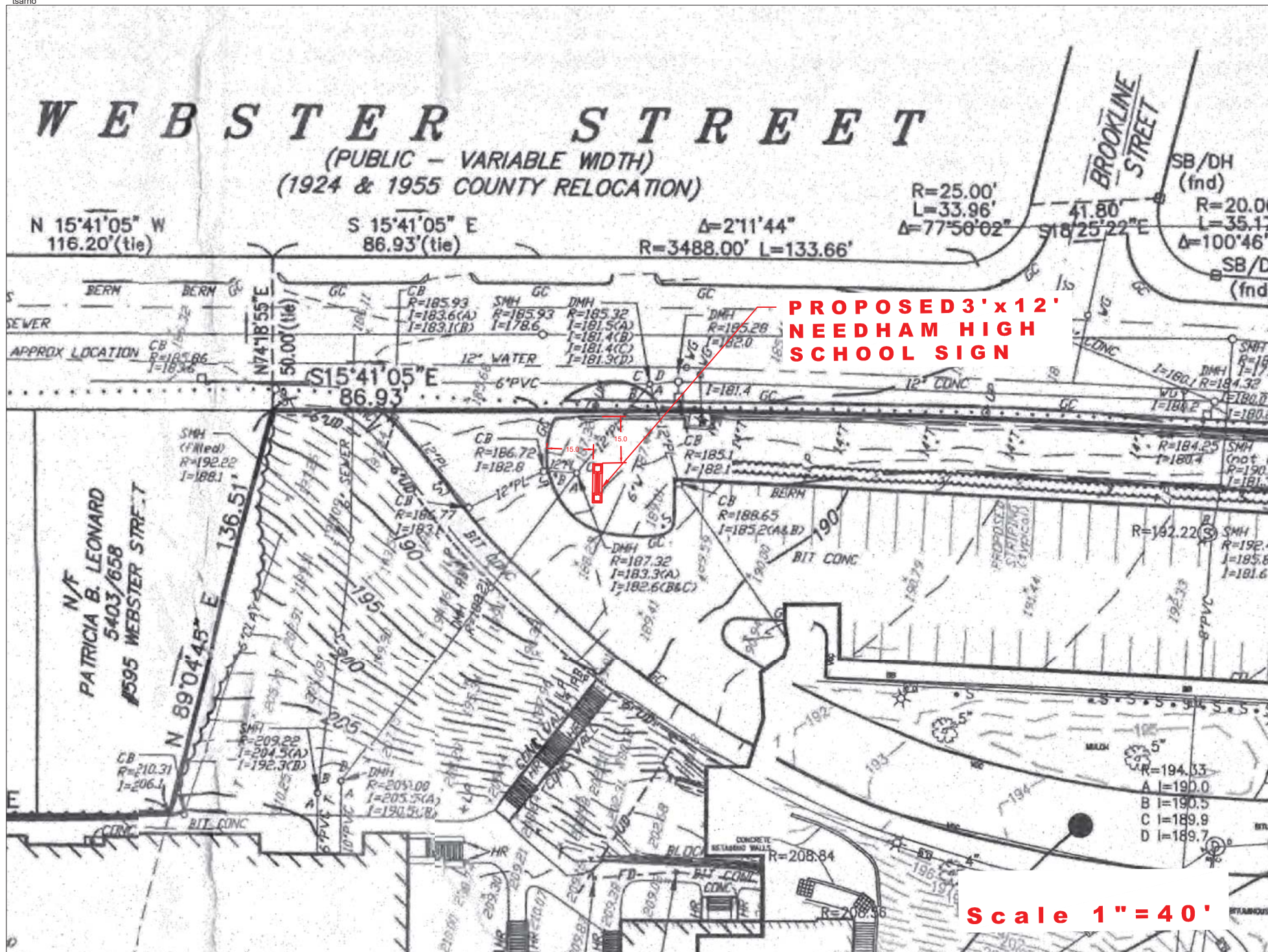
DRAFT



WEBSTER

STREET





location of smaller sign



location of larger sign

Part 2 - SCOPE OF WORK

SCOPE OF WORK

The vendor shall furnish and install two granite signs for Needham High School (609 Webster Street, Needham).

Both signs shall:

- Be made out a light grey granite material
- Have letters engraved in black
- Include posts on both side to support the weight of the sign in a matching grey granite
- Be installed according to code

Prior to fabrication of signs, a proof will be provided to the School Department for review and approval.

One sign shall be installed on Webster Street. It is to be 8' x 4' with the below engraved in Rockwell Extra Bold font or equivalent on both sides of the sign:

- Centered with the letters 8" in height:
Needham
High School
- Right justified at the bottom of the sign with the letters 3" in height:
Established 1865

One sign shall be installed on Admiral Gracey Blvd. It is to be 4' x 2' with the below engraved in Baskerville Old Face or equivalent on one side of the sign:

- Centered with the letters 4" in height:
Needham
- Centered with the letters 4" in height:
High School
- Right Justified with the letters 1 1/2" in height:
Main Entrance

The vendor will be responsible for reseeding the area around the installation of the signs. All work is to be done between 8:15am and 2:15pm Monday through Friday.



TOWN OF NEEDHAM

DESIGN REVIEW BOARD

Public Service Administration Building

500 Dedham Avenue

Needham, MA 02492

Application and Report

Location: 1024 Great Plain Avenue Date: March 31, 2021

Owner: Sullivan and Company

Address: 78 Hancock Street Suite 12 Braintree MA 02184
Street City State Zip

Telephone: 781-849-1090

Applicant: Proud Mary - Karen Loughery, Eileen Baker

Address: 1024 Great Plain Avenue Needham, MA 02492
Street City State Zip

Telephone: 347-266-3484 Karen Loughery

Designer/Installer: Fastsigns

Address: 15 Kearney Road Needham MA 02494
Street City State Zip

Telephone: 781-444-4889

Type of Application
☒ Sign
☐ Minor Project
☐ Exterior Alterations
Major Project
☐ - preliminary
☐ - final
☐ Flexible Subdivision
☐ Planned Residential Development
☐ Residential Compound

Brief description of sign or project:

Silver Aluminum Bar Frame - Aluminum 040 Inset Panel with Vinyl Graphics, Aluminum 040
back panels with color change



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Primary Signage



Silver Aluminum Bar Frame with Alu 040 Insert with UV Gloss Laminated Vinyl Lettering

 PMS 7543 C  PMS Cool Gray 5 C

 White

Proud Mary

Aluminum Barframe Sign

1024 Great Plain Avenue

Needham, MA 02492

Logo Height = 13.28in

Proud "P" Height = 5.9in

Mary "M" Height = 11.6in

Life "L" Height = 1.72in

Sign Height = 24in

Sign Width = 96in

Square Footage Each = 16sq'

Primary Grade to ground = 138in



Existing Signage

*Graphics not to scale but are proportionate.



Proposed Signage

Grade 138" From Top of Sign to Ground

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Secondary Signage



Alu 040 with Vinyl Overlay with Matte Laminate (1x each, 2 total)



PMS 7543

Proud Mary
Aluminum with Printed Vinyl Overlay
1024 Great Plain Avenue
Needham, MA 02492

Sign 1 Height = 25in
 Sign 1 Width = 125in
 Square Footage Each = 21.7sq'
 Sign 2 Height = 25in
 Sign 2 Width = 228in
 Square Footage Each = 39.5sq'
 Primary Grade to ground = 138.5in



Existing Signage

*Graphics not to scale but are proportionate.



Proposed Signage

Grade 138.5in From Top of Sign to Ground

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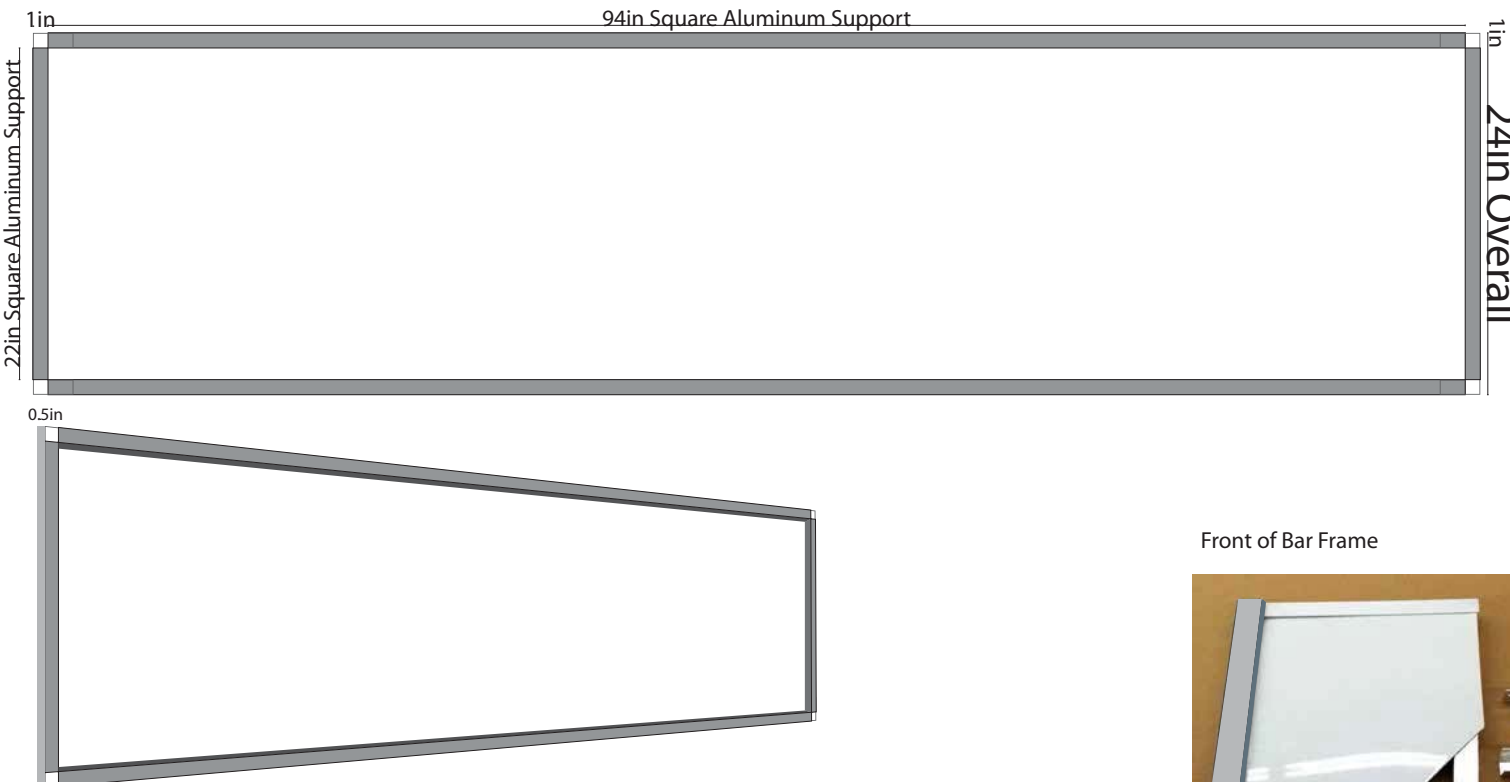
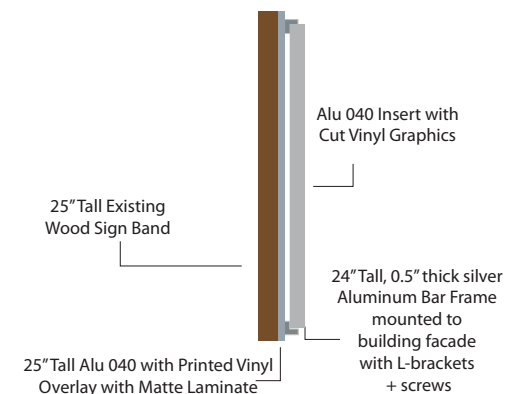


Primary Signage

*Proud Mary
Aluminum Barframe Sign
1024 Great Plain Avenue
Needham, MA 02492*

96in Aluminum Panel

Mounting Detail for Bar Frame



Front of Bar Frame



Back of Bar Frame



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Neighborhood View

Proud Mary
Aluminum Barframe Sign
1024 Great Plain Avenue
Needham, MA 02492

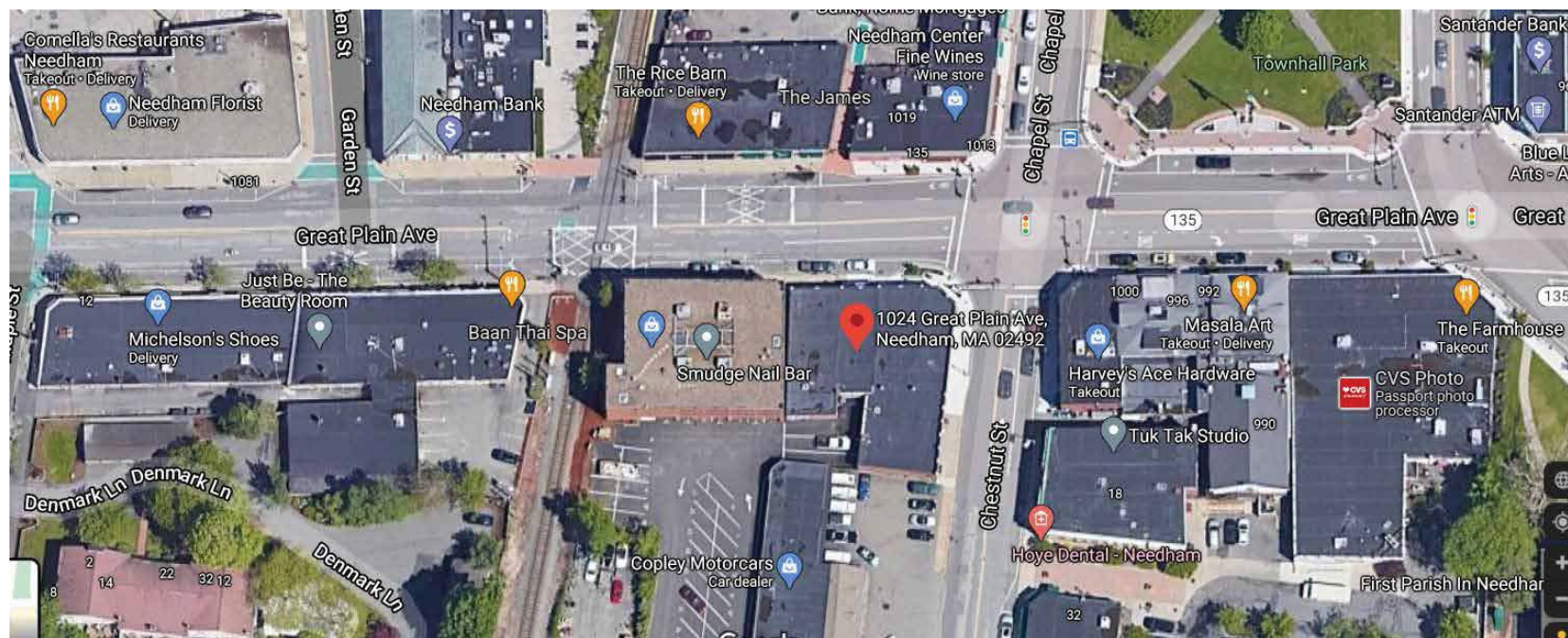


1024 Great Plain Avenue, Needham, MA 02492

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Aerial View

Proud Mary
Aluminum Barframe Sign
1024 Great Plain Avenue
Needham, MA 02492



1024 Great Plain Avenue, Needham, MA 02492

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TOWN OF NEEDHAM

DESIGN REVIEW BOARD

Public Service Administration Building
500 Dedham Avenue
Needham, MA 02492

Application and Report

Property Location: 68 Highland Ave Needham Heights, MA 02494 **Date:** 03/29/2021

Owner: F.W. Webb Company

Address: 160 Middlesex Turnpike Bedford MA 01730
Street City State Zip
Telephone: 781-272-6600

Applicant: F.W. Webb Company

Address: 160 Middlesex Turnpike Bedford MA 01730
Street City State Zip
Telephone: 781-272-6600

Designer/Installer: Green Leaf Construction - Jami Anderson - janderson@Greenleafcm.com

Address: 98 Adams St. Suite 105 Leominster MA 01453
Street City State Zip
Telephone: 978-793-3699

Type of Application
☐ Sign
☐ Minor Project
☒ Exterior Alterations
Major Project (Site Plan Review)
☐ - preliminary
☐ - final
☐ Flexible Subdivision
☐ Planned Residential Development
☐ Residential Compound

Brief description of sign or project:

Remove existing EIFS and roof features, install new siding, windows,
brick veneer, awnings, signage and roof feature. Paint the remaining

three exterior CMU walls to match the new siding that will face Highland Ave.

Please email completed application to elitchman@needhamma.gov



FWW. NEEDHAM

68 Highland Ave, Needham Heights, MA

Prepared for: GREEN LEAF CONSTRUCTION
Location: 98 ADAMS STREET SUITE 105 LEONWINSTER, MA 01453

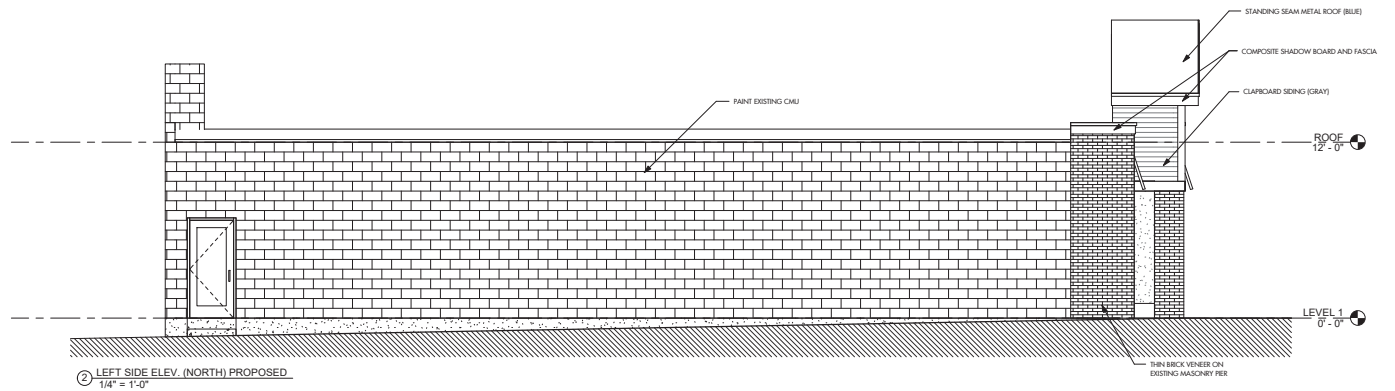
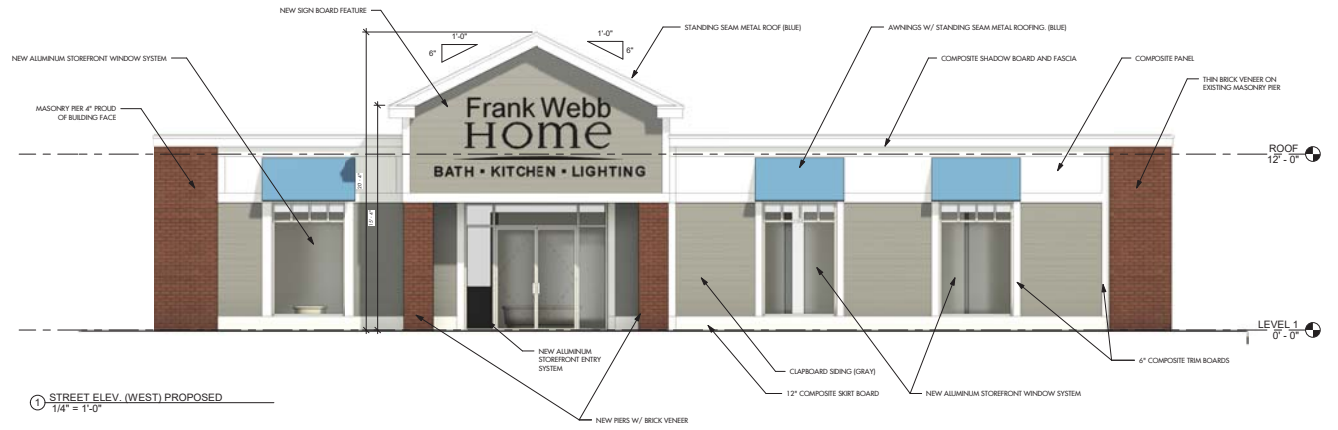
RENDERINGS

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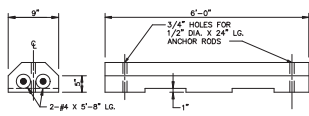
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	Revisions
Date	2021-03-15
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Job No.	210108
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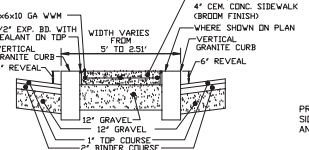


CONSTRUCTION NOTES

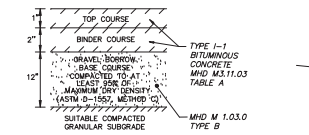
- UTILITIES SHOWN HAVE BEEN COMPILED BASED ON EXISTING PLANS AND RECORDS. ACCURACY, LOCATIONS AND COMPLETENESS IS NOT GUARANTEED TO BE CORRECT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE LOCATION AND ELEVATION OF ALL UTILITIES WHICH MAY AFFECT THE WORK. CALL, TOLL-FREE, THE DIG SAFE CALL CENTER AT 1-888-363-SAFE SEVENTY-TWO HOURS PRIOR TO EXCAVATION.
- ALL EXISTING UTILITY GATE BOXES, MANHOLE FRAMES AND COVERS, CATCH BASIN FRAMES AND GRATES AND OTHER CASTINGS TO BE RETAINED SHALL BE ADJUSTED TO LINE AND/OR GRADE. ANY WORK REQUIRED ON ELECTRIC, GAS, CABLE, T.V. OR TELEPHONE STRUCTURES AND LINES SHALL BE CARRIED OUT BY THE CONTRACTOR, WITH PROPER AUTHORIZATION FROM THE UTILITY COMPANIES.
- OPPOSITE CATCH BASINS DAMAGED OR FILLED WITH SEDIMENT OR DEBRIS DURING THE CONSTRUCTION PROCESS SHALL BE CLEANED, FLOURED AND/OR REPLACED AT THE CONTRACTOR'S EXPENSE AT THE CONCLUSION OF THE WORK. THE CONTRACTOR SHALL INSTALL IN EACH CATCH BASIN WITHIN 100' OF THE SITE FILTER FABRIC UNDER THE GRATE OF THE STRUCTURE OR A SILT SACK PRIOR TO EXCAVATION WORK.
- PUBLIC OR PRIVATE PROPERTIES, BEYOND THE WORK LIMITS, SUCH AS MAIL BOXES, LIGHT POLES, SIDEWALKS, SHRUBS, FENCES, STREET SIGNS, ETC. DAMAGED OR DISTURBED SHALL BE FIXED OR REPLACED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED BY THE ENGINEER.
- IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE ADJACENT TO EXISTING BITUMINOUS CONCRETE, THE VERTICAL FACE SHALL BE CLEANED AND COATED WITH BITUMEN FOR TACK COAT.
- BEFORE ANY DRAINAGE STRUCTURES ARE CONSTRUCTED OR CONNECTIONS ARE MADE, THE CONTRACTOR SHALL DETERMINE THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES AND DRAINAGE INVERTS TO AVOID CONFLICTS WITH UTILITIES, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- NO FILL CONTAINING HAZARDOUS MATERIAL SHALL BE USED ON THIS SITE. FILL SHALL BE CLEAN AND SHALL CONTAIN NO TRUNK, REFUSE, RUBBISH OR DEBRIS.
- ALL DEMOLITION ITEMS/DEBRIS WITHIN LIMIT OF WORK TO BE REMOVED, SHALL BE DISPOSED OF IN AN APPROVED LANDFILL.
- ALL NON PAVED DISTURBED AREAS TO BE 4" LOAM AND SEED.



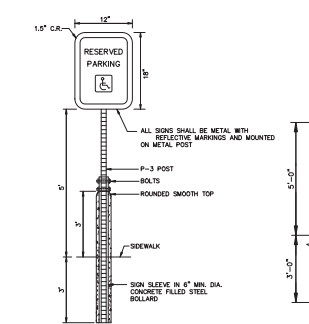
PRECAST CEMENT CONCRETE CURB STOP DETAIL
N.T.S.



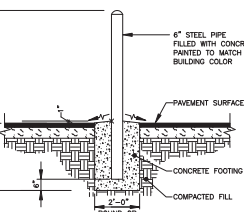
CEMENT CONCRETE SIDEWALK DETAIL
N.T.S.



BITUMINOUS CONCRETE PAVEMENT DETAIL
(20 YR DESIGN) N.T.S.

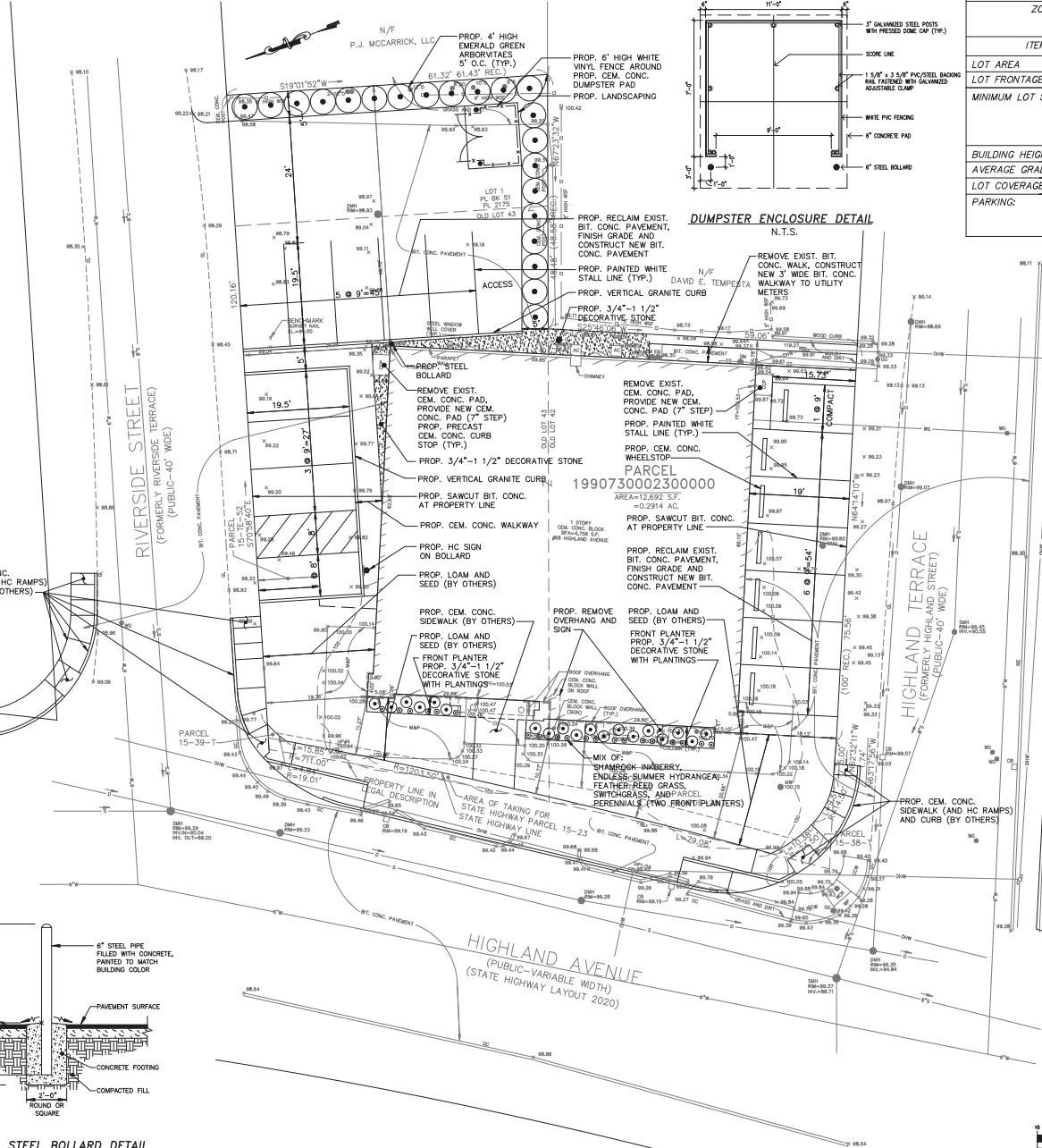


HANDICAP SIGN BOLLARD DETAIL
N.T.S.



TYPICAL STEEL BOLLARD DETAIL
N.T.S.

12/05/2019 12:05:00 PM 3/29/21



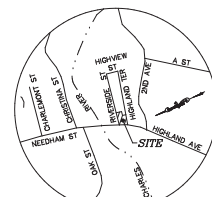
DIMENSIONAL AND DENSITY SUMMARY

ZONE DISTRICT: HIGHLAND COMMERCIAL 12B
USE: BATHROOM/PLUMBING SHOWROOM

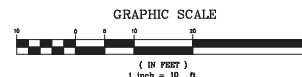
ITEM	REQUIRED	EXISTING	PROPOSED
LOT AREA	15,000 S.F.	12,692 S.F.	N/C
LOT FRONTAGE	100'	102.54'	N/C
MINIMUM LOT SETBACKS:			
FRONT	5'	10.77'	N/C
SIDE	10'	18.13/19.36'	N/C
REAR	10'	4.78'	N/C
BUILDING HEIGHT	54'	11.5'	N/C
AVERAGE GRADE	—	—	N/C
LOT COVERAGE	80%	62.53%	N/C
PARKING:	4,756 S.F. 300 S.F. =16 SP	17 REGULAR 1 HANDICAP	16

LEGEND

SB	STONE BOUND
CB	CATCH BASIN
CC	CULVERT
DMH	SEWER MANHOLE
DM	DRAIN MANHOLE
GM	GAS METER
EM	ELECTRIC METER
SG	GAS GATE
ICV	IRRIGATION CONTROL VALVE
MW	MONITORING WELL
OT	OAK TREE
8\"/>	
OH	OVERHEAD REE
W	WOOD STORAGE FENCE
D	CEAR FENCE
D	DRAIN PIPELINE
S	SEWER PIPELINE
W	WATER PIPELINE
C	CURB ELEVATION
BT	CONTIGUOUS CONCRETE PAVEMENT
SP	SPOT ELEVATION
EM CONC.	CONCRETE CONCRETE
FOUN	FOUND
EM (TP)	TYPICAL
N/O	NOW OR FORMERLY
M	MULCH AND PLANTINGS
AC	AIR CONDITIONER
CW	CEMENT CONCRETE WALK
P	PAVING PLATE
FW	WHEEL CHAIR RAMP
G	GUTTER LINE
C	CRANIT CURB
CC	CONCRETE CONCRETE PAD
PC	RECORD
C	CANAL
C	CANAL
PROPOSED	PROPOSED
EXIST.	EXISTING



VICINITY MAP
NOT TO SCALE



MERRIMACK ENGINEERING SERVICES
66 PARK STREET
ANDOVER, MASSACHUSETTS 01810
PHONE: (978) 276-3655 FAX: (978) 476-1448
EMAIL: MERRIMACK@MERRIMACK.COM



REVISIONS
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Sag Harbor Gray HC-95



Sag Harbor Gray
HC-95



		
 COLOR DETAIL	 SEE IN ROOM	 BUY SAMPLES & PAINT



Old Port Red Range



TOWN OF NEEDHAM

DESIGN REVIEW BOARD

Public Service Administration Building
500 Dedham Avenue
Needham, MA 02492

Application and Report

Property Location: 68 Highland Ave Needham Heights, MA 02494 **Date:** 03/29/2021

Owner: FW Webb Company

Address: 160 Middlesex Turnpike Bedford MA 01730
Street City State Zip
Telephone: 781-272-6600

Applicant: F.W. Webb Company

Address: 160 Middlesex Turnpike Bedford MA 01730
Street City State Zip
Telephone: 781-272-6600

Designer/Installer: Green Leaf Construction - Jami Anderson - janderson@Greenleafcm.com

Address: 98 Adams St. Suite 105 Leominster MA 01453
Street City State Zip
Telephone: 978-793-3699

Type of Application
☒ Sign
☐ Minor Project
☐ Exterior Alterations
Major Project (Site Plan Review)
☐ - preliminary
☐ - final
☐ Flexible Subdivision
☐ Planned Residential Development
☐ Residential Compound

Brief description of sign or project:

new Frank Webb Home branding on the front of the building

facing Highland Avenue

Please email completed application to elitchman@needhamma.gov

Proposed : Face Lit Black/White Channel Letters **All Mounted Flush to the Building Front**

Day Time View



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SALESMAN
Ed Spinney

CUSTOMER **Frank Webb Home / 68 Highlan Ave. Needham, Ma**

SCALE
AS SHOWN

APPROVED BY

DRAWN BY
EWS

DATE
3-28-21

Proposed : Face Lit Black/White Channel Letters
All Mounted Flush to the Building Front

Day Time View



Night Time View



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SignArt
INC.
60 SHARON ST. ▲ MALDEN, MA 02148 ▲ 781-322-3785
www.signartboston.com

SALES/INSTALLER
Ed Spinney

CUSTOMER **Frank Webb Home / 68 Highlan Ave. Needham, Ma**

DRAWN BY
EWS

DATE
3-28-21

SCALE
AS SHOWN

APPROVED BY

Proposed : Face Lit Black/White Channel Letters
All Mounted Flush to the Building Front

16.3" Frank Webb
21.3" Home
64.7"
8" BATH ■ KITCHEN ■ LIGHTING
14'9"

80.4 Sq. Ft.

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www.signartboston.com

SALESMAN
Ed Spinney

DRAWN BY
EWS

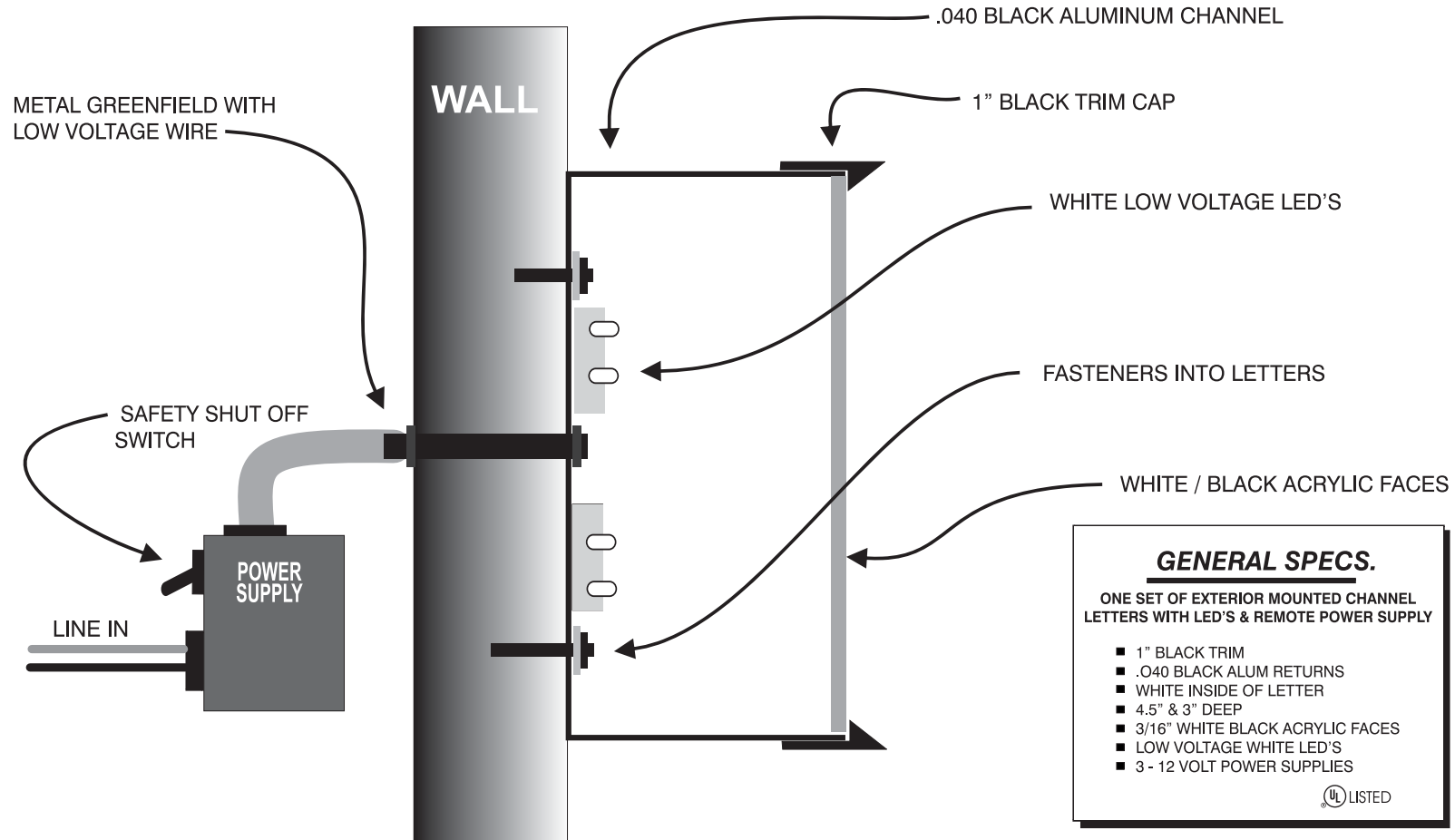
DATE
3-28-21

CUSTOMER **Frank Webb Home / 68 Highlan Ave. Needham, Ma**

SCALE
AS SHOWN

APPROVED BY

TYPICAL MOUNTING DIAGRAM FOR FACE LIT LETTERS LED LIT LETTERS



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SALESMAN
Ed Spinney

CUSTOMER **Frank Webb Home / 68 Highlan Ave. Needham, Ma**

SCALE
AS SHOWN

APPROVED BY

DRAWN BY
EWS

DATE
3-28-21



TOWN OF NEEDHAM

DESIGN REVIEW BOARD

Public Service Administration Building
500 Dedham Avenue
Needham, MA 02492

Application and Report

Property Location: 68 Highland Ave Needham Heights, MA 02494 **Date:** 03/29/2021

Owner: F.W. Webb Company

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Street City State Zip
Telephone: 781-272-6600

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Designer/Installer: Green Leaf Construction - Jami Anderson - janderson@Greenleafcm.com

Address: 98 Adams St. Suite 105 Leominster MA 01453
Street City State Zip
Telephone: 978-793-3699

<i>Type of Application</i>	
☐	Sign
☐	Minor Project
☒	Exterior Alterations <u>Awning</u>
Major Project (Site Plan Review)	
☐	- preliminary
☐	- final
☐	Flexible Subdivision
☐	Planned Residential Development
☐	Residential Compound

Brief description of sign or project: (3) Awnings at windows as a part of the overall facade renovation

Please email completed application to elitchman@needhamma.gov



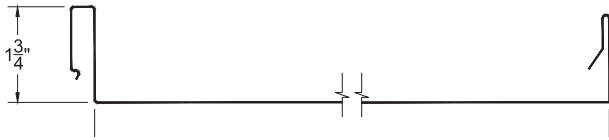
IDEAL APPLICATION RESIDENTIAL, INSTITUTIONAL & STRUCTURAL



WEATHER TIGHTNESS WARRANTY APPROVED!

The DMC 175S is distinctive for its broad width seam, impressive structural capabilities and easy Snap Lock installation. Featuring a 1-3/4" seam height, this continuous interlocking engineered roof system has a concealed fastener and clip application that allows thermal movement and requires no mechanical seaming to ensure weathertight integrity. The installation is simple and quick, yet it withstands extremely high design pressures and is approved for use on Weather Tightness Warranty projects.

DMC 175S PROFILE



AVAILABLE WIDTHS

12", 14", 16" or 18"

*Drexel Metals design pressures, wind uplifts and test reports are for specific deck attachments, material gauges, clip spacing and panel widths. A complete specification and listing is available online at www.drexelmetals.com

SUBSTRATES AVAILABLE

- Galvalume® - 22ga and 24ga
- Drexlume® - 24ga
- Aluminum - .032" and .040"



FINISHES AND PRODUCT WARRANTY:

Available in a variety of coatings and colors by Valspar. See the Drexel Metals color card for standard colors and paint specifications.

GALVALUME® SUBSTRATE - 35 YEAR WARRANTY

35 YEAR NON PRO-RATED PVDF PAINT WARRANTY
High-performance painted metal roofing product, carefully tensioned leveled for superior flatness.

ALUMINUM SUBSTRATE - 35 YEAR WARRANTY

35 YEAR NON PRO-RATED PVDF PAINT WARRANTY
High-performance painted metal roofing product, carefully tensioned leveled for superior flatness.

DREXLUME® SUBSTRATE - 25 YEAR WARRANTY

Mill finished Galvalume® with a two-sided, clear acrylic finish.

PRODUCTION OPTIONS

Factory made or field rolled to exact lengths
Optional: striation, beads, pencil ribs

INSTALLATION

Can be installed over **open frame steel purlins**, steel decking, steel decking with Polyiso or plywood decking.

SLOPE

Minimum slope 2:12

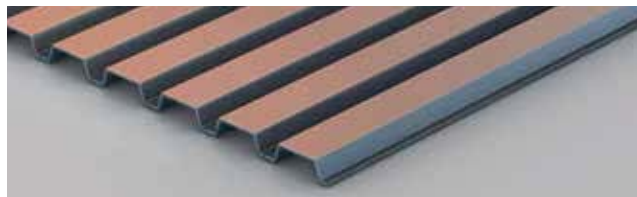
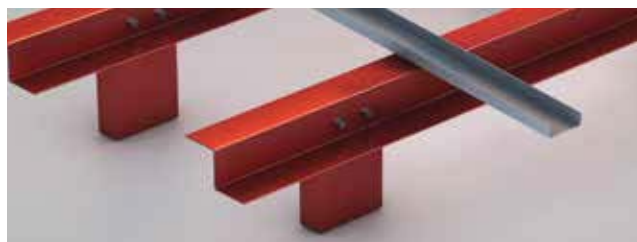
MINIMUM ROOF PITCH

1/2:12 - low roof pitch

ALLOWABLE UNIFORM: Deflection Ratio L/180

Inward load table - psf

Span	2.00	2.50	3.00	3.50	4.00	5.00	5.00
24 gax16"	251	201	145	108	83	66	53
24 gax18"	205	131	90	66	50	39	32



Testing in accordance with



TESTING

- UL 580 Wind Uplift (Class 90)
- TAS 125 Wind Uplift
- UL 1897 Extended Phase Wind Uplift
- UL 2218 Class 4 Hail Impact
- UL 790 Class A Fire Rating
- UL Environmental - SRI Third Party Verified

- ASTM E1646 Water Infiltration
- TAS 100 Wind Driven Rain
- ASTM E1680 Air Infiltration
- ASTM E1886 Missile Impact
- ASTM 2140 Static Pressure Water Head
- Miami-Dade County Approved
- Florida Building Code Approved
- Texas Department of Insurance Approval



Bone White
SR.67



Regal White
SR.70



Sandstone
SR.54



 Bright Silver
SR.54



Colonial Red
SR.26



Aged Copper
SR.41



Burgundy
SR.28



 Pre-weathered
Galvalume® SR.27



Pacific Blue
SR.29



Slate Blue
SR.35



Teal Blue
SR.28



 Champagne
SR.46



Patina Green
SR.32



Forest Green
SR.28



Island Blue
SR.35



 Metallic Copper
SR.37



Hartford Green
SR.25



Charcoal Gray
SR.25



Dove Gray
SR.38



 Brilliance Red
SR.38



Dark Bronze
SR.26



Sierra Tan
SR.37



Medium Bronze
SR.32



 Drexlume™
SR.68



Mansard Brown
SR.27



Matte Black
SR.26



Terra Cotta
SR.40



Deep Blue Sea
SR.26



Hemlock
SR.34



Slate Gray
SR.41



Buckskin
SR.25

 = Premium

 = Mill Finish

SR = Solar Reflectance









H

Frank Webb
Home

Frank Webb
Home
BATH, KITCHEN & LIGHTING

NOT A
THRU
STREET

Needham
Gateway Shops
Since 1960, we've been
helping you find the best
value in the area.
SUPER 8
HOME DEPOT
GEICO





TOWN OF NEEDHAM

DESIGN REVIEW BOARD

Public Service Administration Building
500 Dedham Avenue
Needham, MA 02492
Application and Report

Property Location: 1257 Highland Ave Date: 3/15/21

Owner: GROSSMAN G

Address: One Adams Place 859 Willard St Quincy MA 02169
Telephone: 617 472-2049 617-480-3380

Applicant: Melissa Galt

Address: 75 Newbury St Danvers MA 01923
Telephone: 978-810-1877

Designer/Installer: Sign monkey / matt

Address: www.signmonkey.com
Telephone: 857-544-9532 / matt 617-539-4242

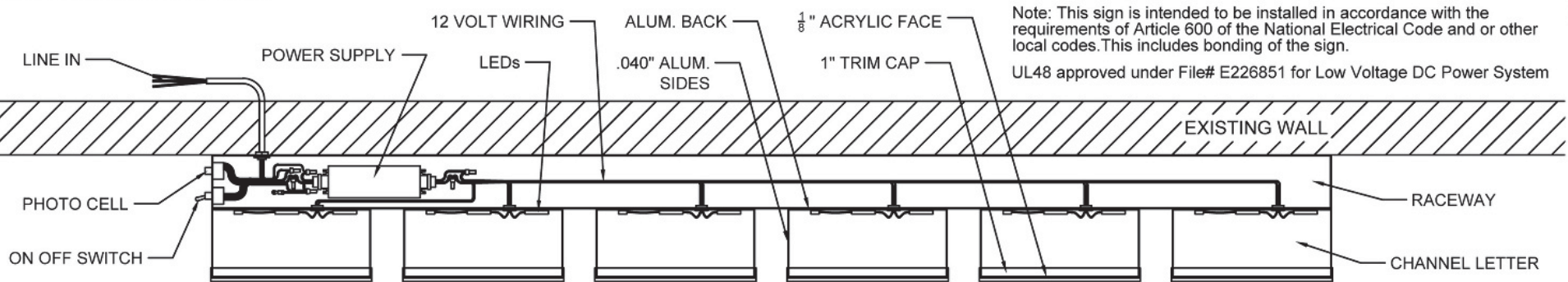
Type of Application
☒ Sign
☐ Minor Project
☐ Exterior Alterations
Major Project (Site Plan Review)
☐ - preliminary
☐ - final
☐ Flexible Subdivision
☐ Planned Residential Development
☐ Residential Compound

Brief description of sign or project:

Install 32 sq. ft. lit sign
(plans attached)

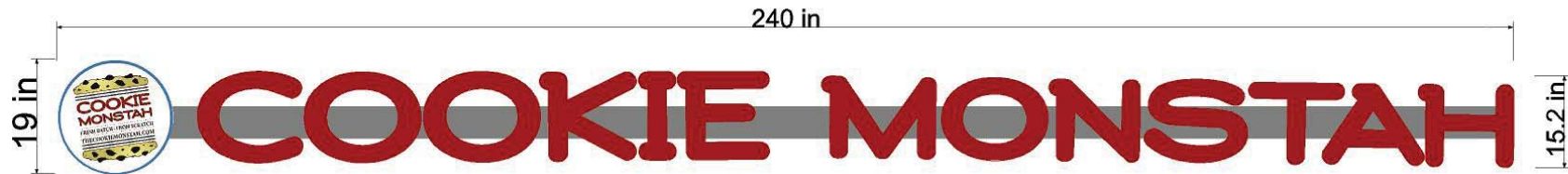
Please email completed application to elitchman@needhamma.gov

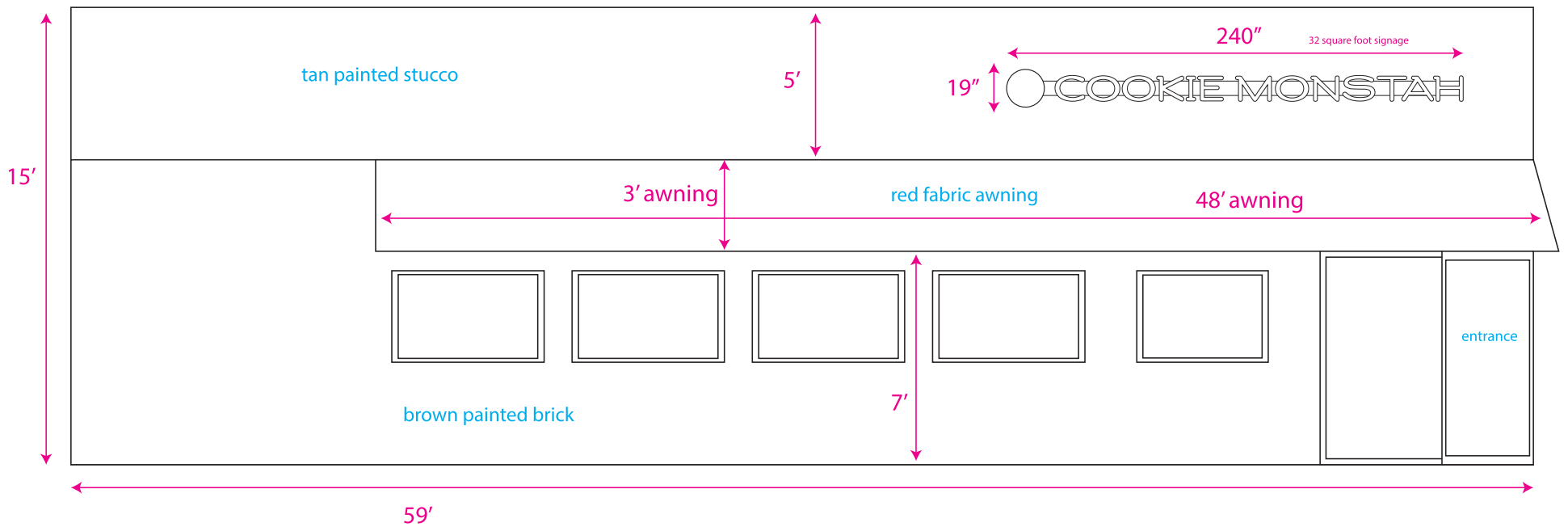
Installation Schematic



Installation Elevation Sign Size 19.00" H x 240.00" W, Total Sign 32 Square Feet

Estimated Electrical Load: 4 amps @ 120 volts





1257 Highland Ave. Needham, MA





TOWN OF NEEDHAM

DESIGN REVIEW BOARD

Public Service Administration Building
500 Dedham Avenue
Needham, MA 02492
Application and Report

Property Location: 1257 Highland Ave Date: 4/1/21

Owner: Grossman Co.

Address: One Adams Place 859 Willard St. Quincy MA 02169
Street City State Zip

Telephone: _____

Applicant: Melissa Gale / The Cooke Mowstah

Address: 75 Newbury St. Dorchester MA 01923
Street City State Zip

Telephone: 978-810-9877

Designer/Installer: Matt / Absolute Home Comfort

Address: 151 Veterans Rd. Winthrop MA 02152
Street City State Zip

Telephone: 617-539-9242

Type of Application
☐ Sign
☐ Minor Project
☐ Exterior Alterations
Major Project (Site Plan Review)
☐ - preliminary
☐ - final
☐ Flexible Subdivision
☐ Planned Residential Development
☐ Residential Compound

Brief description of sign or project:

Install Red pylon sign

Please email completed application to elitchman@needhamma.gov





TOWN OF NEEDHAM

DESIGN REVIEW BOARD

Public Service Administration Building
500 Dedham Avenue
Needham, MA 02492
Application and Report

Property Location: 1257 Highland Ave Date: 4/1/21

Owner: GROSSMAN Co.

Address: One Adams Place 859 Willard St. Quincy, MA 02169
Telephone: 617-472-2049

Applicant: Melissa Gale

Address: 75 Newbury St Danvers MA 01923
Telephone: 978-810-1877

Designer/Installer: Atlantic ANNING

Address: 270 Franklin St Melrose MA 02176
Telephone: 781-665-4040

COLOR: Sending Sample

Type of Application
☐ Sign
☐ Minor Project
☒ Exterior Alterations
Major Project (Site Plan Review)
☐ - preliminary
☐ - final
☐ Flexible Subdivision
☐ Planned Residential Development
☐ Residential Compound

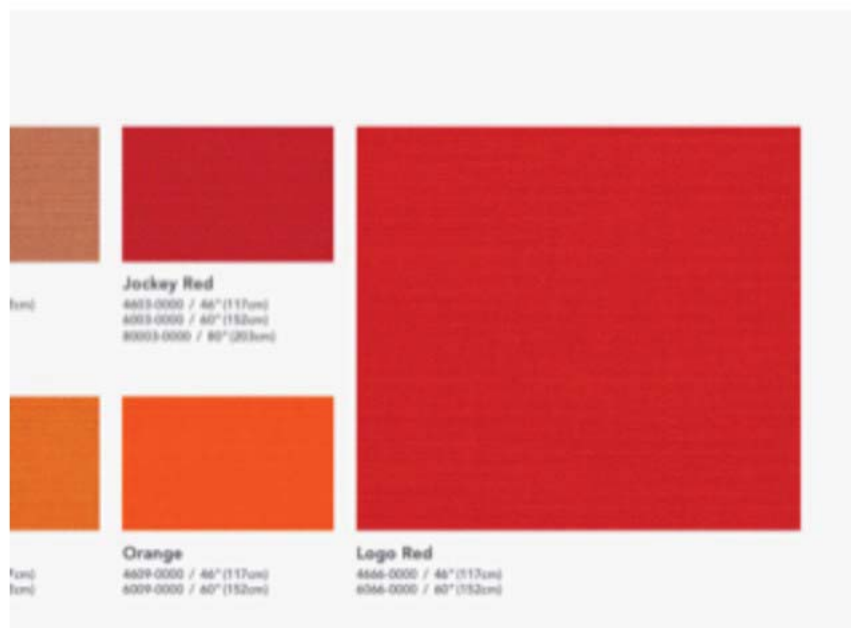
Brief description of sign or project:

Replace current awning color (not structure)

Green → Red

Please email completed application to elitchman@needhamma.gov

The Color will be either jockey red or logo red





Design Review Board Meeting Minutes
Monday, March 22, 2021
7:30 PM

Board Members:

Mark Gluesing, Chair (P)
Bob Dermody, Board Member (P)
Nelson Hammer, Board Member (P)
Len Karan, Board Member (P)
Deborah Robinson, Board Member (P)
Steve Tanner, Board Member (P)
Rana Mana-Doerfer, DRB Recording Secretary (P)
Elisa Litchman, Administrative Assistant, Planning & Community Development (P)

Applicants & Attendees:

1. Heather Dudko, National Sign Corp, representing Citizens Bank located at 968 Highland Avenue and applying for signage.
2. Jason Parillo, Poblocki Sign Company, representing IDG located at 140 Kendrick Street and applying for signage.
- Justin Caron of North Star.
3. Evans Huber, attorney with Frieze Cramer Rosen & Huber, LLP representing Needham Enterprises LLC applying for site plan review for 1688 Central Avenue.

Mr. Chair called the meeting to order on March 22, 2021 at 7:30 PM EST.

Mr. Chair notified attendees of new public meeting orders issued by the governor of Massachusetts.

Agenda Item 1:

National Sign Corp representing Citizens Bank located at 968 Highland Avenue and applying for signage. - Heather Dudko

Ms. Dudko proposed 4 new signs for Citizens Bank.

The first sign EO1 (located on Highland Avenue) they would like to remove the halo lit letters which are currently 24 square feet and replace it with 15 square foot halo lit letters on an aluminum backer. The backer will match the new trim color.

The second sign EO4 is on the right elevation facing Mellen St. There is an existing set of 24 square foot letters which will be removed and replaced with 15 square foot letters.

The third sign EO6 is a hanging box sign on the left or north elevation, and that is proposed to be replaced.

On the east elevation is where the 4th sign will go, which will be 15 square foot halo lit channel letters.

Ms. Dudko also wanted to discuss sign NO1 which is the non-illuminated sign proposed to go on the front elevation facing Highland Ave. The sign is at 64 square foot which is over the allowance and she was not sure if it would be allowed. She brought it before the Board to be reviewed.

Mr. Chair said after reviewing the packet they are essentially replacing the current signs in the same location. Ms. Dudko confirmed.

Mr. Tanner said he does not have a problem with the 4 signs proposed however he feels NO1 is not necessary.

Mr. Karan said he agrees with Mr. Tanner.

Mr. Dermody asked if the hanging sign exists currently. Ms. Dudko said yes. He feels that it is not readable if you are near it due to the scale of it. He is not opposed to it.

Ms. Robinson asked Ms. Dudko to confirm if the letters are the same height and the sign is smaller because of the elimination of current wording. Ms. Dudko said that is correct.

Mr. Hammer he would like to see the daisy graphic and the Citizens a bit smaller so there is a more negative space above and below the sign.

Mr. Chair asked Ms. Dudko whether the small grey band above the green is a metal canopy on the roof or a graphic element. Ms. Dudko said she is not sure, but she knows there are no changes to the bands. The Chair noted that a canopy exists on the existing condition photos.

Motion to approve the three signs on the canopy and the small projecting sign along the sidewalk as submitted by Mr. Hammer.

Motion was seconded by Ms. Robinson.

Name	Aye	Nay
Mark Gluesing	Aye	
Bob Dermody	Aye	
Nelson Hammer	Aye	
Len Karan	Aye	

Deborah Robinson	Aye
Steve Tanner	Aye

Motion to deny the 64 square foot wall graphic on west elevation NO1 by Mr. Dermody.

Motion was seconded by Mr. Tanner.

Name	Aye	Nay
Mark Gluesing	Aye	
Bob Dermody	Aye	
Nelson Hammer	Aye	
Len Karan	Aye	
Deborah Robinson	Aye	
Steve Tanner	Aye	

Agenda Item 2:

Boston Properties, representing IDG located at 140 Kendrick Street and applying for signage. - Jason Parillo, Poblocki Sign Company and Justin Caron, North Star

Mr. Parillo came before the Board applying for two wall signs, Sign A1 is on the roof of the building facing the highway. It is a 3 foot 8 inch by 14 foot 8 inch set of illuminated channel letters. It is flush mounted on a 6 foot 5 inch aluminum panel attached to the mechanical screen.

The other sign A2 is 53 inches high by 126 inches wide. It will have the IDG face-lit letters and underneath it will have the tagline which is the "International Data Group". This sign is located on one of the buildings facing internally on the site.

The Board decided to begin by discussing sign A2. Mr. Tanner said the building sign (A2) is very tight vertically, there is no room or white space. It might be better to eliminate the tagline letters on the bottom or make it smaller.

Mr. Caron said that IDG is very particular about how their logo appears, and the tagline usually travels with the logo.

Mr. Chair asked what the overall sign area is. Mr. Parillo said A1 is 53.7 square feet and A2 is 46.42 square feet.

Mr. Dermody said he agrees with Mr. Tanner, the negative space is a little tight, and should be shrunk overall to create more clearance. If the tagline needs to be kept the whole sign should be reduced.

Mr. Hammer said he agrees with his colleagues it should be reduced. However, if reduced proportionally the letters on the bottom may be too small. Perhaps if they could rearrange the initials and the graphics but the words be kept the same size.

Mr. Karan said he agreed with Mr. Hammer and asked if there is some way to creatively reduce the initials and keep the lettering the same size.

Mr. Chair asked if they would be able to adjust the logo and the IDG, remembering that this sign is located in a courtyard. Mr. Caron said it is possible, but he would have to confer with IDG.

Mr. Parillo then described sign A1. They propose to install this sign where the PTC sign previously was located, centered on the screen that's available. Mr. Dermody commented that it's not advisable to have a tag line while viewed by cars on the highway who will be driving at 65mph. The purpose of this sign is different from the courtyard sign.

Ms. Robinson added that there needs to be more negative space around the "IDG" so removing the tagline will allow for more space.

Mr. Tanner agreed with Mr. Dermody that the tagline should be removed which is jammed in. The sizes seem to be haphazard and it detracts from the "IDG".

Mr. Hammer also agreed with removal of the tagline. He suggested that the letters IDG might look stronger in solid black and not have the grey outline. Mr. Parillo explained that it is a face lit sign appearing black in daylight and illuminates white at night.

Mr. Tanner asked if there will be a film used. Mr. Parillo confirmed that they can use the film.

Motion to approve A1 sign with the condition to remove IDG tag line and recenter IDG logo in the panel they are proposing to mount onto the mechanical screen by Mr. Dermody.

Motion was seconded by Mr. Hammer.

Name	Aye	Nay
Mark Gluesing	Aye	
Bob Dermody	Aye	
Nelson Hammer	Aye	
Len Karan	Aye	
Deborah Robinson	Aye	
Steve Tanner	Aye	

Motion to approve A2 sign with the condition that they shrink IDG letters & logo as submitted, but that the upper line be reduced to 30 inches, and they have the option to reduce the whole overall sign to 47 inches by Mr. Hammer.

Motion was seconded by Mr. Karan.

Name	Aye	Nay
Mark Gluesing	Aye	
Bob Dermody	Aye	
Nelson Hammer	Aye	
Len Karan	Aye	
Deborah Robinson	Aye	
Steve Tanner	Aye	

Agenda Item 3:

Needham Enterprises LLC owner of property at 1688 Central Avenue and applying for site plan review - Evans Huber, attorney with Frieze Cramer Rosen & Huber, LLP

Mr. Gluesing recused himself from the meeting at this time due to a conflict of interest. Ms. Robinson assumed Chair position for the remaining portion of the meeting.

Mr. Huber came before the Board for site plan review of the proposed project at 1688 Central Avenue.

The existing building is to be demolished and the existing barn is to be kept. A new structure is proposed to be constructed in place of the razed building. Mr. Huber went over the driveway's location as it will open on Central Avenue. There will be a turnaround area further into the property to avoid activity along Central Avenue.

On the north side of the property white pines will be planted to provide screening between the parking area and the Temple next door, there will also be decorative flowering crab apple trees, and some azaleas planted at the internal parking area. The installation of four light poles as required by the Town for the minimum amount of lighting are also proposed. There will be no accent lights, there will be a light at the entrance of building itself. The structure will have a residential look with a low roof. The tallest element of the structure is to the rear of building away from Central Avenue. The siding material will be a mixture of different textures including Hardie board, a manufacturer of cladding, and board and batten siding.

Ms. Robinson asked Mr. Huber to go over the barn building. Mr. Huber said the barn building will remain, next to it will be the parking area, and there will also be a lawn and playground area.

Mr. Dermody asked if they could use a different color than white for the six-foot white vinyl fence. There is no other white in this project, and he is worried it will be stick out. Mr. Nelson said they do make fences in tan, white and gray. Mr. Dermody said he would prefer a tan color to be used.

Mr. Dermody asked how will the new building relate to the existing building, will it be renovated or rehabbed in any way? Mr. Huber said the barn is not going to be in use as part of this project. It might be used for storage but will not be used for a childcare function.

Mr. Hammer wanted to clarify the purpose of the screen on the north side of the white pines is to screen the building from the temple. Mr. Huber said that was the purpose. Mr. Hammer said the white pines they want to put into the ground will grow to be about 10 to 12 feet high and 6 feet wide, are fast-growing trees but they are not going to form a screen for at least 5 or 6 years or more. Mr. Hammer suggested using several different species to create a more interesting line of trees and for them to be staggered to provide some interest since there is room for that. The same comment goes for the white pines on the south side of the building. Two, three or even more species should be used to create texture, add color and height to the property. The arborvitae trees are well used. The front (west elevation) would benefit from foundation planting.

Mr. Hammer pointed out the legacy maples to be planted along the sidewalk east of the new building have crowns that are 4' or 5' off the ground and will interfere with walking along the sidewalk. Mr. Hammer suggested using a three- or four-inch caliper tree so that people can walk under them, or plant them 10 feet further south which will be better for that location.

Mr. Hammer asked about the light poles and how far apart they are. Mr. Huber stated that they are 20 feet high and approximately 130' apart. Mr. Hammer stated they are too far apart to cover such a large area. The fixtures would have to be 24' tall. He recommended four lights and that they be lower in height not to adversely affect the temple. Mr. Huber said the lights will only be in use during weekdays and not on the weekends. The lights will be off on the weekends and after the facility closes for the day. Mr. Hammer asked if the lights would be on for security after hours. He is concerned about there not being any lighting at the entrance, buildings by code have to have lighting. Mr. Huber stated that there is recessed lighting at the entrance.

Ms. Robinson asked why the building is so much closer to the street than the other buildings in the area. Mr. Huber said the placement of the building was due to the need to have adequate space for a turnaround driveway for pick up and drop-off activities.

Ms. Robinson and Mr. Dermody discussed the elevation of the building, as well as the tall peak on the Central Avenue side. Ms. Robinson said the elevation on Central Avenue is important because it is visible to the public. She suggested that it could use more development, so it is not such a flat façade. Mr. Huber said because of the truss roof there are limitations on the structure, but they can install bay windows which will add more interest to the building. Ms. Robinson said that the building needs more residential scale pieces like an overhang, change in the massing, projecting windows, or adjusting the roofline to make it look more residential.

Mr. Dermody asked how far is the building set back. Mr. Huber said 40 feet. Mr. Dermody asked if there were any consideration to set it further back and use some of the lawn space. Mr. Huber said he does not know if that was ever considered.

Mr. Dermody also mentioned that the area for the dumpster enclosure on the parking plan and site plan show a discrepancy. They both need to include the "key" so that the adjacent parked car can pull in and out.

While typically the Design Review Board does not allow public comments on the Site Plan Reviews there were attendees on the zoom meeting who had their hands up. Ms. Robinson allowed them to speak as she was Chairing this portion of the meeting.

Three attendees spoke who all shared similar concerns regarding this project and its impact on the neighborhood traffic, as well as the overall look of the building and how it impacts neighboring properties. Matthew and Nicole Heideman of 1708 Central Ave (direct abutters) and Ms. Holly Clark.

Mr. Huber said these concerns are like ones raised at a neighborhood meeting held by his client. They are aware of these concerns and will do what is feasible to address them. Mr. Huber said these concerns should be brought forth at the Planning Board meeting for the site plan review, as it is their right to bring these issues up.

Ms. Robinson informed Mr. Huber she will write a report and submit the DRB comments to the Planning Board. No vote is required on comments to Planning Board Site Plan Review.

Name	Aye	Nay
Mark Gluesing	Left meeting	
Bob Dermody		
Nelson Hammer		

Len Karan	
Deborah Robinson	
Steve Tanner	

Motion to Adjourn:

Motion to adjourn the Design Review Board meeting by Mr. Dermody.

Motion was seconded by Mr. Hammer.

Meeting adjourned at 8:59

Name	Aye	Nay
Mark Gluesing	Not present	
Bob Dermody	Aye	
Nelson Hammer	Aye	
Len Karan	Aye	
Deborah Robinson	Aye	
Steve Tanner	Aye	

Future Meetings:

April 12, 2021	Via Zoom
May 3, 2021	Via Zoom
May 24, 2021	Via Zoom
June 7, 2021	Via Zoom
June 28, 2021	Via Zoom