

TOWN OF NEEDHAM
MASSACHUSETTS



Room 20, Town Hall
Needham, MA 02492
781-455-7526

PLANNING BOARD

APPLICATION FOR SITE PLAN REVIEW

Project Determination: (circle one) Major Project Minor Project

This application must be completed, signed, and submitted with the filing fee by the applicant or his representative in accordance with the Planning Board's Rules as adopted under its jurisdiction as a Special Permit Granting Authority. Section 7.4 of the By-Laws.

Location of Property 400 Hunnewell Street, Needham, MA 02494,
Name of Applicant Hunnewell Needham, LLC
Applicant's Address 393 South Main Street, Cohasset, MA 02025
Phone Number 617-460-0099 - Elisha Long, Manager

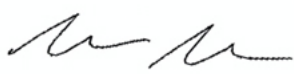
Applicant is: Owner X Tenant _____
 Agent/Attorney _____ Purchaser _____

Property Owner's Name Same as above
Property Owner's Address Same as Above
Telephone Number Same as above

Characteristics of Property: Lot Area 20,123 SF Present Use Office
 Map # 99 Parcel # 3 Zoning District Hillside Avnue Business (HAB)

Description of Project for Site Plan Review under Section 7.4 of the Zoning By-Law:

Demolition of existing two story commercial building and construction of a new multifamily, residential dwelling, containing a total of eight units, with an underground parking garage and associated surface parking and driveway; as described at Addendum A attached hereto and the plans sbumitted herewith, all of which are hereby incorporated herein.



Signature of Applicant (or representative) _____
Address if not applicant George Giunta, Jr., Esq., 281 Chestnut Street, Needam, MA 02492
Telephone # 781-449-4520
Owner's permission if other than applicant See Authorization Provided Herewith

SUMMARY OF PLANNING BOARD ACTION

Received by Planning Board _____ Date _____
Hearing Date _____ Parties of Interest Notified of Public Hearing _____
Decision Required by _____ Decision/Notices of Decision sent _____
Granted _____
Denied _____ Fee Paid _____ Fee Waived _____
Withdrawn _____

NOTE: Reports on Minor Projects must be issues within 35 days of filing date.

ADDENDUM A
TO
APPLICATION FOR SITE PLAN REVIEW
OF
Hunnewell Needham, LLC
400 Hunnewell Street
Needham, Massachusetts

The following relief is or may be required, and is hereby requested:

1. Pursuant to the criteria of Section 7.4.2 of the By-Law, the proposed redevelopment of the Premises constitutes a “major project” and therefore requires Major Project Site Plan Review and the issuance of a special permit pursuant thereto.
2. In addition, the following relief is, or may be required:
 - a. Issuance of a Special Permit pursuant to Section 1.4.6 for the change and extension of a lawful, pre-existing, non-conforming use, and the alteration, enlargement and reconstruction of a lawful, pre-existing, non-conforming structure;
 - b. Issuance of a Special Permit pursuant to Section 3.2.2 for apartment or multi-family dwelling in the Hillside Avenue Business District;
 - c. Issuance of a Special Permit pursuant to Section 4.4.2 exempting the basement level underground parking from inclusion in the floor area calculation;
 - d. Issuance of a Special Permit pursuant to Section 5.1.1.5 waving strict adherence with the parking design requirements of Section 5.1.3 of the Zoning By-law;
 - e. Waiver of strict compliance with the following requirements of Section 7.4.4, to the extent necessary and applicable:
 1. Requirement of subparagraph (b) concerning location of structures within 100 feet of property line;
 2. Requirements of subparagraph (d) concerning building elevation as related to the existing portions of the building not effected by the proposed addition;
 3. Requirements of subparagraph (l) concerning lighting;
 4. Requirements of subparagraph (m) concerning loading and unloading facilities;
 5. Requirements of subparagraph (n) concerning provisions for refuse removal;
 - and
 3. Requirements of subparagraph (o) concerning projected traffic volume.
 - f. Any and all additional relief required or appropriate for the redevelopment of the Premises for residential use and the construction of the proposed new multifamily building with underground parking.

3. The Applicant requests that any and all relief granted by the Board in connection with the within application shall run with the land and that the movement, change and alteration of interior layout, including, without limitation, walls and interior fixtures, not require any further review, provided the total useable square footage of the building and the total number of residential units remains fixed.

Hunnewell Needham, LLC
393 South Main Street
Cohasset, MA 02025

November 5, 2020

Lee Newman
Planning Director
Town of Needham
Planning Board
Town Hall
Needham, Massachusetts 02492

Re: Site Plan Application
Hunnewell Needham, LLC
400 Hunnewell Street, Needham, MA

Dear Mrs. Newman,

Please accept this letter as confirmation that George Giunta, Jr., Esquire, is authorized to make application for Site Plan Approval and any and all other zoning, planning, general by-law and other relief that may be required or appropriate in connection with the redevelopment of the property known and numbered 400 Hunnewell Street. In connection therewith, Attorney Giunta is hereby authorized, to execute, sign, deliver and receive all necessary documentation related thereto, including, without limitation, Application for Site Plan Review.

Hunnewell Needham, LLC

A handwritten signature in black ink, appearing to read 'Elisha Long', with a stylized flourish at the end.

By Elisha Long
Manager, duly authorized

GEORGE GIUNTA, JR.
ATTORNEY AT LAW*
281 Chestnut Street
Needham, MASSACHUSETTS 02492
*Also admitted in Maryland

TELEPHONE (781) 449-4520

FAX (781) 465-6059

November 5, 2020

Planning Department
Town of Needham
Public Services Administration Building
500 Dedham Avenue
Needham, MA 02492

Re: Application for Zoning Relief
Hunnewell Needham, LLC
400 Hunnewell Street, Needham, MA

Dear Lee,

Please be advised that I represent Hunnewell Needham, LLC (hereinafter, the “Applicant”) relative to the property known and numbered 400 Hunnewell Street (the “Premises”). In connection therewith, submitted herewith, in electronic format pursuant to Covid-19 filing procedures, please find the following (with the exception of item 5, which is submitted in hard copy only):

1. Complete Site Plan Review Application with Addendum;
2. Authorization letter;
3. Architectural Plans titled “400 Hunnewell, Needham, MA, Permit Set – Nov 05, 2020”, prepared by Duckham Architecture & Interiors, consisting of 7 sheets, as follows: Sheet 1, cover sheet 2, A.B.1, “Lower Level Garage Plan”; Sheet 3, A.1.1 “1st Floor Plan”; Sheet 4, A.1.2, “2nd Floor Plan”; Sheet 5, A.1.3 “Roof Plan”; Sheet 6, A201 “Proposed South Elevation”; and Sheet 7, A202 “Proposed South Elevation”.
4. Site Plan for 400 Hunnewell Street, Needham, Massachusetts 02494”, consisting of 8 sheets, as follows: Sheet 1, “Cover Sheet”, dated November 2, 2020; Sheet 2, “Existing Conditions Plan of Land”, dated March 5, 2020, revised April 6, 2020 and November 5, 2020, prepared by Field Resources, Inc.; Sheet 3 “Layout Plan Showing Proposed Structure”, dated March 5, 2020, revised April 6, 2020 and November 5, 2020, prepared by Field Resources, Inc.; Sheet 4 “Grading and Drainage Plan”, dated November 2, 2020, prepared by J.M. Grenier Associates, Inc.; Sheet 5 “Utility Plan”, dated November 2, 2020, prepared by J.M. Grenier Associates, Inc.; Sheet 6, “Erosion & Sedimentation Control Plan”, dated November 2, 2020, prepared by J.M. Grenier Associates, Inc.; Sheet 7, “Detail Plan 1/2”, dated November 2, 2020, prepared by J.M.

Grenier Associates, Inc.; and Sheet 8, "Detail Plan 2/2", dated November 2, 2020, prepared by J.M. Grenier Associates, Inc.;

5. Scanned copy of Check no. 2919 in the amount of \$1,000 for the applicable filing fee; and

6. Word format version of this letter.

In addition, in accordance with current Covid-19 filing requirements, three full size copies of the above items 1 through 4, together with three copies of "Stormwater Management Report, 400 Hunnewell Street, Needham, Massachusetts", dated November 2, 2020, prepared by J.M. Grenier Associates, Inc. and the original check, are being simultaneously mailed to you at the above address.

The Premises is identified as Parcel 3 on Town of Needham Assessor's Map No. 99. It is located within the Hillside Avenue Business District (the "HAB") and contains 20,123 square feet of area, with 104.31 feet of frontage on Hunnewell Street. The Premises is currently fully developed, being occupied by a two-story commercial building, associated parking areas and limited landscaping. Based on the records of the Assessor's Department, the building, which is made of concrete block, was constructed in or around 1975. It contains approximately 8,520 square feet of area divided over two floors, both of which are used for office purposes.

As indicated in the Application, the Applicant desires to demolish the existing commercial building and replace it with a new residential building containing a total of eight units. The new building would be two stories high, plus a basement level, to be used for underground parking. The first and second floor together would contain a total of 12,915 square feet of floor area.

The area to the left of the building, looking from the front, will be completely landscaped, as will the area in front of the building. Additional landscaping will be provided in the rear corner of the Premises as well. The rest of the Premises will be occupied by an access driveway and 7 surface parking spaces.

Analysis

I. Use

Whereas the existing building is proposed to be demolished, no comment or analysis is made relative to the use thereof. With respect to the proposed new building, same is to be used entirely for residential purposes. Pursuant to Section 3.2.2 of the Zoning By-Law, use of property in the HAB for "apartment or multifamily dwelling" is allowed by special permit. Therefore, provided the Board approves the requested special permit, the proposed use of the Premises will comply with the By-Law.

II. Dimensional and Density Requirements

A. Lot Area and Frontage

As indicated above, the Premises contains 20,123 square feet of area, with 104.31 feet of frontage on Hunnewell Street. Pursuant to Section 4.4.1 of the By-Law, lots in the HAB are currently required to contain a minimum of 10,000 square feet of area and to have a minimum of 80 feet of frontage. Therefore, the Premises meets or exceeds both minimum frontage and minimum area requirements.

B. Building Related Dimensional and Density Requirements

Pursuant to Section 4.4.2(e) of the By-Law, the maximum floor area ratio ("FAR") applicable to the Premises is 0.7, or 14,086.1 square feet. As mentioned above, the proposed new building consists of two occupied floors plus a basement level containing underground parking. Pursuant to Section 4.4.2, the Planning Board may issue a special permit exempting underground parking from inclusion in the FAR calculation, and such permit has been requested. Provided the permit is granted, the proposed new building will contain a total of 14,076 square feet on the first and second floor; 10 square feet less than the maximum required and in compliance with the applicable FAR requirement.

Pursuant to Section 4.4.3 of the By-Law, the maximum height allowed as of right in the HAB is two and one-half (2 ½) stories, not to exceed thirty-five feet; with all use except storage prohibited above the second floor. Whereas the proposed new building is only two stories and not more than 35' tall, the proposed new building will comply with the height limitations of the By-Law.

As applied to the Premises, Section 4.4.4 of the By-Law requires a front yard setback of 20 feet. Whereas the proposed new building is set back 20 feet from Hunnewell at its closest point, it complies with such requirement.

Pursuant to Section 4.4.5 of the By-Law, no more than two driveways are allowed for every 150 feet of frontage, and two-way driveways of the kind proposed for the Premises must be no less than 18 feet wide and no more than 25 feet wide. Whereas only one driveway is proposed, and whereas the driveway is 25 feet wide, same complies with the applicable driveway opening conditions of Section 4.4.5.¹

¹ Technically only 12.5 feet of the driveway opening is on the Premises, as the proposed driveway utilizes a common right of way, shared with the adjacent Premises, as set forth in Deed recorded with Norfolk County Registry of Deeds in Book 5115, Page 175, and shown on "Plan of Land in Needham, Mass.", dated January 28, 1975, prepared by Apex Associates, endorsed by the Needham Planning Board and recorded therewith.

Pursuant to Section 4.4.8.4 of the By-Law,

no building or structure for a use not allowed in a residential district shall be placed within fifty (50) feet of a residential district boundary, and the ten feet closest to such boundary shall be suitable landscaped as specified at Section 4.4.8.5. The remainder of the setback may be used for an accessory use not including a building or structure.

A small portion of the Premises directly abuts the Single Residence B Zoning District, at the rear corner, with a larger portion located adjacent to the MBTA railroad right-of-way. Because the HAB district boundary ends at the edge of the railroad right-of-way, and whereas the opposite side of the right-of-way is located in the SRB District, the property line likely constitutes a residential district boundary, as contemplated by Section 4.4.8.4.

However, whereas the proposed new building is an apartment or multi-family dwelling, used for residential purposes, and whereas apartments and multifamily structures and residential use are allowed in a residential district, the provisions of Section 4.4.8.4 do not apply by their own terms. Moreover, even if they did apply, the proposed new building is located more than 50 feet from the applicable boundaries. In addition, virtually the entire 50 foot boundary area is currently occupied by commercial parking, and therefore qualifies as pre-existing, non-conforming. As a result, even if 4.4.8.4 does apply and there is an issue with compliance, provided a special permit is issued pursuant to Section 1.4.6 to alter, extend and enlarge a pre-existing non-conformity, same can be made to comply with the By-Law.

Finally, whereas Section 4.4.9 of the By-Law, pertains only to business use, same is inapplicable to the proposed redevelopment.

II. Parking

Total parking demand for the Premises, as redeveloped and used for residential purposes in eight total units, is 12 spaces, calculated as follows:

Multi-family Structures (Section 5.1.4): 8 Units @ 1.5 space Unit = 12 spaces

As indicated on the plans, there are 23 total parking spaces proposed: 16 underground parking spaces and an additional 7 surface spaces; two to the right of the new building and 5 to the rear. As a result, more than sufficient parking is provided, and the redevelopment complies with the off-street parking requirements of the By-Law relative to the number of spaces.

Notwithstanding the foregoing, parking waivers are still required, relative to the design requirements of the By-Law concerning the following:

A. Parking Lot Illumination – The By-Law requires that all parking areas shall provide an illumination level of an average of one foot candle. The illumination proposed for the Premises is limited to modest lights mounted on the building, which are expected to produce an illumination level of less than one foot candle in portions of the parking area.

B. Landscaped Areas – The By-Law requires that ten (10) percent or more of the parking area shall be maintained as landscaped area. Whereas the majority of the parking provided is in an underground structure, and due to the configuration of the site, a waiver from such provision has been requested.

C. Trees – As applied to the Premises, the By-Law requires two trees, located within or around the parking area, with not less than 40 square feet of unpaved soil or other permeable surface area per tree, in planting beds at least 4 feet wide. While the Applicant is proposing landscaping at the front and rear corner of the Premises, same does not meet the tree requirement and a waiver has been requested.

III. Site Plan Analysis

(a) Protection of adjoining premises against seriously detrimental uses by provision for surface water drainage, sound and sight buffers and preservation of views, light, and air.

The Applicant asserts that the use of the Premises for residential purposes, as proposed, does not constitute a “seriously detrimental use” within the terms of the By-Law. Furthermore, considering that the Premises is bounded to the rear by the MBTA railroad right of way, to one side by a commercial use and to the other side by a multifamily / apartment development, the Applicant asserts that no additional sound and sight buffers are required, and that views, light and air are not materially affected.

(b) Convenience and safety of vehicular and pedestrian movement within the site and on adjacent streets, the location of driveway openings in relation to traffic or to adjacent streets and, when necessary, compliance with other regulations for the handicapped, minors and the elderly.

The Applicant is of the opinion that it has provided for safe and convenient vehicular and pedestrian movement within the site and on adjacent streets. The driveway serving the parking area is of adequate width and in an appropriate location, and the building is accessed by a walkway.

(c) Adequacy of the arrangement of parking and loading spaces in relation to the proposed uses of the premises.

Parking is arranged both around and below the building and is readily accessible. The proposed residential use of the building is not expected to require any special or dedicated loading spaces. Therefore, based on the proposed use, the Applicant is of the opinion that the arrangement of parking and loading spaces is adequate.

(d) Adequacy of the methods of disposal of refuse and other wastes resulting from the uses permitted on the site.

The proposed residential use of the Premises is not anticipated to generate any significant wastes or trash. Nevertheless, it will be a requirement for the occupants of the building that all trash, waste and debris be removed on a regular basis, as necessary and appropriate, consistent with customary residential use. Therefore, the Applicant asserts that the methods of waste disposal are adequate for the Premises and its proposed use.

(e) Relationship of structures and open spaces to the natural landscape, existing buildings and other community assets in the area and compliance with other requirements of the By-Law.

There is no real natural landscape to speak of, in the vicinity of the Premises. The property is bounded on one side by an existing commercial activity on another by a multifamily development, and on the third side by the MBTA railroad right of way. As a result, the proposed redevelopment of the Premises for residential purposes is not anticipated to have any significant negative effect on any community assets or any adjacent landscape, buildings and structures.

(f) Mitigation of adverse impacts on the Town's resources including the effect on the Town's water supply and distribution system, sewer collection and treatment, fire protection, and streets.

No significant impact to the Town's resources is proposed or anticipated. The use of the Premises for residential purposes is consistent with both other current uses in the HAB and the uses allowed pursuant to the By-Law. As a result, the proposed redevelopment of the Premises and use thereof for residential purposes is not anticipated to substantially or materially increase or alter the need for any Town resources

Conclusion

Based on all of the foregoing, the Applicant asserts that the proposed redevelopment of the Premises, and use thereof for residential purposes, as set forth above and in the materials submitted herewith, is both proper and appropriate. The proposed use of the Premises is allowable by special permit. The proposed new building complies with applicable density and dimensional requirements, and, while parking waivers are required relative to the design standards, and a waiver for the underground parking, same are appropriate considering the fully developed character of the Premises at present, the proposed redevelopment and use of the Premises, and the surrounding area and abutting properties.

Please schedule this matter for the next available hearing of the Board. In the meantime, if you have any questions, comments or concerns relative to the foregoing, please do not hesitate to contact me so that I may be of assistance.

Your courtesy and attention are appreciated.

Sincerely,

A handwritten signature in dark ink, appearing to read "George Giunta, Jr.", with a stylized, cursive script.

George Giunta, Jr.

TOWN OF NEEDHAM
MASSACHUSETTS



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PLANNING BOARD

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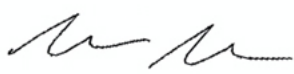
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 Map # 99 Parcel # 3 Zoning District Hillside Avenue Business (HAB)

Description of Project for Site Plan Review under Section 7.4 of the Zoning By-Law:

Demolition of existing two story commercial building and construction of a new multifamily, residential dwelling, containing a total of eight units, with an underground parking garage and associated surface parking and driveway; as described at Addendum A attached hereto and the plans submitted herewith, all of which are hereby incorporated herein.



Signature of Applicant (or representative) _____
Address if not applicant George Giunta, Jr., Esq., 281 Chestnut Street, Needham, MA 02492
Telephone # 781-449-4520
Owner's permission if other than applicant See Authorization Provided Herewith

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ADDENDUM A
TO
APPLICATION FOR SITE PLAN REVIEW
OF
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Needham, Massachusetts

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1. Pursuant to the criteria of Section 7.4.2 of the By-Law, the proposed redevelopment of the Premises constitutes a “major project” and therefore requires Major Project Site Plan Review and the issuance of a special permit pursuant thereto.
2. In addition, the following relief is, or may be required:
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 - e. Waiver of strict compliance with the following requirements of Section 7.4.4, to the extent necessary and applicable:
 1. Requirement of subparagraph (b) concerning location of structures within 100 feet of property line;
 2. Requirements of subparagraph (d) concerning building elevation as related to the existing portions of the building not effected by the proposed addition;
 3. Requirements of subparagraph (l) concerning lighting;
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 - and
 3. Requirements of subparagraph (o) concerning projected traffic volume.
 - f. Any and all additional relief required or appropriate for the redevelopment of the Premises for residential use and the construction of the proposed new multifamily building with underground parking.

3. The Applicant requests that any and all relief granted by the Board in connection with the within application shall run with the land and that the movement, change and alteration of interior layout, including, without limitation, walls and interior fixtures, not require any further review, provided the total useable square footage of the building and the total number of residential units remains fixed.

Hunnewell Needham, LLC
393 South Main Street
Cohasset, MA 02025

November 5, 2020

Lee Newman
Planning Director
Town of Needham
Planning Board
Town Hall
Needham, Massachusetts 02492

Re: Site Plan Application
Hunnewell Needham, LLC
400 Hunnewell Street, Needham, MA

Dear Mrs. Newman,

Please accept this letter as confirmation that George Giunta, Jr., Esquire, is authorized to make application for Site Plan Approval and any and all other zoning, planning, general by-law and other relief that may be required or appropriate in connection with the redevelopment of the property known and numbered 400 Hunnewell Street. In connection therewith, Attorney Giunta is hereby authorized, to execute, sign, deliver and receive all necessary documentation related thereto, including, without limitation, Application for Site Plan Review.

Hunnewell Needham, LLC

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By Elisha Long
Manager, duly authorized

400 HUNNEWELL

Needham, MA

PERMIT SET - Nov, 05 2020



400 HUNNEWELL STREET

ZONING LEGEND:

REV: 06-24-2016

ZONING DISTRICT: HILLSIDE AVENUE BUSINESS DISTRICTS

CATEGORY	REQUIRED	EXISTING	PROPOSED
USE	N/A	OFFICE BUILDING	RESIDENTIAL (8-UNITS)
MINIMUM LOT SIZE	10,000	20,123 SQ. FT.	20,123 SQ. FT.
MINIMUM LOT FRONTAGE	80'	104.31'	104.31'
MAX GROSS AREA	14,086	8,520	14,076
MAX FLOOR AREA RATIO	0.7	0.4	0.7
MINIMUM FRONT YARD SETBACK	20'	21'	21'
MINIMUM SIDE YARD SETBACK	N/A	8.3'	8.3'
MINIMUM REAR YARD SETBACK	N/A	99.5'	80'
MAX BUILDING HEIGHT	35'	8,534 +/-	29'
MAX BUILDING HEIGHT	2 1/2 STORIES	2 STORIES	2 1/2 STORIES
PARKING			
a. EXISTING OFFICE	a. 28.45 (1/300)	30 SPACES	
b. PROPOSED RESIDENTIAL	b. 12 (1.5 Units)		23 SPACES



PROJECT DIRECTORY

OWNER:	400 Hunnewell Street, llc 14A Brooks Street Wellesley, MA 02482
ARCHITECT:	Duckham Architecture & Interiors 53 Central Avenue Needham, MA 02494 T. (781) 449-4109 Contact: Kent Duckham
LANDSCAPE ARCHITECT:	Verdant Landscape Architecture 318 Harvard St #25 Brookline, MA 02446 T. (6171) 735-1180 Contact:
CIVIL/SITE SURVEY:	Field Resources Land Surveyor 281 Chestnut St #1 Needham, MA 02492 T. (781) 444-5936 Contact:
STRUCTURAL ENGINEER:	Dov Kirstajn, P.E. Structural Consultant 103 Beaumont Ave Newton, Ma 02460 (617) 969-3539 dkirstajn@gmail.com
MECHANICAL ELECATRICAL FIRE PROTECTION	LVR Corporation 88 Foundry Street Wakefield, Ma 01880 P 781-245-9888 C 617-719-2119 Contact: Larry Roy
GENERAL CONTRACTOR:	

DRAWING INDEX

1/8	SITE PLAN COVER SHEET
2/8	EXISTING CONDITIONS PLAN
3/8	LAYOUT PLAN
4/8	GRADING & DRAINAGE PLAN
5/8	UTILITY PLAN
6/8	EROSION & SEDIMENTATION CONTROL PLAN
7/8	DETAIL PLAN 1/2
8/8	DETAIL PLAN 2/2
A.1.0	PROPOSED BASEMENT FLOOR PLAN
A.1.1	PROPOSED FIRST FLOOR PLAN
A.1.2	PROPOSED SECOND FLOOR PLAN
A.1.4	PROPOSED ROOF PLAN
A.2.1	EXTERIOR ELEVATIONS
A.2.2	EXTERIOR ELEVATIONS

GENERAL NOTES

1.

ALL WORK PERFORMED, INCLUDING MATERIALS FURNISHED, WORKMANSHIP, AND MEANS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE APPLICABLE AND THE LATEST REQUIREMENTS OF THE MASSACHUSETTS STATE BUILDING CODE AND THE APPLICABLE CITY OR TOWNSHIP, ALL LOCAL AND STATE HANDICAP AND FEDERAL REQUIREMENTS, AND GENERAL CONDITIONS PER AIA DOCUMENT #A205 AND OWNER/CONTRACTOR AGREEMENT DOCUMENT #A105.
2.

BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE OWNER AND THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY THE GOVERNING AGENCIES.
3.

THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THAT ALL EXISTING CONDITIONS AGREE WITH THE INFORMATION SHOWN ON THE DRAWINGS. ANY CONFLICTS, OMISSIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION PRIOR TO COMMENCEMENT OF ANY WORK. NO ALLOWANCES WILL SUBSEQUENTLY BE MADE ON BEHALF OF THE ARCHITECT FOR ANY ADDITIONAL EXPENSES WHICH ARE INCURRED DUE TO NEGLECT OR WHICH COULD HAVE BEEN REASONABLY FORESEEN BY PRIOR INSPECTION OF EXISTING CONDITIONS.
4.

PRIOR TO COMMENCING WORK, ORDERING OF MATERIALS AND SHOP FABRICATION OF ANY MATERIALS, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AS INDICATED ON THE DRAWINGS AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION.
5.

DRAWINGS INDICATE LOCATION, DIMENSIONS, REFERENCE AND TYPICAL DETAIL FOR CONSTRUCTION. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS, FOR CONDITIONS NOT ILLUSTRATED, NOTIFY ARCHITECTS FOR CLARIFICATION AND/OR SIMILAR DETAIL.
6.

THE SCOPE OF WORK INCLUDES ALTERATION TO EXISTING FACILITIES. WORK WHICH IS OBVIOUSLY REQUIRED TO BE PERFORMED OR PROVIDE A COMPLETE AND FINISHED PRODUCT WITHIN THE SCOPE OF WORK, BUT WHICH IS NOT SPECIFICALLY INCLUDED ON THE CONTRACT DOCUMENTS, SHALL BE PERFORMED BY THE CONTRACTOR AND BE INCLUDED IN THE BID. CONTRACTOR TO INSPECT AT TIME OF DELIVERY ALL FIXTURES PROVIDED BY OWNER TO INSURE PROPER QUANTITY, THAT ITEMS ARE DEFECT FREE, AND MATCH INVOICE. CONTRACTOR TO BE RESPONSIBLE FOR INSTALLATION, WHICH MAY INCLUDE BLOCKING, SHIMMING, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL ITEMS SUPPLIED BY OWNERS VENDORS AND TO VERIFY THAT ALL MATERIALS RECEIVED ARE IN ACCORDANCE WITH THE SPECIFICATIONS. HEREIN, ANY DAMAGED ITEMS OR DISCREPANCIES BETWEEN MATERIALS SPECIFIED AND MATERIALS SHIPPED, SHALL BE REPORTED TO THE ARCHITECT PROMPTLY.
7.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL INSTALLATIONS, CONDITIONS MATERIALS AND FINISHES WITH THE PROPOSED CONSTRUCTION AREA AND ALL ADJOINING PROPERTY AFFECTED BY CONTRACTOR'S OPERATIONS. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING FOR STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK. ANY EXISTING MATERIALS AND FINISHES WHICH ARE DAMAGED, SHALL BE REPLACED AS NECESSARY WITH NEW MATCHING MATERIALS AT THE CONTRACTOR'S OWN COST AND EXPENSE.
8.

THE CONTRACTOR SHALL DO ALL CUTTING, CHASING, CORE DRILLING, PATCHING AND REPAIRING AS REQUIRED TO PERFORM ALL THE WORK THAT MAY BE INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB. PATCHING SHALL MATCH ADJACENT SYSTEMS, MATERIALS AND FINISHES UNLESS OTHERWISE NOTED.
9.

CONTRACTOR SHALL EMPLOY ADEQUATE NUMBER OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK. ALL WORK SHALL BE PERFORMED BY DULY LICENSED PROFESSIONALS AND AS REQUIRED BY STATE AND LOCAL GOVERNMENTS FOR EACH APPLICABLE TRADE. (PLUMBING, ELECTRICAL, ETC.), WHO SHALL ARRANGE FOR AND OBTAIN REQUIRED INSPECTIONS AND SIGN-OFFS.
10.

THESE DRAWINGS ARE DIVIDED INTO SECTIONS FOR CONVENIENCE ONLY. CONTRACTOR, SUBCONTRACTORS, VENDORS AND MATERIAL SUPPLIERS SHALL REFER TO ALL RELEVANT SECTIONS IN BIDDING AND PERFORMING THEIR WORK AND SHALL BE RESPONSIBLE FOR ALL ASPECTS OF THEIR WORK REGARDLESS OF WHERE THE INFORMATION OCCURS ON THE DRAWINGS.
11.

CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WORK OF ALL TRADES AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES. SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATION OF THEIR WORK WITH THE WORK OF OTHERS, AND SHALL VERIFY THAT ANY WORK RELATING TO THEM WHICH MUST BE PROVIDED BY OTHERS, HAS BEEN COMPLETED AND IS ADEQUATE PRIOR TO COMMENCING WORK.
12.

CONTRACTOR SHALL PROVIDE STRUCTURAL BACKING/BLOCKING FOR ALL WALL MOUNTED FIXTURES, FINISHES AND EQUIPMENT, AND FOR ALL HANGING FIXTURES, BLINDS, ETC.
13.

CONTRACTOR SHALL INSTALL ALL MATERIALS AND EQUIPMENT AS PER MANUFACTURER'S WRITTEN INSTRUCTIONS AND/OR RECOMMENDATIONS.
14.

CONTRACTOR SHALL AT ALL TIMES DURING THE COURSE OF THE CONTRACT KEEP ADJOINING PREMISES, INCLUDING STREETS AND OTHER AREAS ASSIGNED TO OR USED BY THE CONTRACTOR, FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH CAUSED BY CONTRACTOR'S EMPLOYEES, SUBCONTRACTOR OR THEIR WORK.
15.

CONTRACTOR SHALL ASSIST DELIVERY AND STORAGE OF OWNER SUPPLIED ITEMS, AND DISPOSE OF ANY RESULTING TRASH.
16.

CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL TRADES PRIOR TO INSTALLATION, AND SAMPLES OF ALL MATERIAL AND COLOR/FINISHES FOR ARCHITECT'S APPROVAL ON ANY DEVIATION/SUBSTITUTION FROM CONTRACT DOCUMENTS.
17.

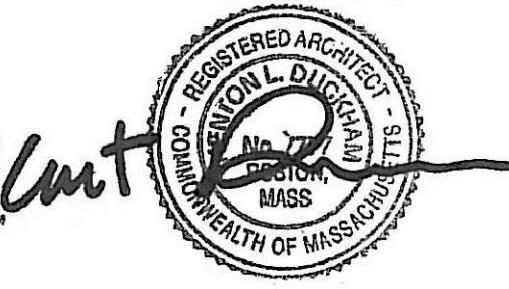
CONTRACTOR TO VERIFY ALL FIXTURE COUNTS, AS APPLICABLE TO THEIR CONTRACT, WITH OWNER.
18.

CONTRACTOR SHALL BE RESPONSIBLE FOR CLOSEOUT, PRIOR TO FINAL PAYMENT, INCORPORATING ALL STANDARD GUARANTIES AND WARRANTIES AND ORIGINALS OF ALL APPLICABLE CERTIFICATES OF TESTING, INSPECTION, TEMPORARY FINAL CERTIFICATE OF OCCUPANCY, COORDINATE WITH OWNER.
19.

CONTRACTOR SHALL BE RESPONSIBLE FOR A THOROUGH, PROFESSIONAL CLEANING OF THE ENTIRE FACILITY PRIOR TO OWNER TAKEOVER DATE. ALL EXPOSED HORIZONTAL AND VERTICAL SURFACES INCLUDING, BUT NOT LIMITED TO THE FOLLOWING MUST BE WIPED CLEAN AND FREE OF DUST; WALLS, EXPOSED STRUCTURAL MEMBERS, STAIRS AND RAILINGS, CABINETRY. ALL FLOORS MUST BE MOPPED CLEAN.
20.

CONTRACTOR TO PROVIDE 3 COPIES OF AS BUILT INFORMATION, OPERATION AND MAINTENANCE MANUALS, INCLUDING ALL PRODUCT GUARANTIES AND WARRANTIES.
21.

CONTRACTOR TO KEEP A SET OF THE MOST CURRENT DRAWINGS ON SITE AT ALL TIMES.



PERMIT SET
DRAWING NOT
FOR CONSTRUCTION
SEPTEMBER 10, 2020

Issues		
Number	Date	Description

Revisions		
Number	Date	Description

Checked by :
Drawn by : JRM

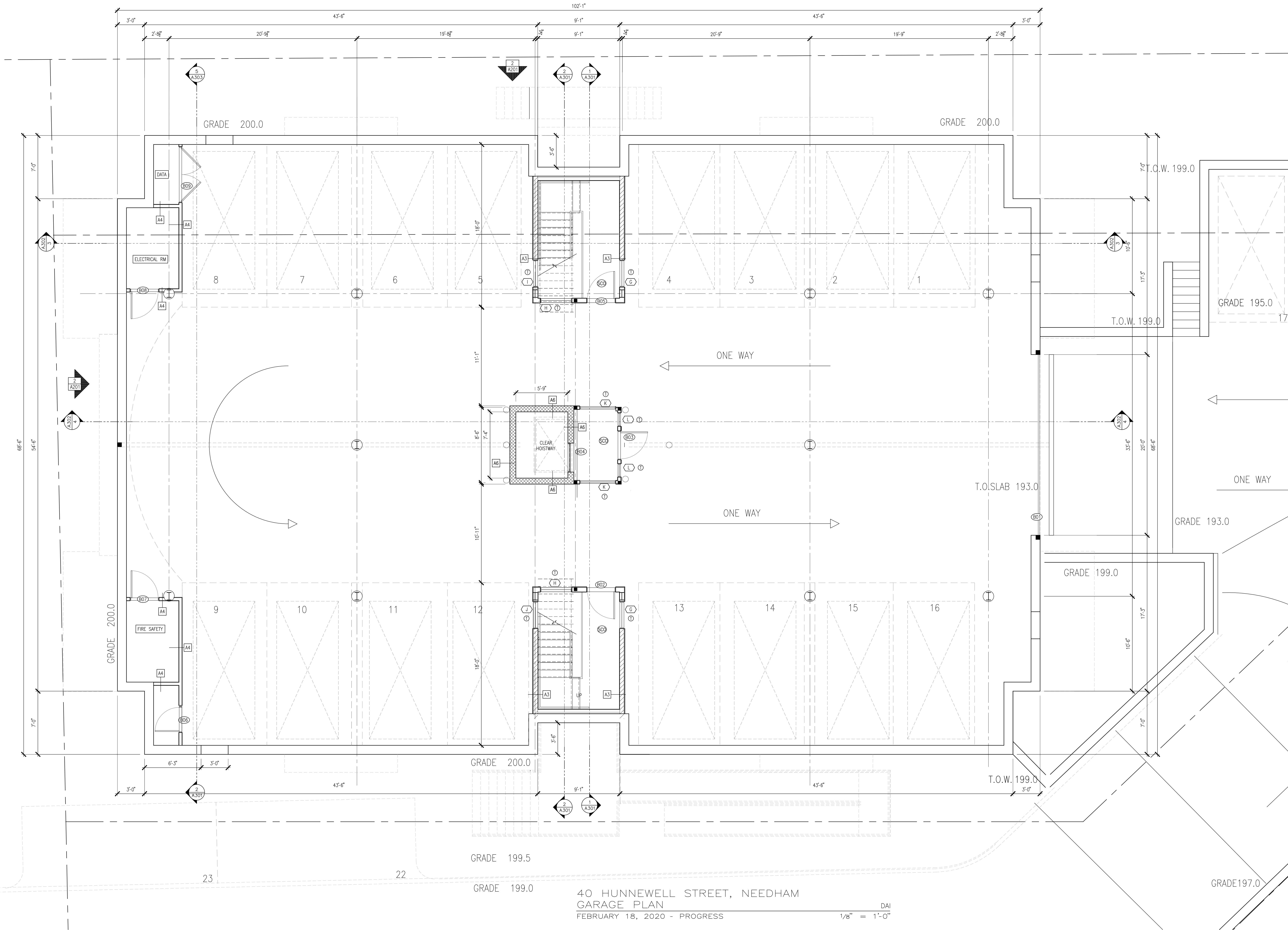
400 Hunnewell Street
Needham, MA

LOWER LEVEL
GARAGE PLAN

Drawing Scale:
1/4"=1'-0"
Project Number:
201919.00

Date Issued:
11.05.2020

A.B.1



40 HUNNEWELL STREET, NEEDHAM
GARAGE PLAN
FEBRUARY 18, 2020 - PROGRESS

DAI
1/8" = 1'-0"



PERMIT SET
DRAWING NOT
FOR CONSTRUCTION
SEPTEMBER 10, 2020

Issues		
Number	Date	Description

Revisions		
Number	Date	Description

Checked by :
Drawn by : JRM

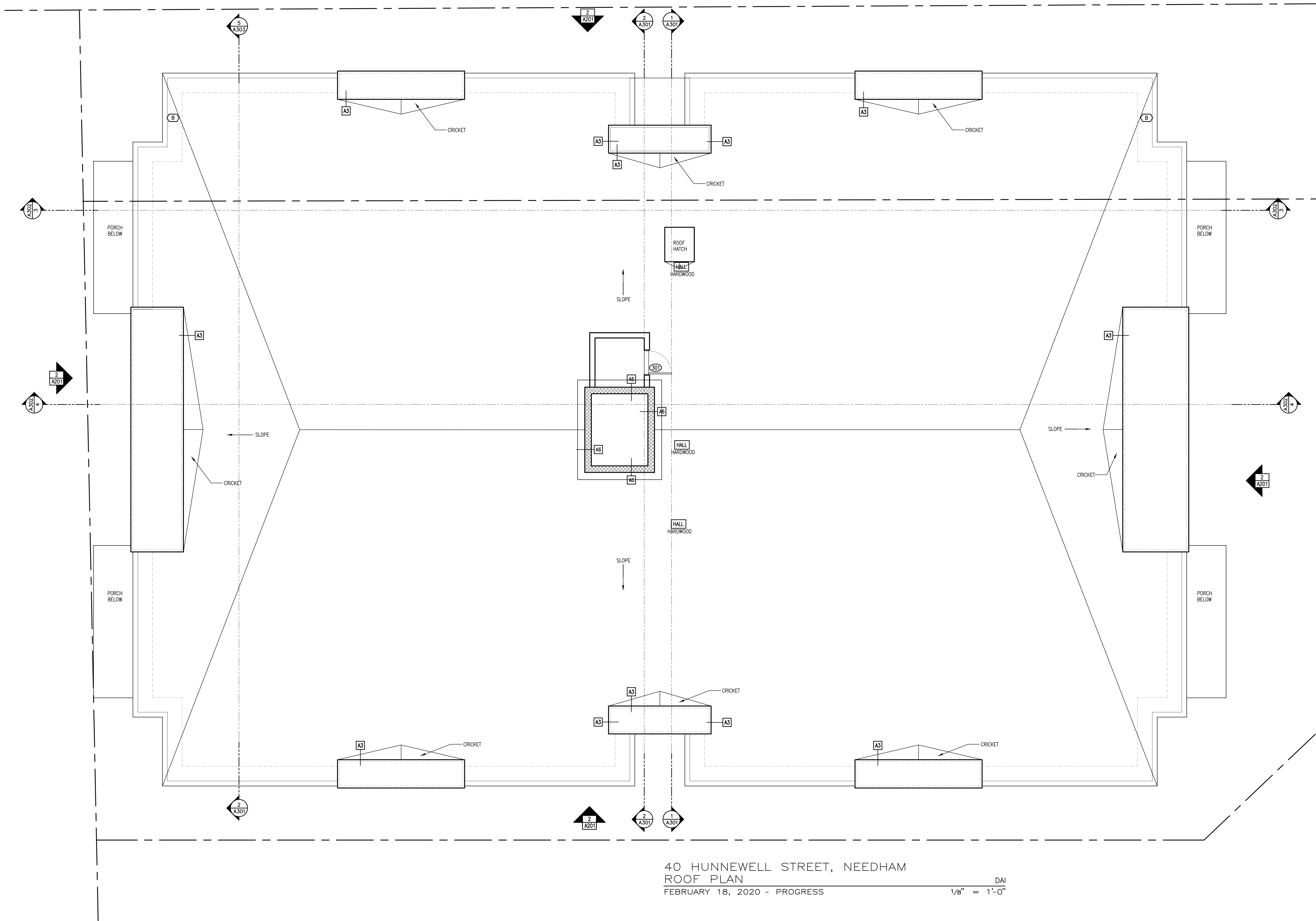
400 Hunnewell Street
Needham, MA

ROOF PLAN

Drawing Scale:
1/4"=1'-0"
Project Number:
201919.00

Date Issued:
11.05.2020

A.13



40 HUNNEWELL STREET, NEEDHAM
ROOF PLAN
FEBRUARY 18, 2020 - PROGRESS
1/8" = 1'-0" DAI

SITE PLAN
FOR
400 HUNNEWELL STREET
NEEDHAM, MASSACHUSETTS 02494

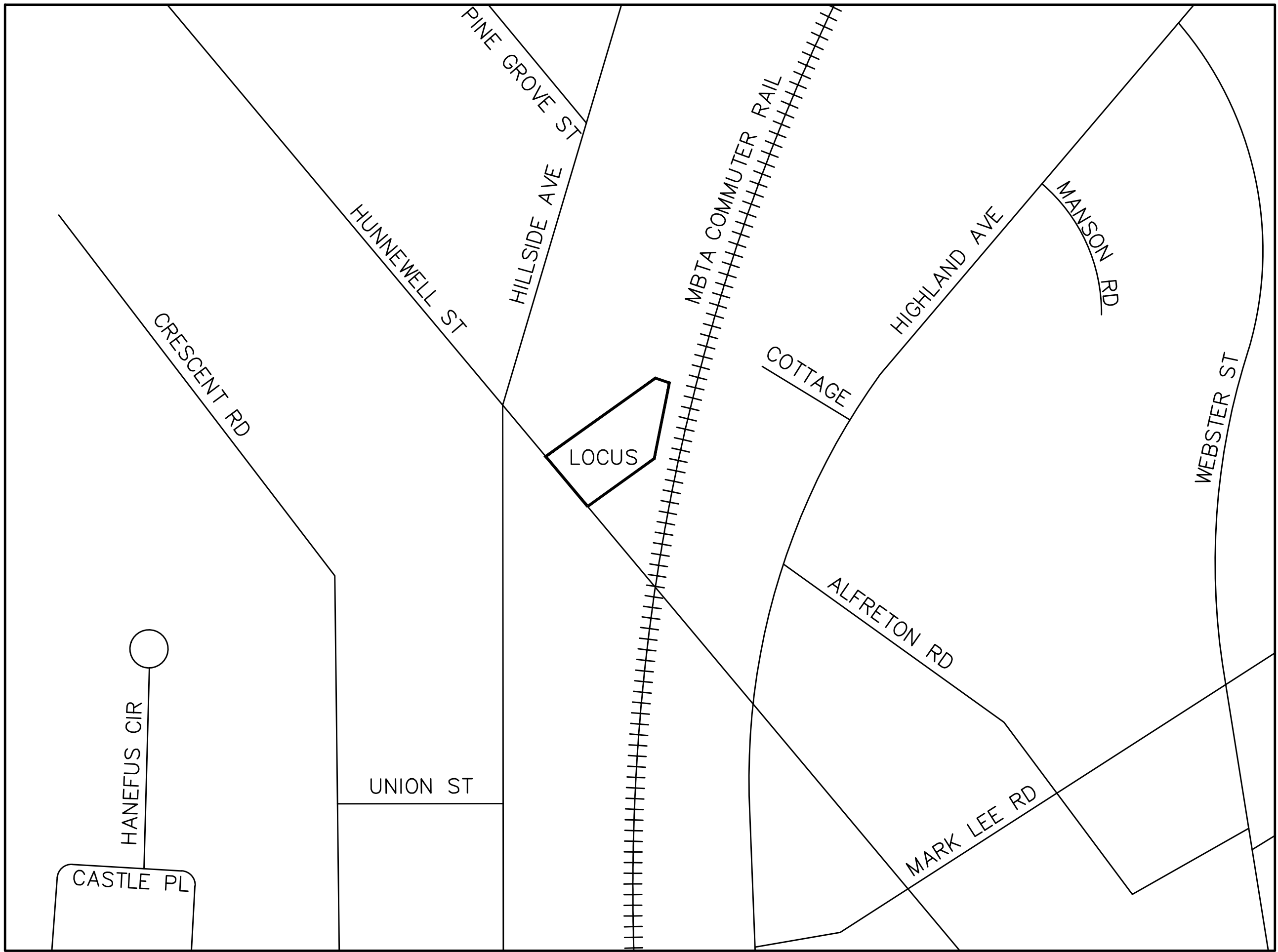
RECORD APPLICANT:
400 HUNNEWELL STREET, LLC
14A BROOKS STREET
WELLESLEY, MA 02482

RECORD OWNER:
400 HUNNEWELL STREET, LLC
14A BROOKS STREET
WELLESLEY, MA 02482

LAND PLANNERS—CIVIL ENGINEERS:
J.M. GRENIER ASSOCIATES INC.
325 DONALD LYNCH BOULEVARD SUITE 100
MARLBOROUGH, MA 01752
(508) 845-2500

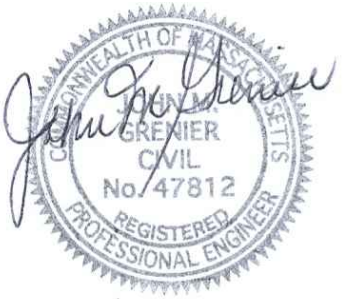
LAND SURVEYORS:
FIELD RESOURCES INC.
281 CHESTNUT STREET
NEEDHAM, MA 02492

ZONING DISTRICT: HILLSIDE AVENUE BUSINESS (HAB)



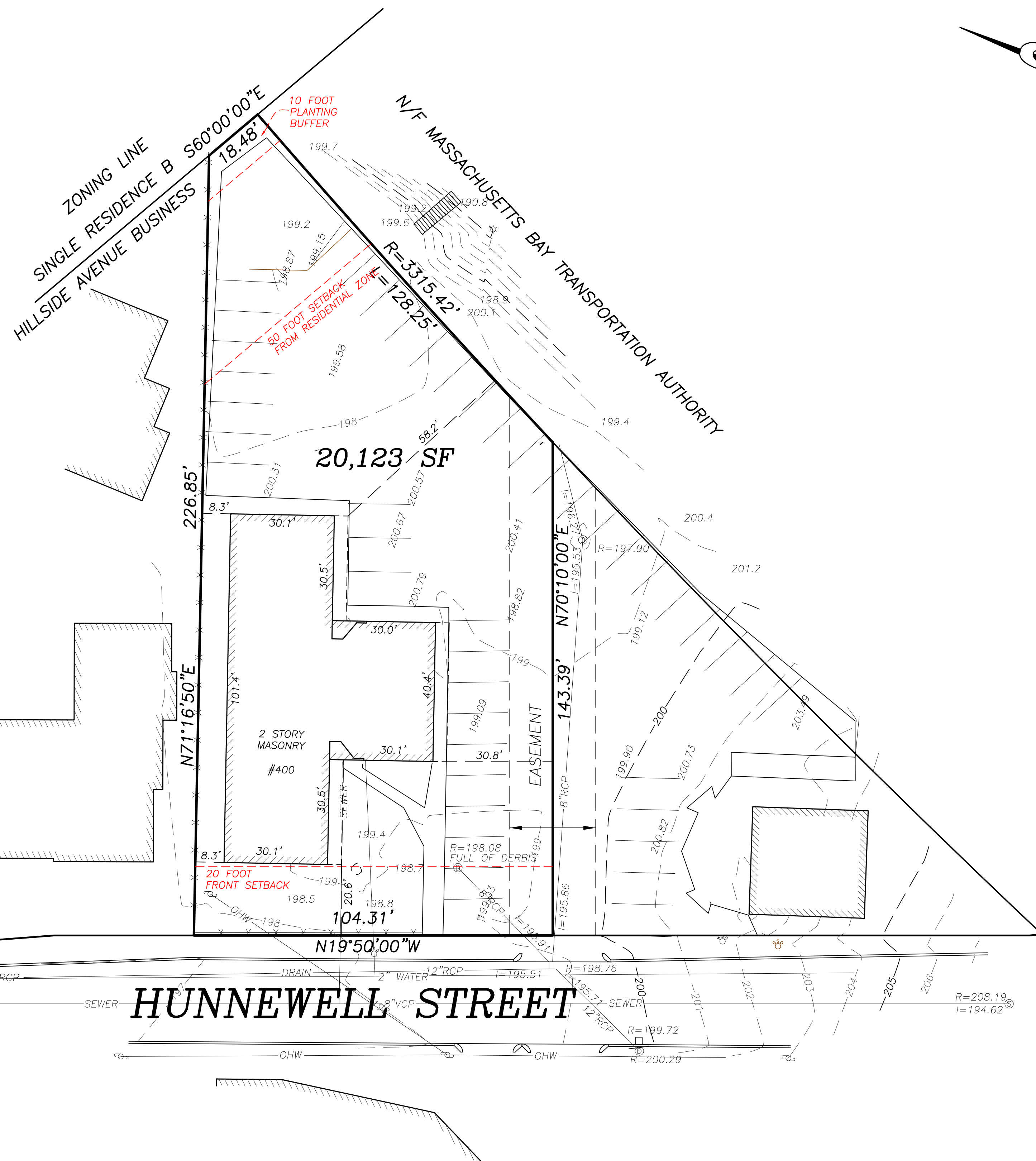
LOCUS:
SCALE: 1' = 200'

INDEX DESCRIPTION	SHEET NUMBER
COVER	1 OF 8
EXISTING CONDITIONS PLANS	2 OF 8
LAYOUT PLAN	3 OF 8
GRADING AND DRAINAGE PLAN	4 OF 8
UTILITY PLAN	5 OF 8
EROSION & SEDIMENTATION CONTROL PLAN	6 OF 8
DETAIL PLAN	7 OF 8
DETAIL PLAN	8 OF 8



11/2/20

REV. NO.	DATE	REVISION
SCALE:	AS SHOWN	DATE: NOVEMBER 2, 2020
COVER SHEET		
SHEET NO.:	PROJECT NO.:	
SHEET 1 OF 8	G-597	



- 1) ELEVATIONS REFER TO PROJECT DATUM
- 2) CONTOUR INTERVAL EQUALS ONE (1) FOOT.
- 3) UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND THE LATEST PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE AFOREMENTIONED RECORD PLANS AND ARE APPROXIMATE ONLY. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUB-SURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL, TOLL-FREE, THE DIG SAFE CALL CENTER AT 1-888-344-7233 (1-888-DIG-SAFE) SEVENTY-TWO HOURS PRIOR TO EXCAVATION.

DATUM PLANE RELATIONSHIP

NAVD 88	
TOWN OF NEEDHAM	106.41
PROJECT DATUM	85.96

I CERTIFY THAT THE PARCEL SHOWN HEREON LIES WITHIN A ZONE "X", AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF NEEDHAM, MASSACHUSETTS, COMMUNITY PANEL NO. 255215 0036 E, MAP NUMBER 25021C 0036 E EFFECTIVE DATE: JULY 17, 2012.



BRADLEY J. SIMONELLI ~ P.L.S.
DATE: NOVEMBER 5, 2020

ZONING INFORMATION: HILLSIDE AVENUE BUSINESS		
	REQUIRED	EXISTING
MINIMUM LOT AREA	10,000 SF	20,123 SF
MINIMUM LOT FRONTAGE	80 FEET	104.31 FEET
MINIMUM FRONT SETBACK	20 FEET	20.6 FEET
MINIMUM SIDE SETBACK	0.0'	8.3' FEET
MINIMUM DRIVEWAY OPENING	18 FEET*	24 FEET
MAXIMUM DRIVEWAY OPENING	25 FEET	24 FEET
MAXIMUM FLOOR AREA RATIO	0.7	
MAXIMUM UNITS	8	N/A
MAXIMUM BUILDING HEIGHT	35 FEET	21± FEET
MAXIMUM BUILDING HEIGHT	2 1/2 STORIES	2 STORIES

PROPERTY REFERENCE
BOOK 38324 PAGE 432
PLAN 164 OF 1975

ZONING REFERENCE
ASSESSORS MAP 99, PARCEL 3
ZONING DISTRICT: HAB

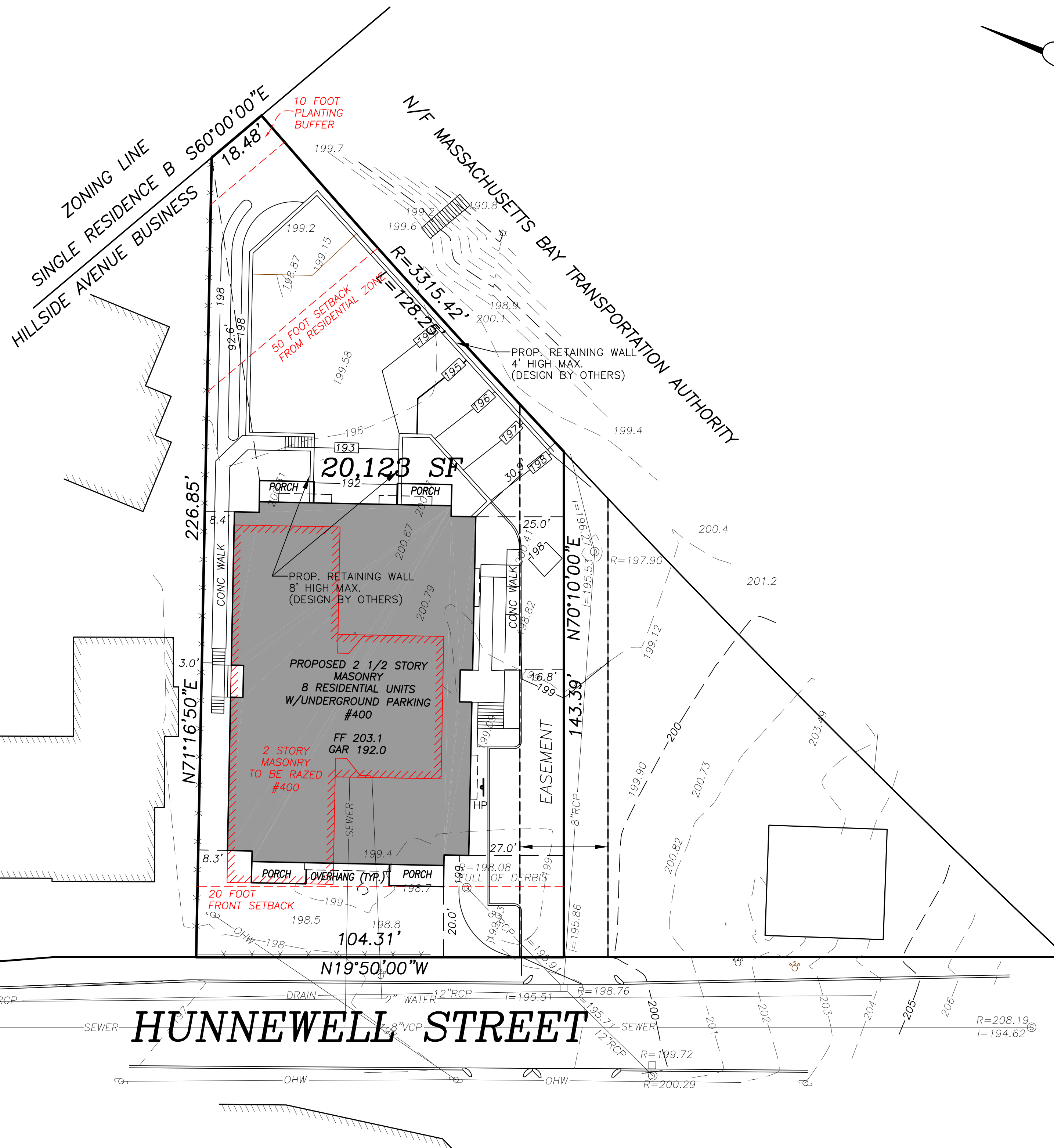
SHEET 2 OF 8
EXISTING CONDITIONS
PLAN OF LAND
400 HUNNEWELL STREET
NEEDHAM, MASS.

Field Resources, Inc.
LAND SURVEYORS

MARCH 5, 2020	SCALE 1"=20'
P.O. BOX 324	281 CHESTNUT ST.
AUBURN, MA	NEEDHAM, MA.
508 832 4332	781 444 5936
fieldresources@hotmail.com	

REVISD: NOVEMBER 5, 2020
REVISD: APRIL 6, 2020

JOB NO. 122-19



- 1) ELEVATIONS REFER TO PROJECT DATUM
- 2) CONTOUR INTERVAL EQUALS ONE (1) FOOT.
- 3) UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND THE LATEST PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE AFOREMENTIONED RECORD PLANS AND ARE APPROXIMATE ONLY. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUB-SURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL, TOLL-FREE, THE DIG SAFE CALL CENTER AT 1-888-344-7233 (1-888-DIG-SAFE) SEVENTY-TWO HOURS PRIOR TO EXCAVATION.
- 4) SITE PLAN INFORMATION PROVIDED BY J.M. GRENIER ASSOCIATES INC.

DATUM PLANE RELATIONSHIP

NAVD 88	
TOWN OF NEEDHAM	106.41
PROJECT DATUM	85.96

I CERTIFY THAT THE PARCEL SHOWN HEREON LIES WITHIN A ZONE "X", AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF NEEDHAM, MASSACHUSETTS, COMMUNITY PANEL NO. 255215 0036 E, MAP NUMBER 25021C 0036 E EFFECTIVE DATE: JULY 17, 2012.



BRADLEY J. SIMONELLI ~ P.L.S.
DATE: NOVEMBER 5, 2020

SHEET 3 OF 8
LAYOUT PLAN
SHOWING PROPOSED STRUCTURE
400 HUNNEWELL STREET
NEEDHAM, MASS.

Field Resources, Inc.
LAND SURVEYORS

MARCH 5, 2020 SCALE 1"=20'
P.O. BOX 324 281 CHESTNUT ST.
AUBURN, MA NEEDHAM, MA.
508 832 4332 781 444 5936
fieldresources@hotmail.com

JOB NO. 122-19

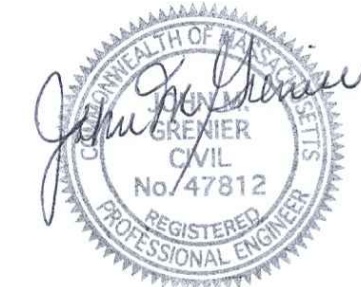
REVISED: NOVEMBER 5, 2020
REVISED: APRIL 6, 2020

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ZONING INFORMATION: HILLSIDE AVENUE BUSINESS		
	REQUIRED	PROPOSED
MINIMUM LOT AREA	10,000 SF	20,123 SF
MINIMUM LOT FRONTAGE	80 FEET	104.31 FEET
MINIMUM FRONT SETBACK	20 FEET	20.0 FEET
MINIMUM SIDE SETBACK	0.0'	3.0' FEET(STOOP) .8.3' FEET(FACE)
MINIMUM DRIVEWAY OPENING	18 FEET*	24 FEET
MAXIMUM DRIVEWAY OPENING	25 FEET	24 FEET
MAXIMUM FLOOR AREA RATIO	0.7	
MAXIMUM UNITS	8	8 UNITS
MAXIMUM BUILDING HEIGHT	35 FEET	29± FEET
MAXIMUM BUILDING HEIGHT	2 1/2 STORIES	2 1/2 STORIES

PROPERTY REFERENCE
BOOK 38324 PAGE 432
PLAN 164 OF 1975

ZONING REFERENCE
ASSESSORS MAP 99, PARCEL 3
ZONING DISTRICT: HAB



LEGEND:

	EXISTING PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING CONTOUR - HIGH
	EXISTING CONTOUR - LOW
	PROPOSED CONTOUR - HIGH
	PROPOSED CONTOUR - LOW
	EXISTING EDGE PAVEMENT
	EXISTING CURB
	PROPOSED EDGE OF PAVEMENT
	PROPOSED CURB
	EXISTING DRAIN LINE
	PROPOSED DRAIN LINE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SEWER LINE
	PROPOSED SEWER LINE
	EXISTING OVERHEAD WIRES
	PROPOSED UNDERGROUND ELECTRIC
	PROPOSED EROSION CONTROL
	ZONE LINE

(IN FEET)
1 inch = 20 ft.

[illegible]

REV. NO.	DATE	REVISION
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TITLE:

SITE PLAN
FOR
400 HUNNEWELL STREET
NEEDHAM, MASSACHUSETTS 02494

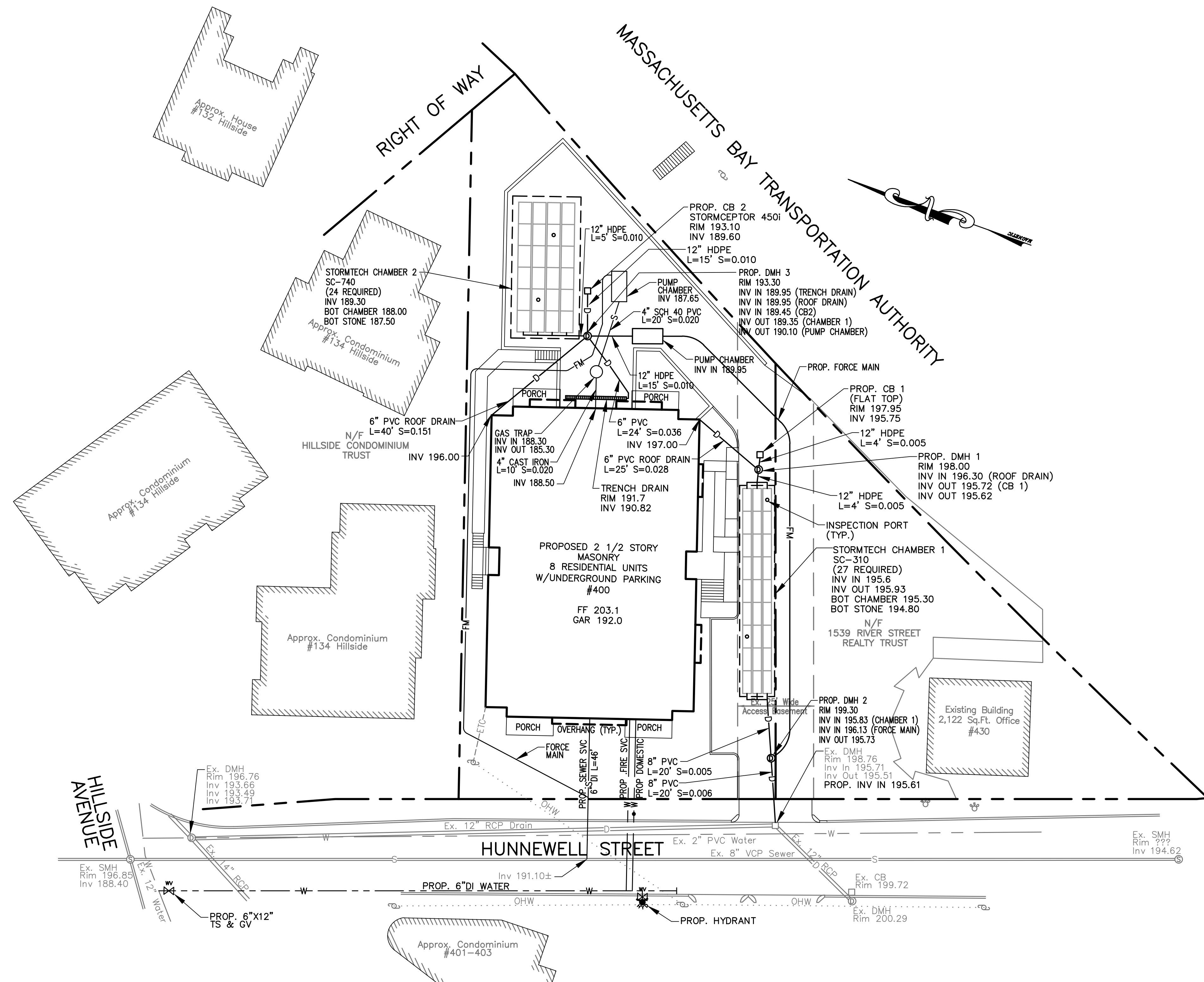
PREPARED FOR:
400 HUNNEWELL STREET, LLC
14A BROOKS STREET
WELLESLEY, MASSACHUSETTS 02482

PREPARED BY:
J.M. GRENIER ASSOCIATES INC.
325 DONALD LYNCH BOULEVARD SUITE 100
MARLBOROUGH, MASSACHUSETTS 01752

TELE NO.: (508) 845-2500 SCALE: 1" = 20' DATE: NOVEMBER 2, 2020	
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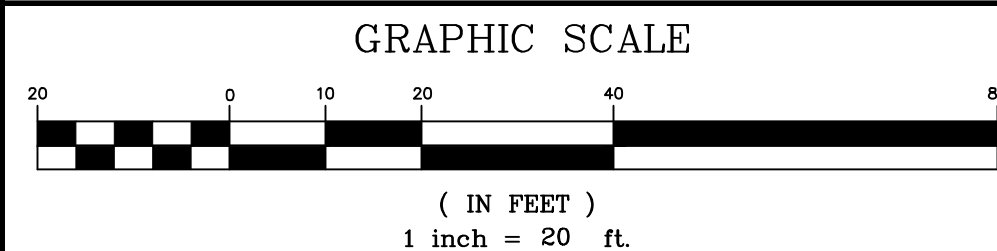
GRADING AND DRAINAGE PLAN

SHEET NO.:	PROJECT NO.:
SHEET 4 OF 8	G-597



- LEGEND:**
- EXISTING PROPERTY LINE
 - EXISTING EASEMENT LINE
 - EXISTING CONTOUR - HIGH
 - EXISTING CONTOUR - LOW
 - PROPOSED CONTOUR - HIGH
 - PROPOSED CONTOUR - LOW
 - EXISTING EDGE PAVEMENT
 - EXISTING CURB
 - PROPOSED EDGE OF PAVEMENT
 - PROPOSED CURB
 - EXISTING DRAIN LINE
 - PROPOSED DRAIN LINE
 - EXISTING WATER LINE
 - PROPOSED WATER LINE
 - EXISTING SEWER LINE
 - PROPOSED SEWER LINE
 - EXISTING OVERHEAD WIRES
 - PROPOSED UNDERGROUND ELECTRIC
 - PROPOSED EROSION CONTROL
 - ZONE LINE

- NOTES:**
- ALL TRENCHES WITHIN HUNNEWELL STREET AND HILLSIDE AVENUE SHALL BE BACKFILLED AS REQUIRED BY THE TOWN OF NEEDHAM.
 - EXISTING CATCH BASIN SHALL BE PROTECTED WITH INLET PROTECTION AT ALL TIMES UNTIL THE SITE IS FULLY STABILIZED.
 - SEWER SHALL BE INSTALLED WITH A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FROM ALL WATER SUPPLY LINES. WHEN A 10 FOOT SEPARATION CANNOT BE MAINTAINED THE WATER MAIN SHALL BE INSTALLED IN A SEPARATE TRENCH ABOVE THE SEWER WITH AN 18 INCH VERTICAL SEPARATION BETWEEN THE CROWN OF THE SEWER AND THE INVERT OF THE WATER MAIN. ADEQUATE VERTICAL SEPARATION OF WATER/SEWER CROSSING SHALL BE CONFIRMED.
 - SIZE OF FIRE SERVICE LINE AND DOMESTIC WATER LINE TO BE DETERMINED.
 - CONTRACTOR SHALL CONTACT DIG SAFE AT 1-888-344-7233 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION.
 - CONTRACTOR SHALL FIELD VERIFY DIMENSIONS AND CONDITIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 - SHOULD FIELD CONDITIONS VARY FROM THOSE SHOWN, ENGINEER SHALL BE CONTACTED PRIOR TO COMMENCEMENT OF SITE CONSTRUCTION.



REV. NO.	DATE	REVISION

TITLE:

**SITE PLAN
FOR
400 HUNNEWELL STREET
NEEDHAM, MASSACHUSETTS 02494**

PREPARED FOR:

**400 HUNNEWELL STREET, LLC
14A BROOKS STREET
WELLESLEY, MASSACHUSETTS 02482**

PREPARED BY:

**J.M. GRENIER ASSOCIATES INC.
325 DONALD LYNCH BOULEVARD SUITE 100
MARLBOROUGH, MASSACHUSETTS 01752**

TELE. NO.: (508) 845-2500

SCALE: 1" = 20'

DATE: NOVEMBER 2, 2020

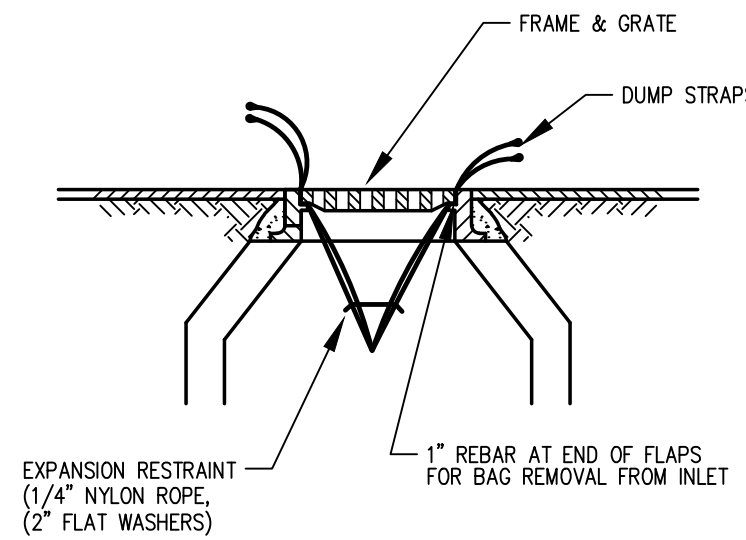
UTILITY PLAN

SHEET NO.: SHEET 5 OF 8

PROJECT NO.: G-597



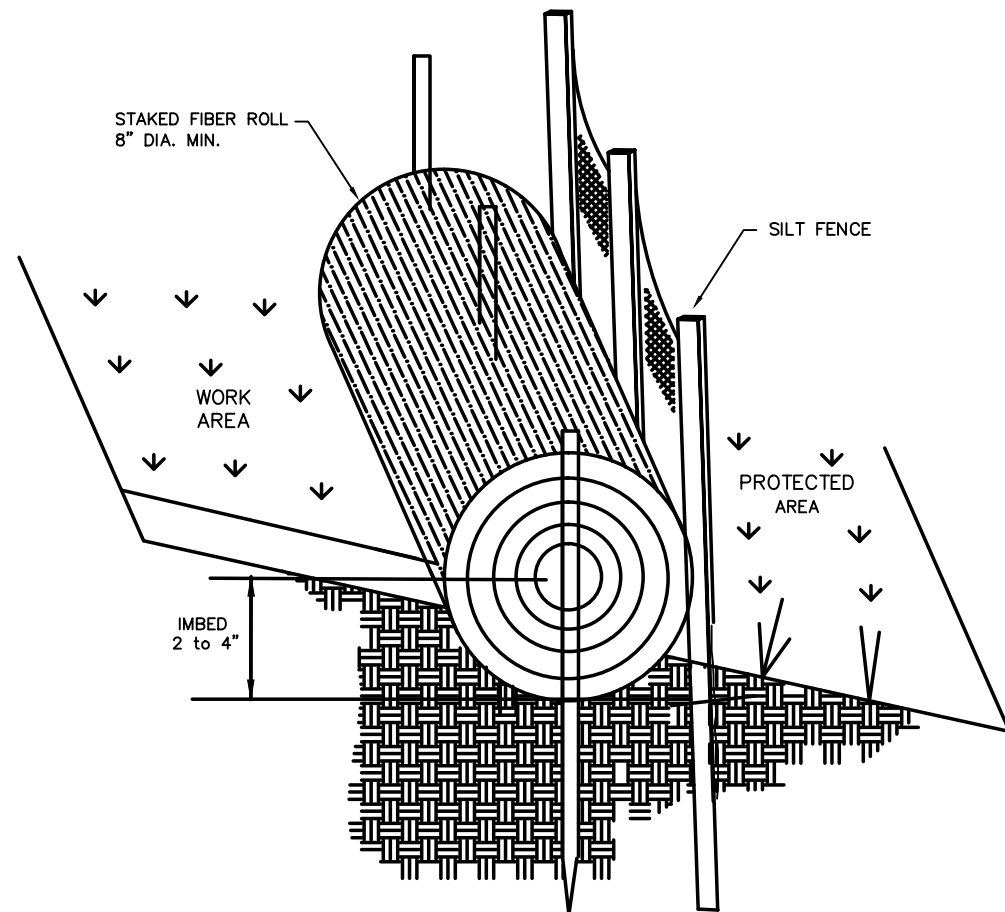
11/2/20



NOTE:
BAGS SHOULD BE CLEANED OUT
AFTER EVERY RAIN EVENT AND/OR
AS NEEDED.

SILT SACK DETAIL

NOT TO SCALE



SILT FENCE/STRAW WATTLE BARRIER DETAIL

NOT TO SCALE

- Seeding and repairs shall be performed as required. Sediment and debris shall be removed at least once a year, typically in early spring prior to the commencement of the growing season.
- The catch basins throughout the entire site shall be inspected annually. Unit shall be cleaned when accumulated sediments reach a depth of 6 inches. Accumulated sediment must be disposed of in accordance with applicable local state, and federal guidelines and regulations. The contractor will be responsible for the maintenance of the unit until such time as the site work is complete. The maintenance will then be the responsibility of the owner(s).
- The Stormceptor unit shall be inspected and cleaned as recommended by the manufacturer.
- The subsurface chambers shall be inspected after every major storm for the first 3 months to ensure proper stabilization and function. The chambers shall be inspected once per year after that. Water levels should be inspected and recorded for several days after a major storm event to track infiltration capability.
- The contractor will be responsible for the maintenance of all drainage structures and until such time as the site work is complete. The maintenance will then be the responsibility of the property owners.

STORMWATER COLLECTION & TREATMENT SYSTEM INSPECTION & MAINTENANCE GUIDELINES

GENERAL:

- THIS PLAN IS INTENDED TO PROVIDE GUIDANCE AND INSTRUCTION TO THE TOWN OF NEEDHAM AND THE CONTRACTOR(S) IN THE PREVENTION OF EROSION AND SEDIMENTATION OFF SITE. THIS PLAN IS INTENDED TO ALLOW ANY CONDITIONS OF APPROVAL TO BE MORE SPECIFIC IN ADDRESSING ITEMS OF CONCERN. IF CONDITIONS BY THE TOWN OF NEEDHAM ARE IN CONFLICT WITH REQUIREMENTS AS SPECIFIED ON THE PLANS CONDITIONS AS SPECIFIED BY THE TOWN OF NEEDHAM SHALL SUPERSEDE THE REQUIREMENTS SPECIFIED ON THESE PLANS.

PRE-CONSTRUCTION:

- AN EROSION CONTROL BARRIER (SEE BELOW) SHALL BE INSTALLED AS DEPICTED ON THE PLANS, BETWEEN THE AREAS TO BE DISTURBED AND RECEIVING DRAINAGE WAY AND STRUCTURES. THIS BARRIER SHALL REMAIN IN PLACE UNTIL ALL TRIBUTARY SURFACES HAVE BEEN FULLY STABILIZED. THE EROSION CONTROL BARRIERS AS SHOWN ON THE PLANS ARE THE MINIMUM PROTECTIVE MEASURES REQUIRED TO PROTECT THE ON AND OFF SITE DRAINAGE SYSTEMS.
- THE CONTRACTOR SHALL ESTABLISH A STAGING AREA AS SHOWN ON THE PLAN FOR THE OVERNIGHT STORAGE OF EQUIPMENT AND STOCKPILING OF MATERIALS.
- IN THE STAGING AREA, THE CONTRACTOR SHALL HAVE A STOCKPILE OF MATERIALS REQUIRED TO CONTROL EROSION ON-SITE TO BE USED TO SUPPLEMENT OR REPAIR EROSION CONTROL DEVICES. THESE MATERIALS SHALL INCLUDE, BUT ARE NOT LIMITED TO: HAY BALES, SILT FENCE AND CRUSHED STONE.
- THE CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL ON & OFF SITE AND SHALL UTILIZE EROSION CONTROL MEASURES WHERE NEEDED, REGARDLESS OF WHETHER THE MEASURES ARE SPECIFIED HEREIN, ON THE PLAN OR IN ANY ORDER OF CONDITIONS.

PRELIMINARY SITE WORK:

- MATERIAL REMOVED SHOULD BE STOCKPILED, SEPARATING THE TOPSOIL FOR FUTURE USE ON THE SITE OR IN A SECURED OFF SITE AREA APPROVED BY THE OWNER. EROSION CONTROLS SHALL BE UTILIZED ALONG THE DOWN SLOPE OF THE PILES IF THE PILES ARE TO REMAIN FOR MORE THAN THREE WEEKS.
- IF INTENSE RAINFALL IS ANTICIPATED, THE INSTALLATION OF SUPPLEMENTAL HAY BALE DIKES, SILT FENCES, OR ARMORED DIKES SHALL BE UTILIZED.
- IF THE SITE CONSTRUCTION OCCURS AT ANY TIME OTHER THAN THE APRIL - DECEMBER CONSTRUCTION SEASON, ALL DRAINAGE SYSTEMS TEMPORARY OR PERMANENT SHALL MAINTAIN TO ENSURE ADEQUATE HYDRAULIC CAPACITY, AND DRAINING CHARACTERISTICS.

EROSION CONTROL MEASURES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT EROSION AND SEDIMENTATION ARE CONTROLLED. THIS PLAN SHALL BE ADAPTED TO FIT THE CONTRACTOR'S EQUIPMENT, WEATHER CONDITIONS, AND ANY CONDITIONS ISSUED BY THE TOWN OF NEEDHAM.
- THE MOST IMPORTANT ASPECTS OF CONTROLLING EROSION AND SEDIMENTATION ARE LIMITING THE EXTENT OF DISTURBANCE AND STABILIZING SURFACES AS SOON AS POSSIBLE. OF SECONDARY IMPORTANCE IN EROSION CONTROL IS THE LIMITING THE SIZE AND LENGTH OF THE TRIBUTARY DRAINAGE AREA WITHIN THE WORK SITE AND DRAINAGE STRUCTURES. THESE FUNDAMENTAL PRINCIPLES SHALL BE THE KEY FACTOR IN THE CONTRACTOR'S CONTROL OF EROSION ON THE SITE.
- THE EXISTING SOIL CONDITIONS PROVIDE THE POTENTIAL OF RUNOFF TO OFF-SITE AREAS WITH EROSION POTENTIAL.
- ALL DISTURBED SURFACES SHALL BE STABILIZED A MINIMUM OF 14 DAYS AFTER CONSTRUCTION IN ANY PORTION OF THE SITE HAS CEASED OR IS TEMPORARILY HALTED UNLESS ADDITIONAL CONSTRUCTION IS INTENDED TO BE INITIATED WITHIN 21 DAYS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ALL EROSION CONTROL DEVICES WITHIN THE LIMIT OF WORK. ALL EROSION CONTROL DEVICES SHALL BE REGULARLY INSPECTED. ANY SEDIMENTS REMOVED FROM THE CONTROL DEVICES SHALL BE DISPOSED OF.
- AT NO TIME SHALL SILT-LADEN WATER BE ALLOWED TO ENTER SENSITIVE AREAS (WETLANDS, OFF-SITE AREAS AND DRAINAGE SYSTEMS). ANY RUNOFF FROM DISTURBED SURFACES SHALL BE DIRECTED THROUGH SETTLING BASINS AND EROSION CONTROL BARRIERS PRIOR TO ENTERING ANY SENSITIVE AREAS.

GENERAL CONSTRUCTION REQUIREMENTS:

- ANY REFUELING OF CONSTRUCTION VEHICLES AND EQUIPMENT SHALL NOT TAKE PLACE INSIDE OF A 100 FOOT BUFFER ZONE, NEAR THE ENTRANCE TO ANY DRAINAGE SYSTEM AND SHALL NOT BE CONDUCTED IN PROXIMITY TO SEDIMENTATION BASINS.
 - NO ON-SITE DISPOSAL OF STUMPS, SOLID WASTE, INCLUDING CONSTRUCTION MATERIALS IS ALLOWED.
 - NO MATERIALS SHALL BE DISPOSED OF INTO THE WETLANDS, OR EXISTING/PROPOSED DRAINAGE SYSTEMS. ALL CONTRACTORS INCLUDING: CONCRETE SUPPLIERS, PAINTERS AND PLASTERERS, SHALL BE INFORMED THAT THE CLEANING OF EQUIPMENT IS PROHIBITED IN AREAS WHERE THE WASH-WATER WILL DRAIN DIRECTLY TO THE SITE.
 - THE CONTRACTOR SHALL UNDERTAKE ALL WORK TO LIMIT AIRBORNE SEDIMENTS, ONLY CLEAN, POTABLE WATER MAY BE USED TO CONTROL DUST.
- LANDSCAPING:**
- LANDSCAPING SHALL OCCUR AS SOON AS POSSIBLE TO PROVIDE PERMANENT STABILIZATION OF DISTURBED SURFACES.
 - CONTRACTOR SHALL UTILIZE A VARIETY OF SLOPE STABILIZATION METHODS AND MATERIALS WHICH SHALL BE ADJUSTED TO THE SITE CONDITIONS. EROSION CONTROL BLANKETS OR MIRAFI MIRAMAT (OR SIMILAR PRODUCTS) SHALL BE AVAILABLE ON SITE.
 - IF THE SEASON OR ADVERSE WEATHER CONDITIONS DO NOT ALLOW THE ESTABLISHMENT OF VEGETATION, TEMPORARY MULCHING WITH HAY, TACKLED WOOD CHIPS OR OTHER METHODS SHALL BE PROVIDED.
 - ALL DISTURBED SURFACES TO BE PLANTED SHALL RECEIVE A MINIMUM OF 6" TOPSOIL SHALL BE PLACED AND ITS SURFACE SMOOTHED TO THE SPECIFIED GRADES.
 - ALL SLOPES OF 2:1 OR GREATER SHALL BE STABILIZED WITH EROSION CONTROL FABRIC.
 - TO ENSURE A DENSE, SUCCESSION GROWTH, SEED IS REQUIRED ON ALL DISTURBED SURFACES.

CONSTRUCTION SEQUENCING:

- SELECTIVELY CUT TREES AND CLEAR BRUSH TO BE CHIPPED AND HAULED OFF SITE.
- STAKE LOCATION OF AND INSTALL EROSION CONTROL BARRIER, AS DELINEATED ON SITE PLAN.
- DEMOLISH EXISTING BUILDING.
- STRIP TOP AND SUBSOIL AS NECESSARY IN WORK AREA. STOCKPILE MATERIAL ON FRONT PORTION OF LOT FOR BACKFILLING PURPOSES AT COMPLETION OF FOUNDATION CONSTRUCTION.
- FORM AND POUR FOUNDATION FOR NEW BUILDING.
- BACKFILL FOUNDATION AREAS AS NECESSARY.
- CONSTRUCT BUILDING.
- INSTALL STORMWATER MANAGEMENT SYSTEM. NOTE THAT CATCH BASINS SHALL BE COVERED WITH PLYWOOD UNTIL DRIVEWAY HAS BEEN PAVED AND SITE STABILIZED.
- CONSTRUCT DRIVEWAY AND LOAM AND SEED DISTURBED AREAS.
- ALL EXCESS MATERIALS TO BE REMOVED FROM THE SITE AS SOON AS PRACTICAL.
- ALL GRADED AREAS TO BE LANDSCAPED, LOAMED AND SEED AS SOON AS PRACTICAL TO REDUCE ANY POTENTIAL EROSION.

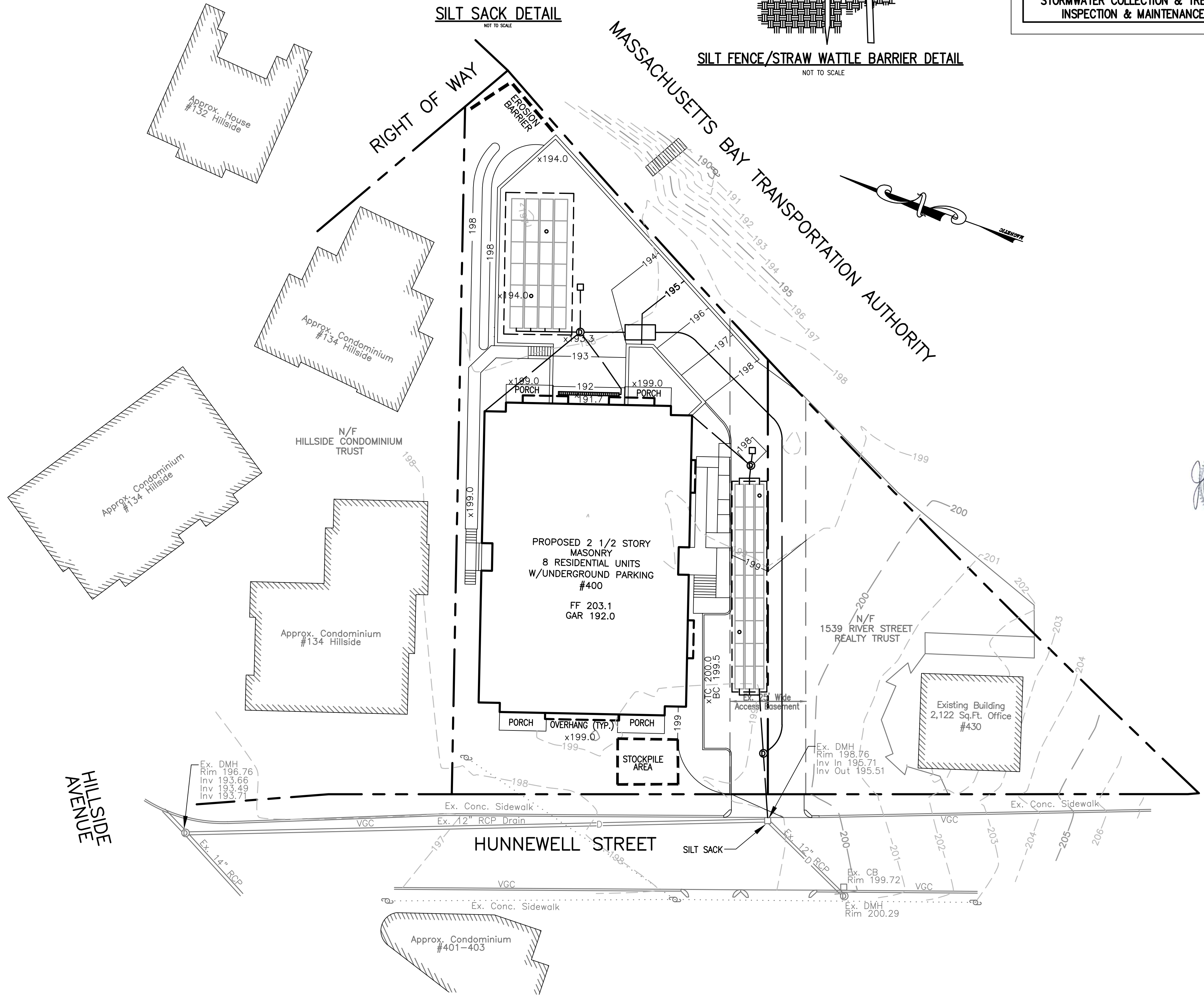
NOTE: PROCESSES AS DESCRIBED ABOVE ARE ESTIMATED TO TAKE 9 MONTHS. WINTER CONDITIONS MAY AFFECT THIS SCHEDULE.

LEGEND:

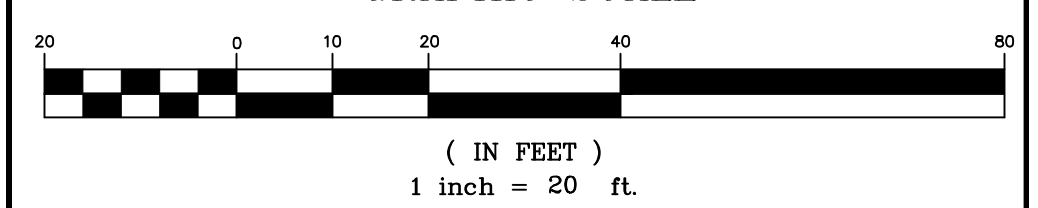
- EXISTING PROPERTY LINE
- EXISTING EASEMENT LINE
- EXISTING CONTOUR - HIGH
- EXISTING CONTOUR - LOW
- PROPOSED CONTOUR - HIGH
- PROPOSED CONTOUR - LOW
- EXISTING EDGE PAVEMENT
- EXISTING CURB
- PROPOSED CURB
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CURB
- EXISTING DRAIN LINE
- PROPOSED DRAIN LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING SEWER LINE
- PROPOSED SEWER LINE
- EXISTING OVERHEAD WIRES
- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED EROSION CONTROL
- ZONE LINE



11/2/20



GRAPHIC SCALE



REV. NO.	DATE	REVISION

TITLE:

**SITE PLAN
FOR
400 HUNNEWELL STREET
NEEDHAM, MASSACHUSETTS 02494**

PREPARED FOR:

**400 HUNNEWELL STREET, LLC
14A BROOKS STREET
WELLESLEY, MASSACHUSETTS 02482**

PREPARED BY:

**J.M. GRENIER ASSOCIATES INC.
325 DONALD LYNCH BOULEVARD SUITE 100
MARLBOROUGH, MASSACHUSETTS 01752**

TELE NO.: (508) 845-2500

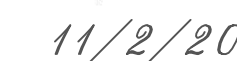
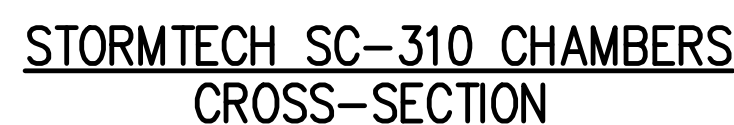
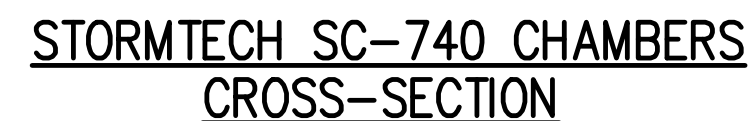
SCALE: 1" = 20'

DATE: NOVEMBER 2, 2020

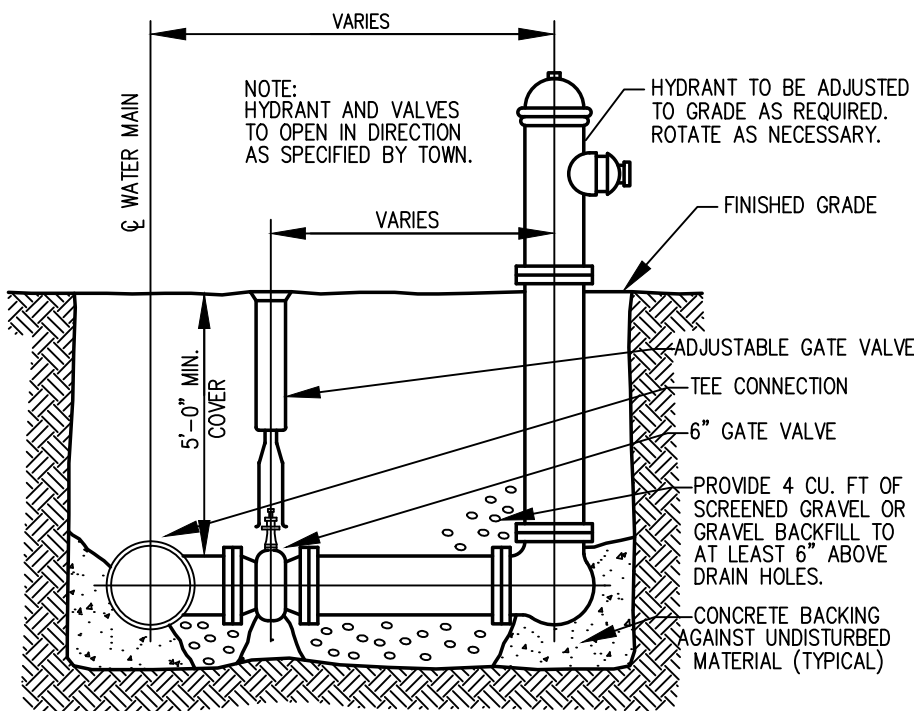
EROSION & SEDIMENTATION CONTROL PLAN

SHEET NO.: SHEET 6 OF 8

PROJECT NO.: G-597



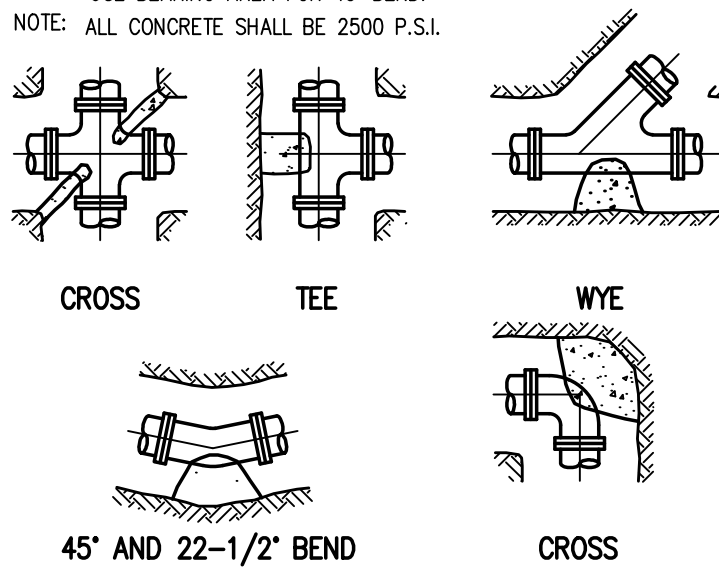
REV. NO.	DATE	REVISION
TITLE: SITE PLAN FOR 400 HUNNEWELL STREET NEEDHAM, MASSACHUSETTS 02494		
PREPARED FOR: 400 HUNNEWELL STREET, LLC 14A BROOKS STREET WELLESLEY, MASSACHUSETTS 02482		
PREPARED BY: J.M. GRENIER ASSOCIATES INC. 325 DONALD LYNCH BOULEVARD SUITE 100 MARLBOROUGH, MASSACHUSETTS 01752		
TELE NO.: (508) 845-2500		
SCALE: AS SHOWN	DATE: NOVEMBER 2, 2020	
DETAIL PLAN 1/2		
SHEET NO.: SHEET 7 OF 8	PROJECT NO.: G-597	



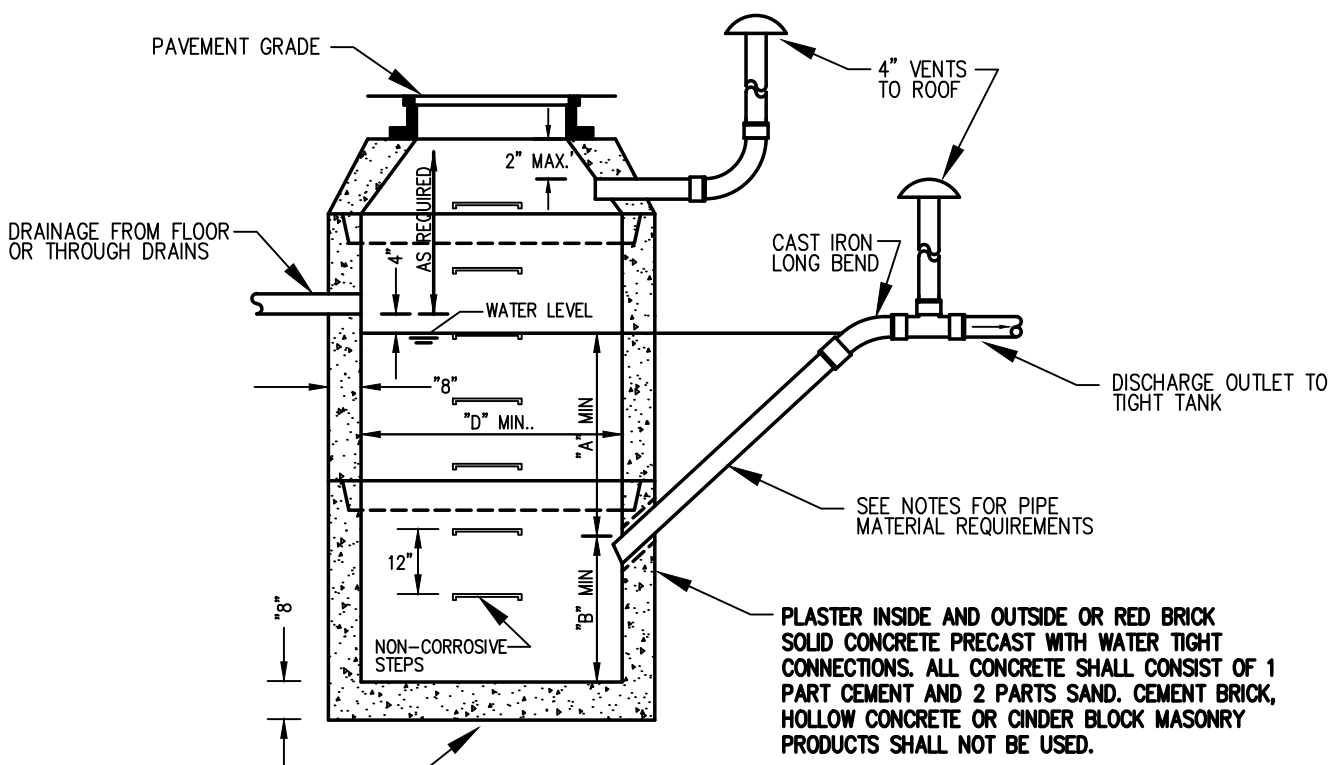
HYDRANT AND VALVE DETAIL WITH
RESTRAINED JOINT HYDRANT TEE

TABLE OF BEARING AREA IN SQ. FT. AGAINST UNDISTURBED SOIL			
SIZE OF MAIN	90 DEGREE BEND	TEE & PLUG	45 DEGREE BEND
6"	10	8	6
8"	16	12	10
10"	26	19	15
12"	36	26	20

NOTE: FOR FITTINGS W/ LESS THAN 45° DEFLECTION
USE BEARING AREA FOR 45° BEND.
NOTE: ALL CONCRETE SHALL BE 2500 P.S.I.



THRUST BLOCK SCHEDULE
NOT TO SCALE



GAS OIL & WATER SEPARATOR
NOT TO SCALE

PIPE MATERIAL NOTES:

- NO-HUB CAST IRON WITH PRODUCT-APPROVED STAINLESS STEEL CLAMPS.
- SERVICE WEIGHT CAST IRON WITH PRODUCT-APPROVED RESILIENT GASKETS OR LEAD AND OAKUM JOINTS.
- EXTRA HEAVY CAST IRON WITH PRODUCT APPROVED RESILIENT GASKETS OR LEAD AND OAKUM JOINTS.

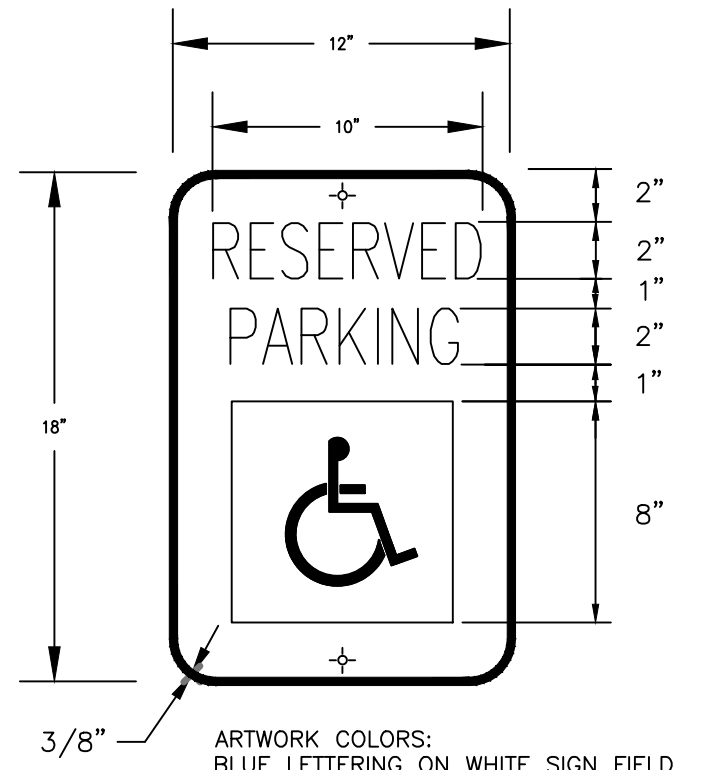
GENERAL CONSTRUCTION NOTES:

- THE SEPARATOR IS TO BE LOCATED OUTSIDE OF A BUILDING WHERE POSSIBLE AND THE COVER TO INCORPORATE A CENTER HOLE. A SEALED TIGHT COVER IS TO BE USED IF THE SEPARATOR IS LOCATED INSIDE OF A BUILDING. THE COVER SHALL BE NO LESS THAN A 24" DIAMETER. THE SEPARATOR SHALL BE LOCATED AND CONSTRUCTED TO PREVENT SURFACE OR SUB-SURFACE WATER FROM ENTERING THE INLET PIPE. THE SEPARATOR SHALL BE NO LESS THAN FOUR INCHES ABOVE THE WATER LINE LEVEL. WHEN THE SEPARATOR IS SUBJECT TO FREEZING IT SHALL BE SET A MINIMUM OF THREE FEET BELOW GRADE. THE NON-CORROSIVE STEPS SHALL BE PLACED AT 18" APART. THE CHAMBER VENT AND OUTLET VENT SHALL RETURN TO THE INSIDE OF THE BUILDING AND EXTEND THROUGH THE ROOF.
- IN OPEN PARKING GARAGES OR OPEN PARKING AREAS ONLY THE INLET PIPE MAY EXTEND BELOW THE WATER LINE A MAXIMUM DISTANCE OF 6".
- CIRCULAR BASINS ARE RECOMMENDED.

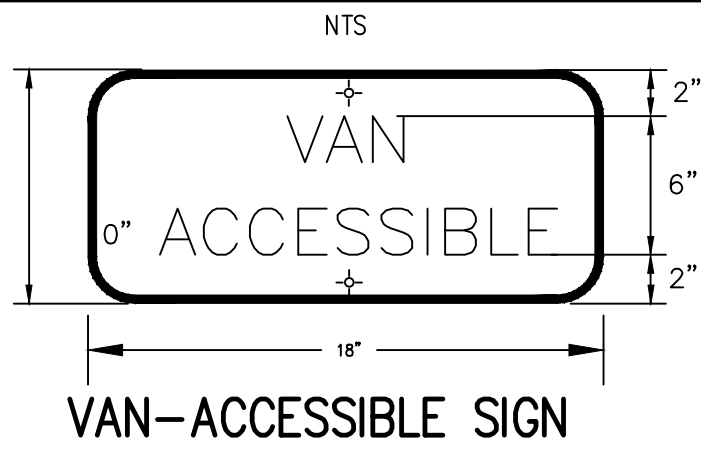
SIZING TABLE

INLET	D	A	B
4"	3'-6"	3'-0"	2'-6"
5"	3'-6"	5'-0"	4'-0"
	3'-6"x3'-6"	4'-0"	3'-0"
	4'-0"	3'-6"	3'-0"
	3'-6"x3'-6"	3'-0"	2'-6"
	4'-6"	3'-0"	2'-6"
6"	4'-0"	5'-0"	4'-6"
	4'-0"x4'-0"	4'-0"	3'-6"
	4'-6"	4'-0"	3'-6"
	4'-6"x4'-6"	3'-6"	3'-0"
	5'-0"	3'-6"	3'-0"
	5'-0"x5'-0"	3'-0"	2'-6"
8"	5'-0"	6'-0"	5'-0"
	5'-6"x5'-6"	4'-6"	4'-0"
	6'-0"	4'-0"	3'-6"
	6'-0"x6'-0"	3'-0"	2'-6"
	6'-6"	3'-6"	3'-0"
	6'-6"x6'-6"	3'-0"	2'-6"

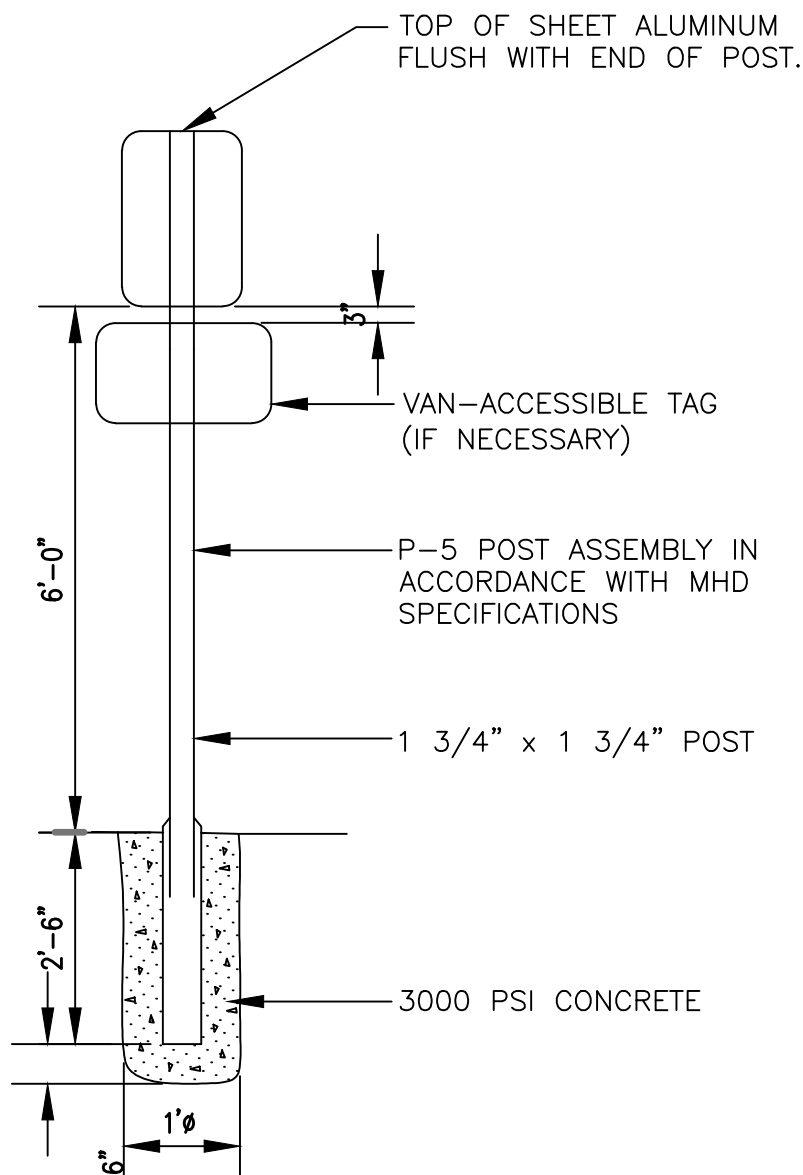
DRAINAGE FROM FLOOR
OR THROUGH DRAINS



SIGN DETAIL FOR HP PARKING



VAN-ACCESSIBLE SIGN



SIGN POST DETAIL

NTS



11/2/20

REV. NO.	DATE	REVISION
TITLE:		
SITE PLAN FOR 400 HUNNEWELL STREET NEEDHAM, MASSACHUSETTS 02494		
PREPARED FOR:		
400 HUNNEWELL STREET, LLC 14A BROOKS STREET WELLESLEY, MASSACHUSETTS 02482		
PREPARED BY:		
J.M. GRENIER ASSOCIATES INC. 325 DONALD LYNCH BOULEVARD SUITE 100 MARLBOROUGH, MASSACHUSETTS 01752 TEL. NO.: (508) 845-2500		
SCALE:	DATE:	
AS SHOWN	NOVEMBER 2, 2020	
DETAIL PLAN 2/2		
SHEET NO.:		PROJECT NO.:
SHEET 8 OF 8		G-597

SITE PLAN

FOR

400 HUNNEWELL STREET

NEEDHAM, MASSACHUSETTS 02494

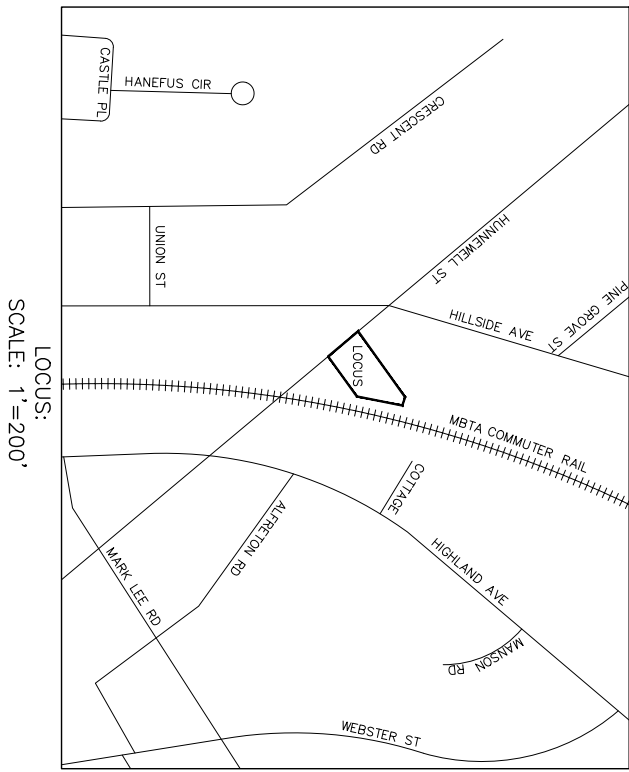
RECORD APPLICANT:
 400 HUNNEWELL STREET, LLC
 14A BROOKS STREET
 WELLESLEY, MA 02482

RECORD OWNER:
 400 HUNNEWELL STREET, LLC
 14A BROOKS STREET
 WELLESLEY, MA 02482

LAND PLANNERS-CIVIL ENGINEERS:
 J.M. GRENIER ASSOCIATES INC.
 325 DONALD LYNCH BOULEVARD SUITE 100
 MARLBOROUGH, MA 01752
 (508) 845-2500

LAND SURVEYORS:
 FIELD RESOURCES INC.
 281 CHESTNUT STREET
 NEEDHAM, MA 02492

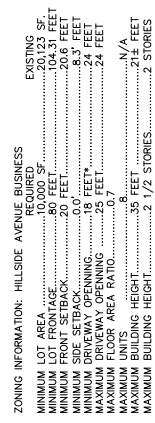
ZONING DISTRICT: HILLSIDE AVENUE BUSINESS (HAB)



INDEX	
DESCRIPTION	SHEET NUMBER
COVER	1 OF 8
EXISTING CONDITIONS PLANS	2 OF 8
LAYOUT PLAN	3 OF 8
GRADING AND DRAINAGE PLAN	4 OF 8
UTILITY PLAN	5 OF 8
EROSION & SEDIMENTATION	6 OF 8
CONTROL PLAN	7 OF 8
DETAIL PLAN	8 OF 8



REV. NO.	DATE	REVISION
SCALE: AS SHOWN	DATE: NOVEMBER 2, 2020	
COVER SHEET		
SHEET NO.: SHEET 1 OF 8	PROJECT NO.: G-597	



PROPERTY REFERENCE
BOOK 38324 PAGE 432
PLAN 164 OF 1975

ZONING REFERENCE
ASSESSORS MAP 99, PARCEL 3
ZONING DISTRICT: HAB

BRADLEY J. SIMONELLI ~ P.L.S.
DATE: NOVEMBER 5, 2020

SHEET 2 OF 8
EXISTING CONDITIONS
PLAN OF LAND
400 HUNNEWELL STREET
NEEDHAM, MASS.

Field Resources, Inc.
LAND SURVEYORS

MARCH 5, 2020
P.O. BOX 324
AUBURN, MA
508 832 4332
SCALE 1"=20'
281 CHESTNUT ST.
NEEDHAM, MA.
781 444 5936
fieldresources@hotmail.com

JOB NO. 122-19
REVISED: NOVEMBER 5, 2020
REVISED: APRIL 6, 2020

122-19

- 1) ELEVATIONS REFER TO PROJECT DATUM
- 2) CONTOUR INTERVAL, EQUALS ONE (1) FOOT.
- 3) UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND THE LATEST PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE APPROPRIATED RECORD PLANS AND CONNECTIONS. THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF THE PIPES SHOULD BE VERIFIED BY THE DUG SAFE CALL CENTER AT 1-888-344-7233 (1-888-800-SAFE) SEVENTY-TWO HOURS PRIOR TO EXCAVATION.

DATUM PLANE RELATIONSHIP	
NAVD 88	106.41
TOWN OF NEEDHAM	
PROJECT DATUM	85.96



- ### DATUM PLANE RELATIONSHIP

NAVD 88	106.41
TOWN OF NEEDHAM	
PROJECT DATUM	85.96

I CERTIFY THAT THE PARCEL SHOWN HEREON LIES WITHIN A ZONE "X", AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF NEEDHAM, MASSACHUSETTS, COMMUNITY PANEL NO. 255215 0036 E. MAP NUMBER 25021C 0036 E. EFFECTIVE DATE: JULY 17, 2012.



PROPERTY REFERENCE
BOOK 38324 PAGE 432
PLAN 164 OF 1975

ZONING REFERENCE
ASSESSORS MAP 99, PARCELS 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 8

ZONING INFORMATION: HILLSIDE AVENUE BUSINESS

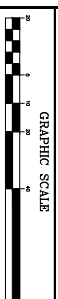
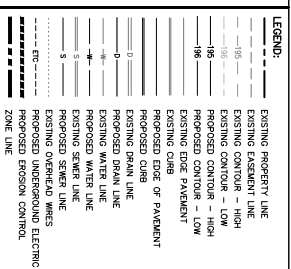
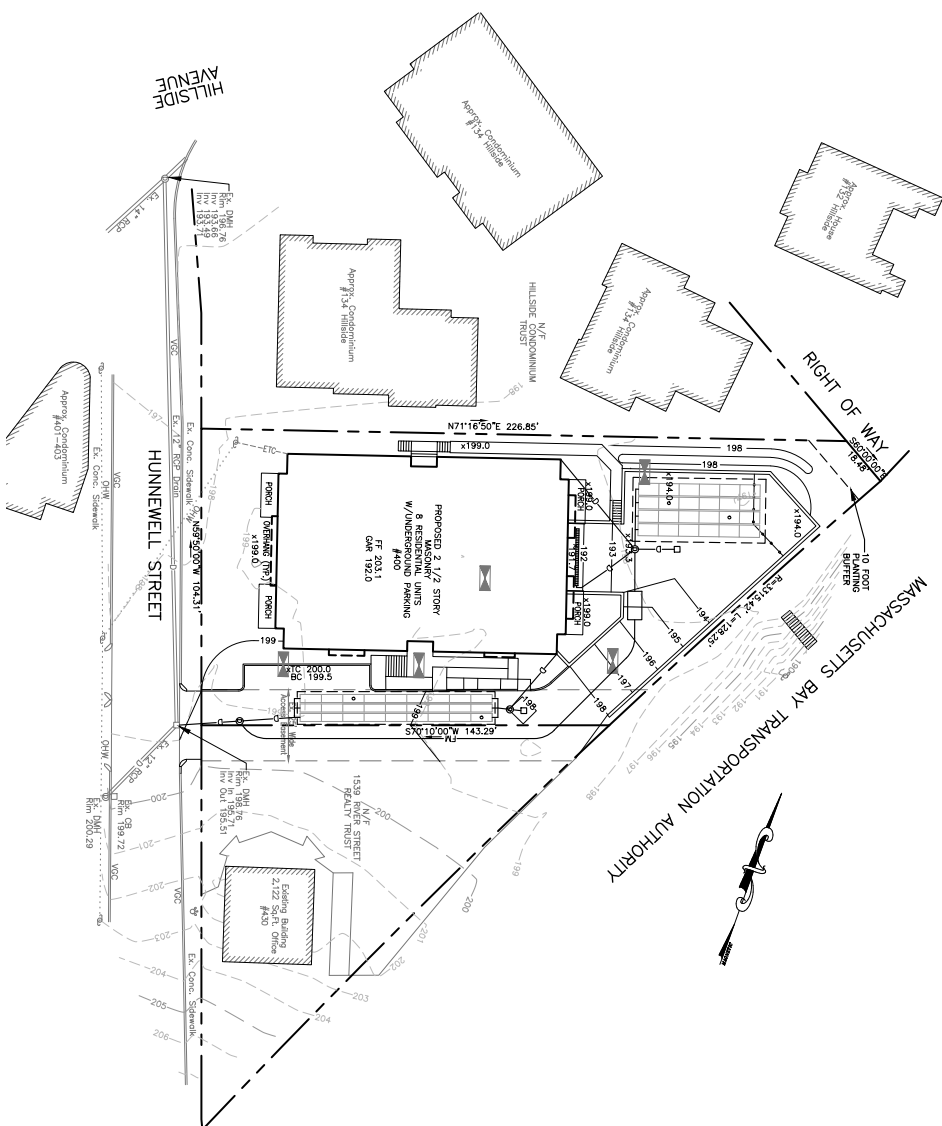
MINIMUM LOT AREA	10,000 SF	REQUIRED
MINIMUM LOT FRONTAGE	80 FEET	
MINIMUM FRONT SETBACK	20 FEET	
MINIMUM SIDE SETBACK	0.0'	
MINIMUM DRIVEWAY OPENING	18 FEET*	
MAXIMUM DRIVEWAY OPENING	25 FEET	
MAXIMUM FLOOR AREA RATIO	0.7	
MAXIMUM UNITS	8	
MAXIMUM BUILDING HEIGHT	35 FEET	
MAXIMUM BUILDING HEIGHT	2 1/2 STORIES	

Field Resources, Inc.
LAND SURVEYORS

MARCH 5, 2020 SCALE 1"=20'

P.O. BOX 324 281 CHESTNUT ST.
AUBURN, MA NEEDHAM, MA.
508 832 4332 781 444 5936
fieldresources@hotmail.com

JOB NO. 122-19
REVISED: NOVEMBER 5, 2020
REVISED: APRIL 6, 2020

[illegible]

400 HUNNEWELL STREET
NEEDHAM, MASSACHUSETTS 02494

PREPARED FOR:
400 HUNNEWELL STREET, LLC
14A BROOKS STREET
WELLESLEY, MASSACHUSETTS 02482

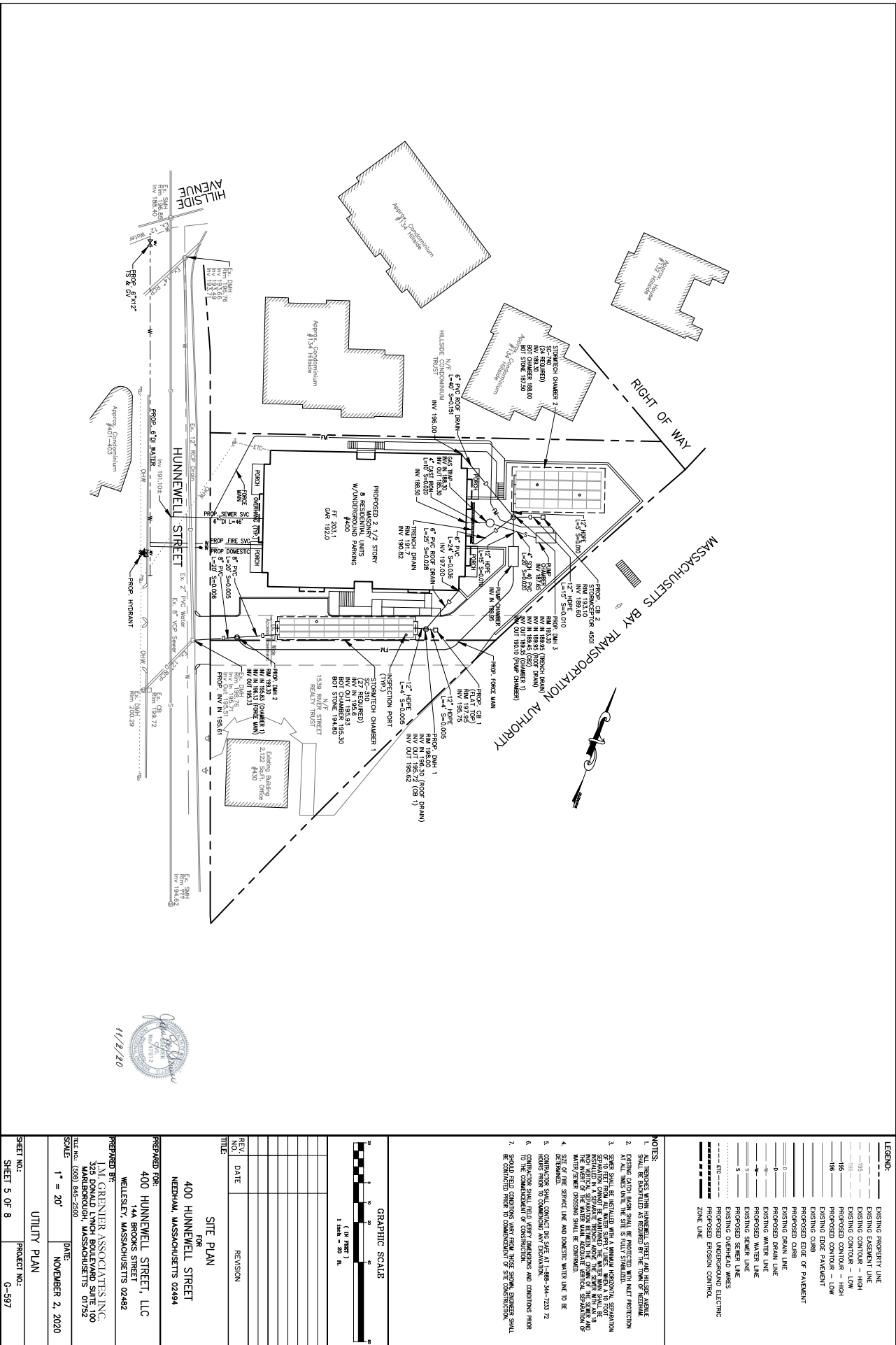
J.M. GRENIER ASSOCIATES INC.
325 DONALD LYNCH BOULEVARD SUITE 100
MARLBOROUGH, MASSACHUSETTS 01752
TELE NO.: (508) 845-2500

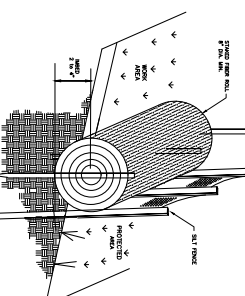
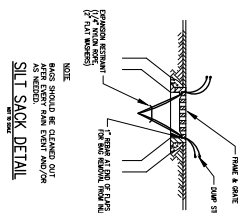
1" = 20'
NOVEMBER 2, 2020

GRADING AND DRAINAGE PLAN

SHEET 4 OF 8

G-597



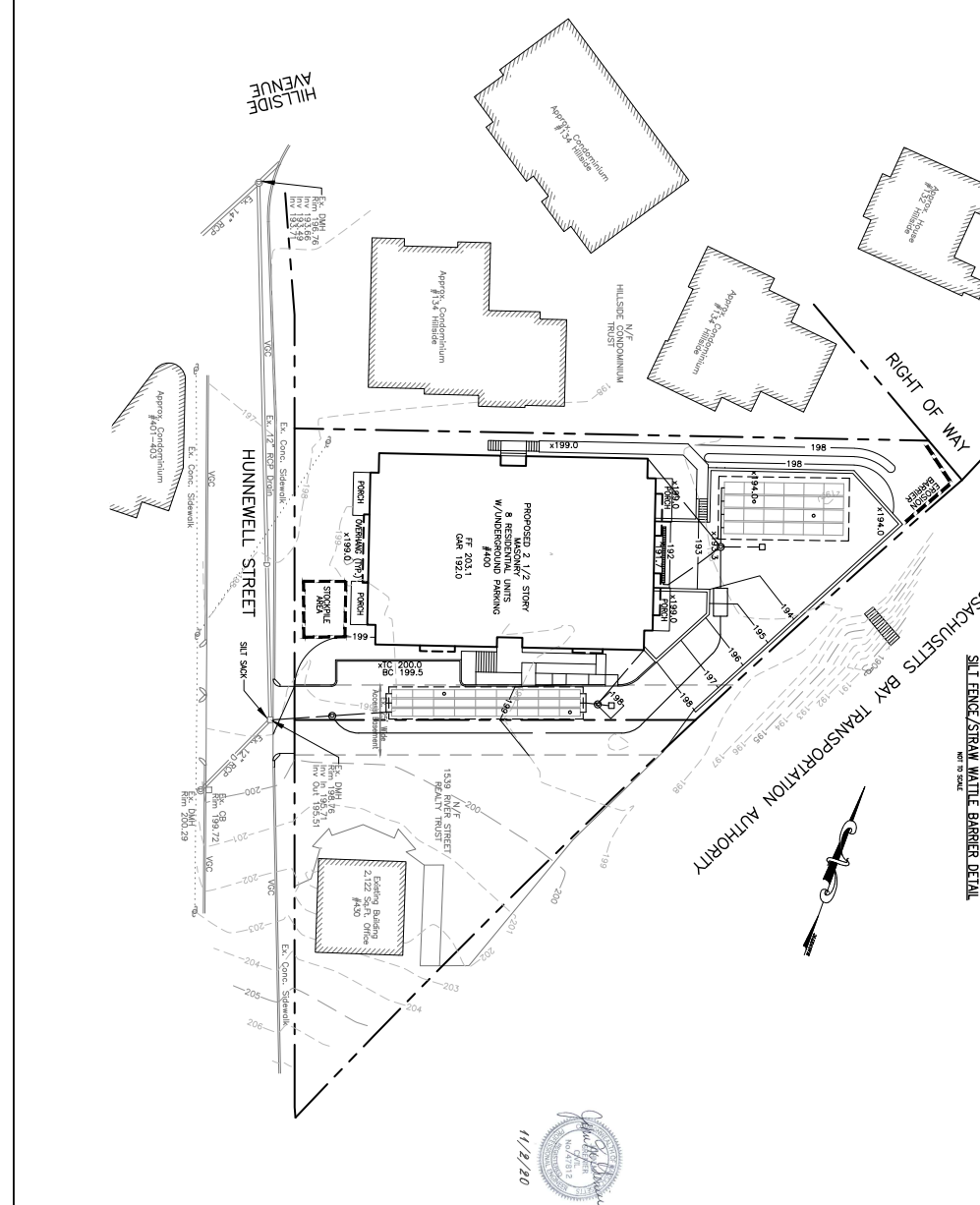


SILT FENCE/STRAW MATTIE BARRIER DETAIL

1. The silt fence shall be installed in a trench 12" deep and 12" wide. The straw matting shall be installed in a trench 12" deep and 12" wide. The silt fence shall be installed in a trench 12" deep and 12" wide. The straw matting shall be installed in a trench 12" deep and 12" wide.

STORMWATER COLLECTION & TREATMENT SYSTEM INSPECTION & MAINTENANCE GUIDELINES

1. The contractor shall be responsible for the maintenance of all drainage structures and shall be responsible for the maintenance of all drainage structures and shall be responsible for the maintenance of all drainage structures.



- CONSTRUCTION SEQUENCE:**
1. SELECTIVELY CUT TREES AND CLEAR BRUSH TO BE CHIPPED AND HAULED OFF SITE.
 2. STAKE LOCATION OF AND INSTALL EROSION CONTROL BARRIERS, AS REQUIRED.
 3. DEMOLISH EXISTING BUILDING.
 4. CONSTRUCTION OF FOUNDATION FOR NEW BUILDING.
 5. FORM AND POUR FOUNDATION FOR NEW BUILDING.
 6. BOORILL FOUNDATION AS NECESSARY.
 7. CONSTRUCT BUILDING.
 8. INSTALL STORMWATER MANAGEMENT SYSTEM, NOTE THAT CATCH BASINS SHALL BE INSTALLED WITH INVERTED STRAIN BARRIERS AND 200 MESH AND SITE STABILIZED.
 9. CONSTRUCT DRIVEWAY AND LOW AND SLOPE DISTURBED AREAS.
 10. ALL EXCESS MATERIALS TO BE REMOVED FROM THE SITE AS SOON AS PRACTICAL.
 11. ALL EXCESS MATERIALS TO BE REMOVED FROM THE SITE AS SOON AS PRACTICAL.
 12. ALL EXCESS MATERIALS TO BE REMOVED FROM THE SITE AS SOON AS PRACTICAL.
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 19. ALL EXCESS MATERIALS TO BE REMOVED FROM THE SITE AS SOON AS PRACTICAL.
 20. ALL EXCESS MATERIALS TO BE REMOVED FROM THE SITE AS SOON AS PRACTICAL.

GRAPHIC SCALE

1" = 20'

0 10 20 30 40 50 60 70 80 90 100

1 inch = 20' ft

LEGEND:

- EXISTING PROPERTY LINE
- EXISTING EASEMENT LINE
- EXISTING CONTOUR - HIGH
- EXISTING CONTOUR - LOW
- PROPOSED CONTOUR - HIGH
- PROPOSED CONTOUR - LOW
- EXISTING EDGE PAVEMENT
- EXISTING CURB
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CURB
- PROPOSED OPEN LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING SEWER LINE
- PROPOSED SEWER LINE
- EXISTING UNDERGROUND ELECTRIC
- PROPOSED UNDERGROUND ELECTRIC
- ZONE LINE

PREPARED FOR:

400 HUNNEWELL STREET, LLC

144 BROOKS STREET

WELLESLEY, MASSACHUSETTS 02462

PREPARED BY:

REINHART ASSOCIATES INC.

320 DONALD LYNCH BOULEVARD SUITE 100

MARLBOROUGH, MASSACHUSETTS 01752

DATE:

NOVEMBER 2, 2020

SCALE:

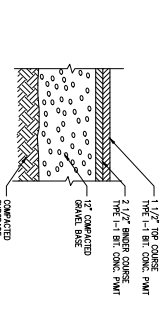
1" = 20'

SHEET NO.:

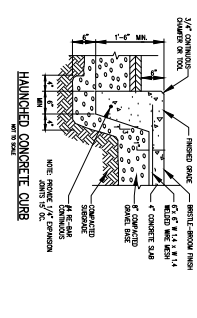
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PROJECT NO.:

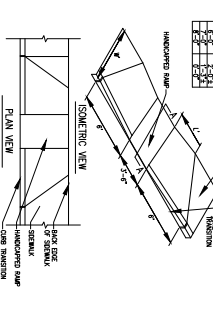
6-597



STANDARD BITUMINOUS CONCRETE PAVEMENT



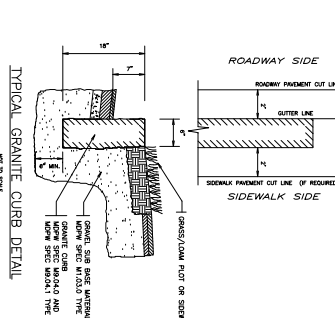
HAUNCHED CONCRETE CURB



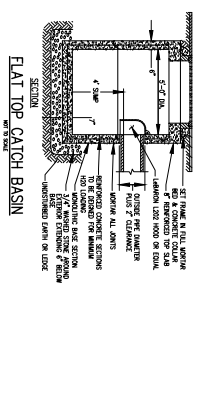
PRECAST CONCRETE STORMCEPTOR



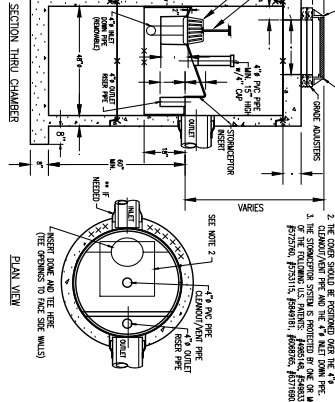
HANDICAP RAMP



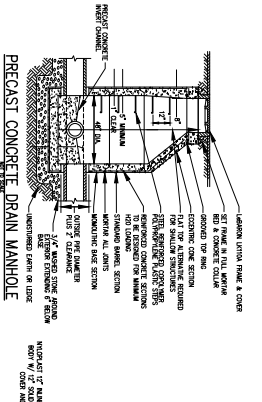
TYPICAL GRANITE CURB DETAIL



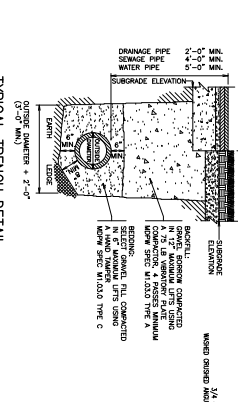
FLAT TOP CATCH BASIN



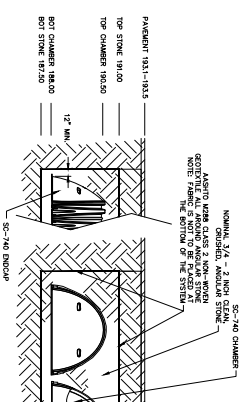
PRECAST CONCRETE STORMCEPTOR



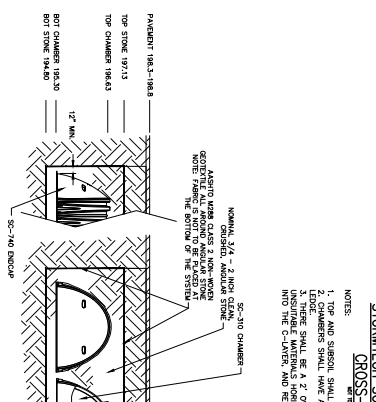
PRECAST CONCRETE DRAIN MANHOLE



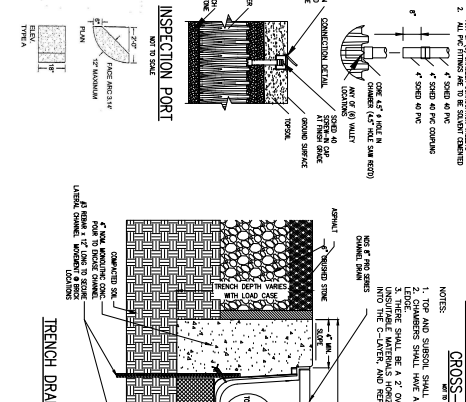
TYPICAL TRENCH DETAIL



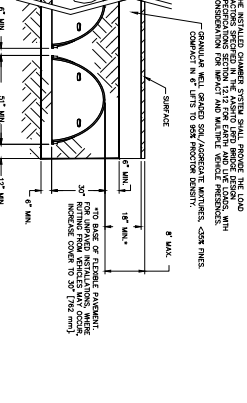
STORMTECH SC-740 CHAMBERS



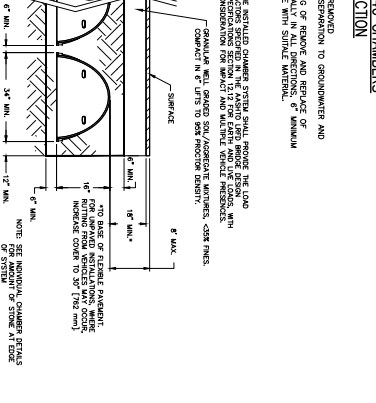
STORMTECH SC-310 CHAMBERS



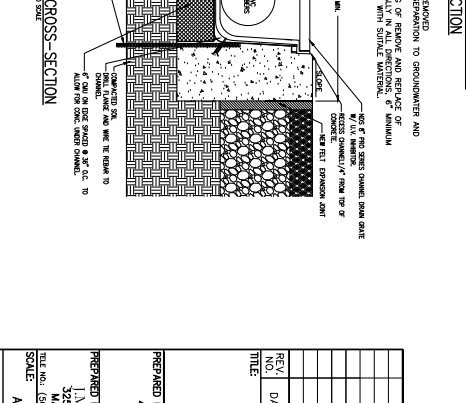
CORNER BLOCK DETAIL



STORMTECH SC-740 CHAMBERS



STORMTECH SC-310 CHAMBERS



TRENCH DRAIN CROSS-SECTION

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NOTE: ALL CONCRETE SHALL BE 2000 P.S.I.

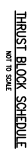
CROSS

TEE

WYE

45° AND 20-1/2° BEND

CROSS



NO-H.B CAST IRON WITH PRODUCT-APPROVED STAINLESS STEEL CLAMPS.

SEPARATOR IS TO BE LOCATED OUT
WHERE POSSIBLE AND THE COVER TO IN

SEWAGE FROM FLOORS
OR THROUGH DRAINS

SIGN DETAIL FOR HP PARKING



400 HUNNEWELL

Needham, MA

PERMIT SET - Nov, 05 2020



400 HUNNEWELL STREET

ZONING LEGEND:

REV: 06-24-2016

ZONING DISTRICT: HILLSIDE AVENUE BUSINESS DISTRICTS

CATEGORY	REQUIRED	EXISTING	PROPOSED
USE	N/A	OFFICE BUILDING	RESIDENTIAL (8-UNITS)
MINIMUM LOT SIZE	10,000	20,123 SQ. FT.	20,123 SQ. FT.
MINIMUM LOT FRONTAGE	80'	104.31'	104.31'
MAX GROSS AREA	14,086	8,520	14,076
MAX FLOOR AREA RATIO	0.7	0.4	0.7
MINIMUM FRONT YARD SETBACK	20'	21'	21'
MINIMUM SIDE YARD SETBACK	N/A	8.3'	8.3'
MINIMUM REAR YARD SETBACK	N/A	99.5'	80'
MAX BUILDING HEIGHT	35'	8,534 +/-	29'
MAX BUILDING HEIGHT	2 1/2 STORIES	2 STORIES	2 1/2 STORIES
PARKING			
a. EXISTING OFFICE	a. 28.45 (1/300)	30 SPACES	
b. PROPOSED RESIDENTIAL	b. 12 (1.5 Units)		23 SPACES



PROJECT DIRECTORY

OWNER:	400 Hunnewell Street, llc 14A Brooks Street Wellesley, MA 02482
ARCHITECT:	Duckham Architecture & Interiors 53 Central Avenue Needham, MA 02494 T. (781) 449-4109 Contact: Kent Duckham
LANDSCAPE ARCHITECT:	Verdant Landscape Architecture 318 Harvard St #25 Brookline, MA 02446 T. (6171) 735-1180 Contact:
CIVIL/SITE SURVEY:	Field Resources Land Surveyor 281 Chestnut St #1 Needham, MA 02492 T. (781) 444-5936 Contact:
STRUCTURAL ENGINEER:	Dov Kirstajn, P.E. Structural Consultant 103 Beaumont Ave Newton, Ma 02460 (617) 969-3539 dkirstajn@gmail.com
MECHANICAL ELECATRICAL FIRE PROTECTION	LVR Corporation 88 Foundry Street Wakefield, Ma 01880 P 781-245-9888 C 617-719-2119 Contact: Larry Roy
GENERAL CONTRACTOR:	

DRAWING INDEX

1/8	SITE PLAN COVER SHEET
2/8	EXISTING CONDITIONS PLAN
3/8	LAYOUT PLAN
4/8	GRADING & DRAINAGE PLAN
5/8	UTILITY PLAN
6/8	EROSION & SEDIMENTATION CONTROL PLAN
7/8	DETAIL PLAN 1/2
8/8	DETAIL PLAN 2/2
A.1.0	PROPOSED BASEMENT FLOOR PLAN
A.1.1	PROPOSED FIRST FLOOR PLAN
A.1.2	PROPOSED SECOND FLOOR PLAN
A.1.4	PROPOSED ROOF PLAN
A.2.1	EXTERIOR ELEVATIONS
A.2.2	EXTERIOR ELEVATIONS

GENERAL NOTES

1.

ALL WORK PERFORMED, INCLUDING MATERIALS FURNISHED, WORKMANSHIP, AND MEANS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE APPLICABLE AND THE LATEST REQUIREMENTS OF THE MASSACHUSETTS STATE BUILDING CODE AND THE APPLICABLE CITY OR TOWNSHIP, ALL LOCAL AND STATE HANDICAP AND FEDERAL REQUIREMENTS, AND GENERAL CONDITIONS PER AIA DOCUMENT #A205 AND OWNER/CONTRACTOR AGREEMENT DOCUMENT #A105.
2.

BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE OWNER AND THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY THE GOVERNING AGENCIES.
3.

THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THAT ALL EXISTING CONDITIONS AGREE WITH THE INFORMATION SHOWN ON THE DRAWINGS. ANY CONFLICTS, OMISSIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION PRIOR TO COMMENCEMENT OF ANY WORK. NO ALLOWANCES WILL SUBSEQUENTLY BE MADE ON BEHALF OF THE ARCHITECT FOR ANY ADDITIONAL EXPENSES WHICH ARE INCURRED DUE TO NEGLECT OR WHICH COULD HAVE BEEN REASONABLY FORESEEN BY PRIOR INSPECTION OF EXISTING CONDITIONS.
4.

PRIOR TO COMMENCING WORK, ORDERING OF MATERIALS AND SHOP FABRICATION OF ANY MATERIALS, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AS INDICATED ON THE DRAWINGS AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION.
5.

DRAWINGS INDICATE LOCATION, DIMENSIONS, REFERENCE AND TYPICAL DETAIL FOR CONSTRUCTION. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS, FOR CONDITIONS NOT ILLUSTRATED, NOTIFY ARCHITECTS FOR CLARIFICATION AND/OR SIMILAR DETAIL.
6.

THE SCOPE OF WORK INCLUDES ALTERATION TO EXISTING FACILITIES. WORK WHICH IS OBVIOUSLY REQUIRED TO BE PERFORMED OR PROVIDE A COMPLETE AND FINISHED PRODUCT WITHIN THE SCOPE OF WORK, BUT WHICH IS NOT SPECIFICALLY INCLUDED ON THE CONTRACT DOCUMENTS, SHALL BE PERFORMED BY THE CONTRACTOR AND BE INCLUDED IN THE BID. CONTRACTOR TO INSPECT AT TIME OF DELIVERY ALL FIXTURES PROVIDED BY OWNER TO INSURE PROPER QUANTITY, THAT ITEMS ARE DEFECT FREE, AND MATCH INVOICE. CONTRACTOR TO BE RESPONSIBLE FOR INSTALLATION, WHICH MAY INCLUDE BLOCKING, SHIMMING, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL ITEMS SUPPLIED BY OWNERS VENDORS AND TO VERIFY THAT ALL MATERIALS RECEIVED ARE IN ACCORDANCE WITH THE SPECIFICATIONS. HEREIN, ANY DAMAGED ITEMS OR DISCREPANCIES BETWEEN MATERIALS SPECIFIED AND MATERIALS SHIPPED, SHALL BE REPORTED TO THE ARCHITECT PROMPTLY.
7.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL INSTALLATIONS, CONDITIONS MATERIALS AND FINISHES WITH THE PROPOSED CONSTRUCTION AREA AND ALL ADJOINING PROPERTY AFFECTED BY CONTRACTOR'S OPERATIONS. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING FOR STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK. ANY EXISTING MATERIALS AND FINISHES WHICH ARE DAMAGED, SHALL BE REPLACED AS NECESSARY WITH NEW MATCHING MATERIALS AT THE CONTRACTOR'S OWN COST AND EXPENSE.
8.

THE CONTRACTOR SHALL DO ALL CUTTING, CHASING, CORE DRILLING, PATCHING AND REPAIRING AS REQUIRED TO PERFORM ALL THE WORK THAT MAY BE INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB. PATCHING SHALL MATCH ADJACENT SYSTEMS, MATERIALS AND FINISHES UNLESS OTHERWISE NOTED.
9.

CONTRACTOR SHALL EMPLOY ADEQUATE NUMBER OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK. ALL WORK SHALL BE PERFORMED BY DULY LICENSED PROFESSIONALS AND AS REQUIRED BY STATE AND LOCAL GOVERNMENTS FOR EACH APPLICABLE TRADE. (PLUMBING, ELECTRICAL, ETC.), WHO SHALL ARRANGE FOR AND OBTAIN REQUIRED INSPECTIONS AND SIGN-OFFS.
10.

THESE DRAWINGS ARE DIVIDED INTO SECTIONS FOR CONVENIENCE ONLY. CONTRACTOR, SUBCONTRACTORS, VENDORS AND MATERIAL SUPPLIERS SHALL REFER TO ALL RELEVANT SECTIONS IN BIDDING AND PERFORMING THEIR WORK AND SHALL BE RESPONSIBLE FOR ALL ASPECTS OF THEIR WORK REGARDLESS OF WHERE THE INFORMATION OCCURS ON THE DRAWINGS.
11.

CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WORK OF ALL TRADES AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES. SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATION OF THEIR WORK WITH THE WORK OF OTHERS, AND SHALL VERIFY THAT ANY WORK RELATING TO THEM WHICH MUST BE PROVIDED BY OTHERS, HAS BEEN COMPLETED AND IS ADEQUATE PRIOR TO COMMENCING WORK.
12.

CONTRACTOR SHALL PROVIDE STRUCTURAL BACKING/BLOCKING FOR ALL WALL MOUNTED FIXTURES, FINISHES AND EQUIPMENT, AND FOR ALL HANGING FIXTURES, BLINDS, ETC.
13.

CONTRACTOR SHALL INSTALL ALL MATERIALS AND EQUIPMENT AS PER MANUFACTURER'S WRITTEN INSTRUCTIONS AND/OR RECOMMENDATIONS.
14.

CONTRACTOR SHALL AT ALL TIMES DURING THE COURSE OF THE CONTRACT KEEP ADJOINING PREMISES, INCLUDING STREETS AND OTHER AREAS ASSIGNED TO OR USED BY THE CONTRACTOR, FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH CAUSED BY CONTRACTOR'S EMPLOYEES, SUBCONTRACTOR OR THEIR WORK.
15.

CONTRACTOR SHALL ASSIST DELIVERY AND STORAGE OF OWNER SUPPLIED ITEMS, AND DISPOSE OF ANY RESULTING TRASH.
16.

CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL TRADES PRIOR TO INSTALLATION, AND SAMPLES OF ALL MATERIAL AND COLOR/FINISHES FOR ARCHITECT'S APPROVAL ON ANY DEVIATION/SUBSTITUTION FROM CONTRACT DOCUMENTS.
17.

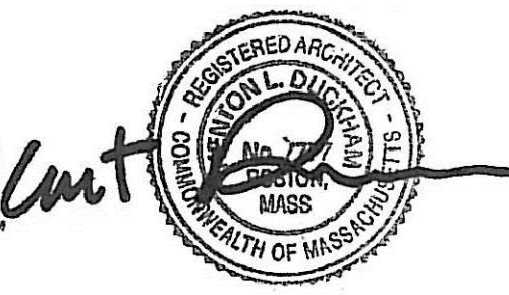
CONTRACTOR TO VERIFY ALL FIXTURE COUNTS, AS APPLICABLE TO THEIR CONTRACT, WITH OWNER.
18.

CONTRACTOR SHALL BE RESPONSIBLE FOR CLOSEOUT, PRIOR TO FINAL PAYMENT, INCORPORATING ALL STANDARD GUARANTIES AND WARRANTIES AND ORIGINALS OF ALL APPLICABLE CERTIFICATES OF TESTING, INSPECTION, TEMPORARY FINAL CERTIFICATE OF OCCUPANCY, COORDINATE WITH OWNER.
19.

CONTRACTOR SHALL BE RESPONSIBLE FOR A THOROUGH, PROFESSIONAL CLEANING OF THE ENTIRE FACILITY PRIOR TO OWNER TAKEOVER DATE. ALL EXPOSED HORIZONTAL AND VERTICAL SURFACES INCLUDING, BUT NOT LIMITED TO THE FOLLOWING MUST BE WIPED CLEAN AND FREE OF DUST; WALLS, EXPOSED STRUCTURAL MEMBERS, STAIRS AND RAILINGS, CABINETRY. ALL FLOORS MUST BE MOPPED CLEAN.
20.

CONTRACTOR TO PROVIDE 3 COPIES OF AS BUILT INFORMATION, OPERATION AND MAINTENANCE MANUALS, INCLUDING ALL PRODUCT GUARANTIES AND WARRANTIES.
21.

CONTRACTOR TO KEEP A SET OF THE MOST CURRENT DRAWINGS ON SITE AT ALL TIMES.



PERMIT SET
DRAWING NOT
FOR CONSTRUCTION
SEPTEMBER 10, 2020

Issues		
Number	Date	Description

Revisions		
Number	Date	Description

Checked by :
Drawn by : JRM

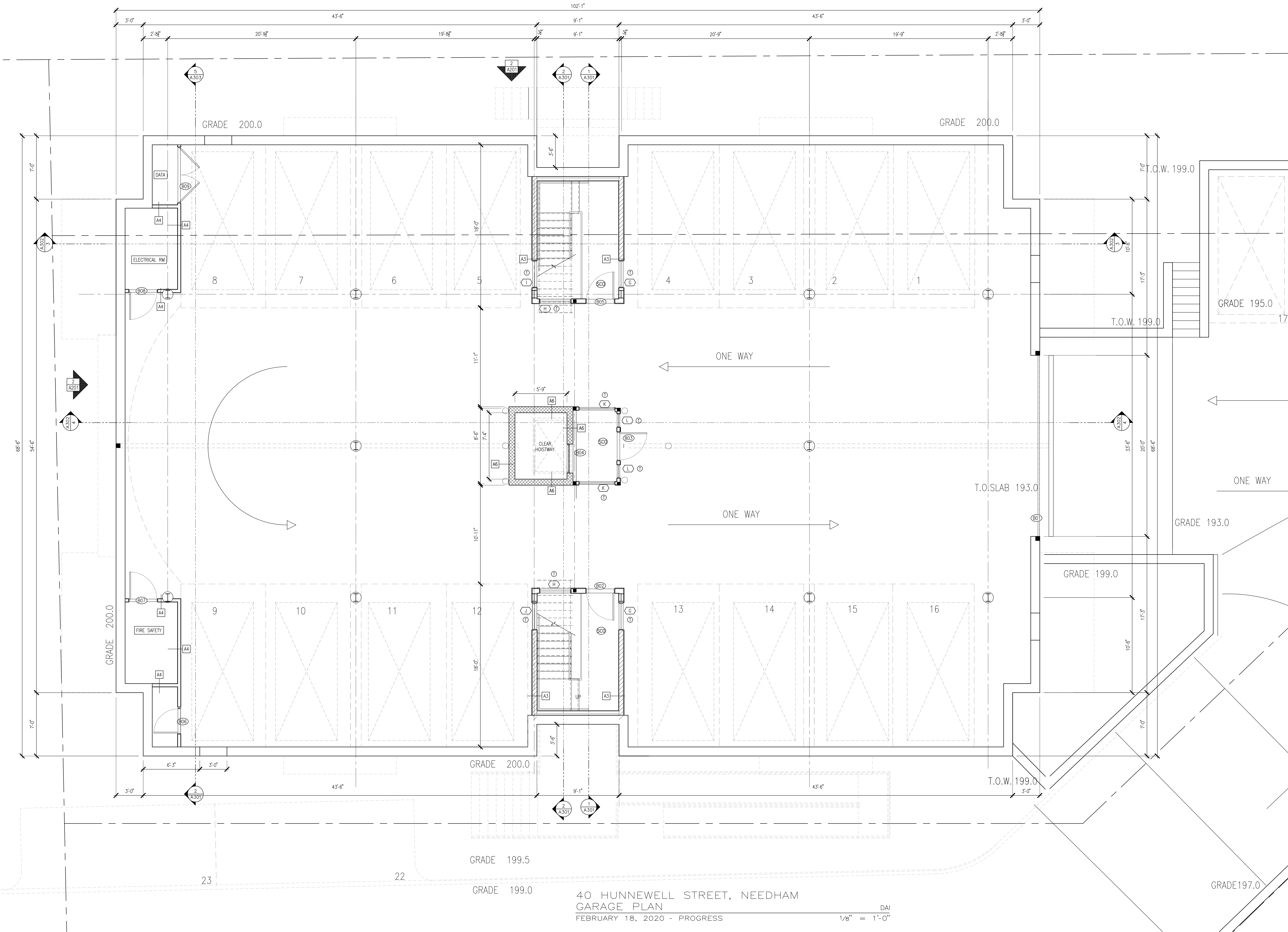
400 Hunnewell Street
Needham, MA

LOWER LEVEL
GARAGE PLAN

Drawing Scale:
1/4"=1'-0"
Project Number:
201919.00

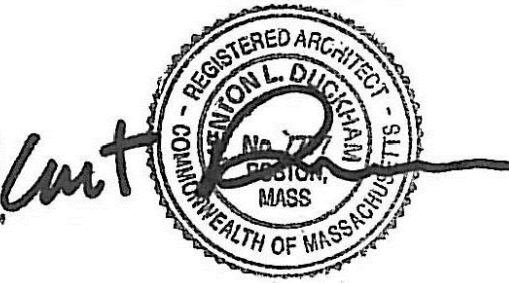
Date Issued:
11.05.2020

A.B.1



40 HUNNEWELL STREET, NEEDHAM
GARAGE PLAN
FEBRUARY 18, 2020 - PROGRESS

DAI
1/8" = 1'-0"



PERMIT SET
DRAWING NOT
FOR CONSTRUCTION
SEPTEMBER 10, 2020

Issues		
Number	Date	Description

Revisions		
Number	Date	Description

Checked by :
Drawn by : JRM

**400 Hunnewell Street
Needham, MA**

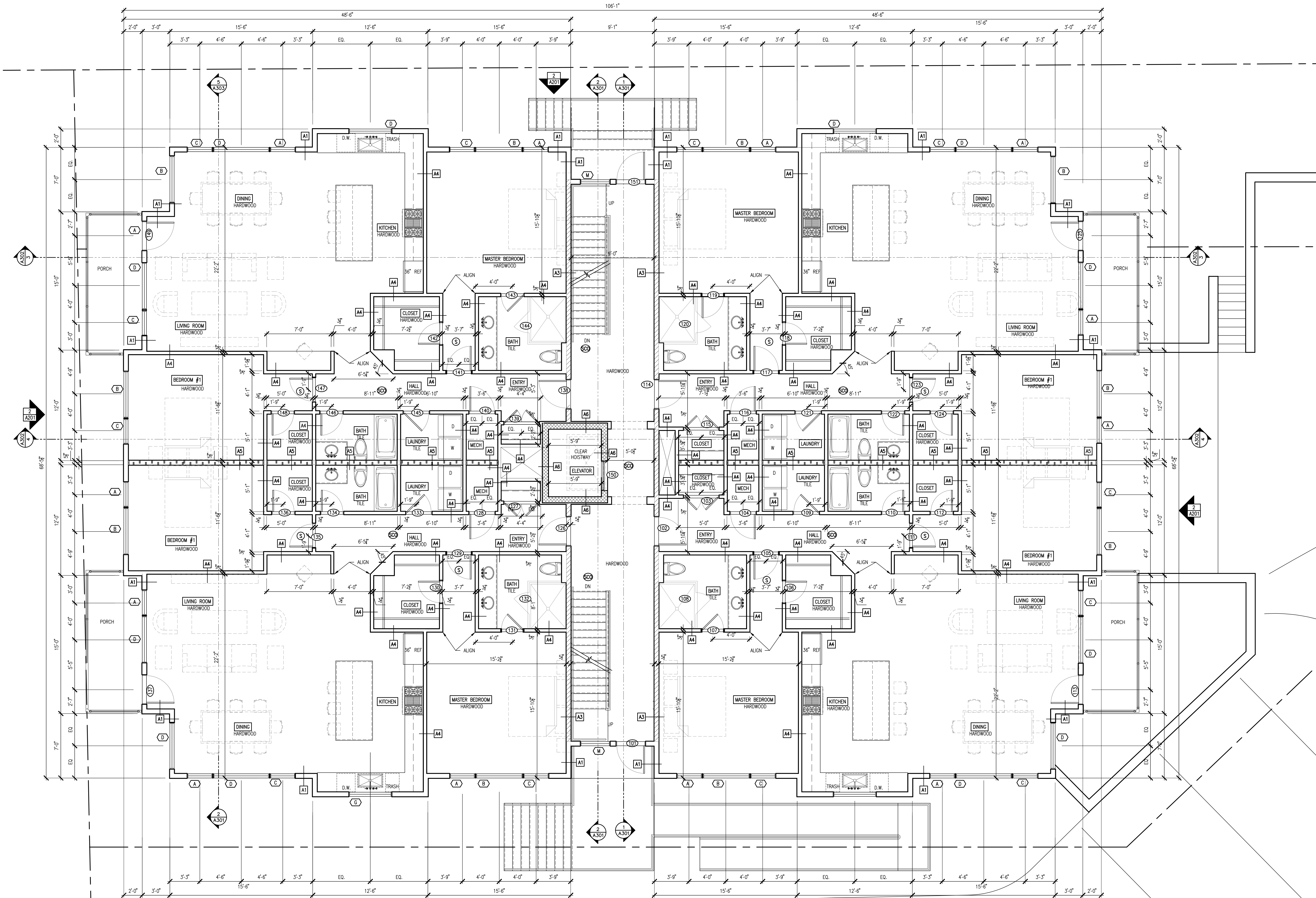
1st FLOOR PLAN

Drawing Scale:
1/4"=1'-0"

Project Number:
201919.00

Date Issued:
11.05.2020

A.1.1



40 HUNNEWELL STREET, NEEDHAM
FIRST FLOOR PLAN
FEBRUARY 18, 2019 - PROGRESS

DAI
1/8" = 1'-0"



PERMIT SET
DRAWING NOT
FOR CONSTRUCTION
SEPTEMBER 10, 2020

Issues		
Number	Date	Description

Revisions		
Number	Date	Description

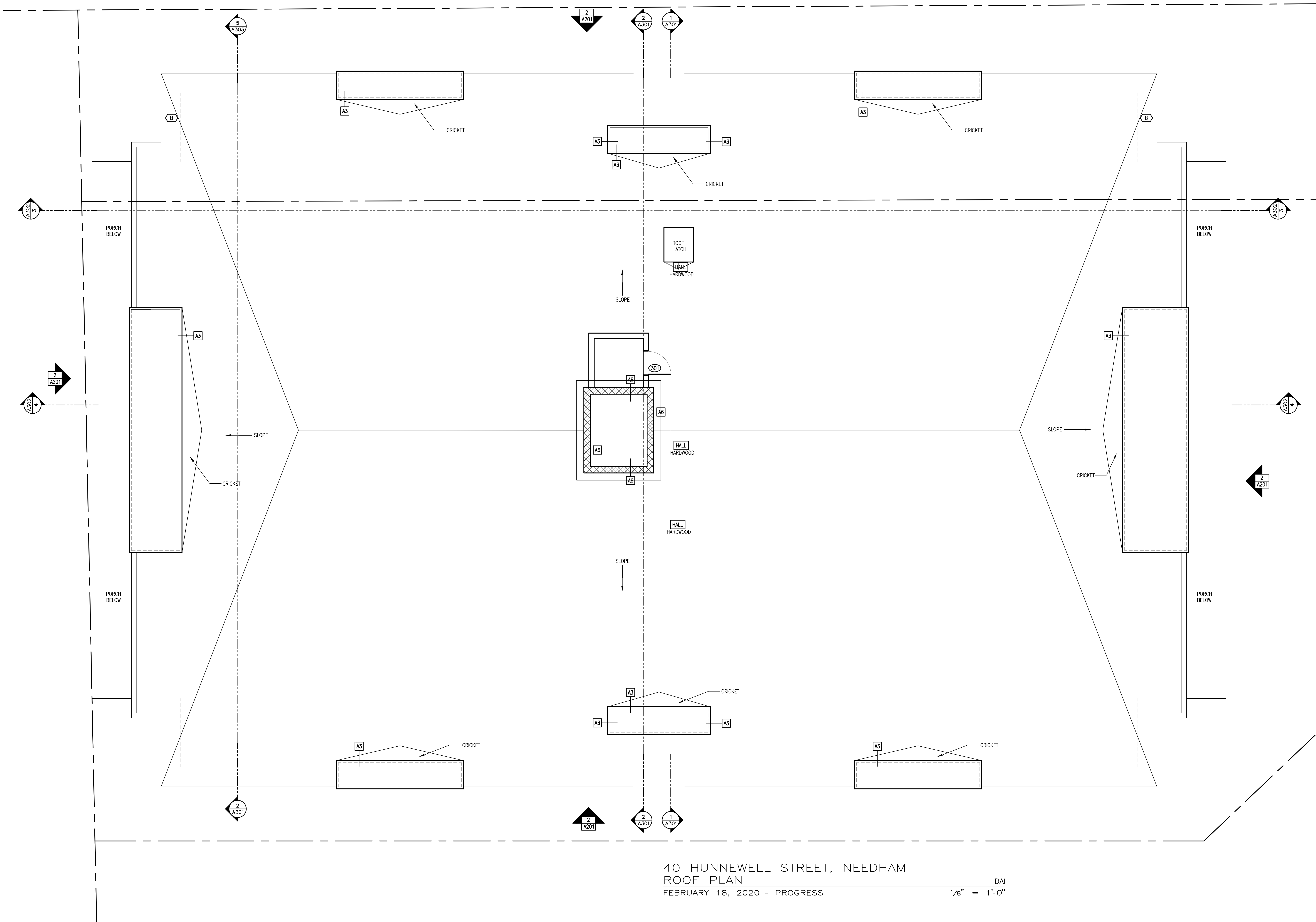
Checked by :
Drawn by : JRM

400 Hunnewell Street
Needham, MA

ROOF PLAN

Drawing Scale:
1/4"=1'-0"
Project Number:
201919.00
Date Issued:
11.05.2020

A.13



40 HUNNEWELL STREET, NEEDHAM
ROOF PLAN
FEBRUARY 18, 2020 - PROGRESS
DAI
1/8" = 1'-0"

