

**ROBERT T. SMART, JR., ESQ.**

ATTORNEY AT LAW

399 CHESTNUT STREET

NEEDHAM, MASSACHUSETTS 02492

TEL (781) 444-9344 FAX (781) 449-0242

E-MAIL bob@robertsmart.net WEBSITE www.robertsmart.net

RECEIVED TOWN CLERK  
NEEDHAM, MA 02492

2020 APR 29 PM 2:24

By E-Mail and Mail  
April 27, 2020

Lee Newman  
Needham Planning Board  
500 Dedham Avenue  
Needham, MA 02492

Re: Heather Lane Extension Residential Compound and Definitive Subdivision

Dear Lee:

In connection with the Heather Lane Extension Residential Compound and Definitive Subdivision, please find enclosed:

1. Application for Special Permit for Residential Compound.
2. Application for Approval of a Definitive Subdivision Plan.
3. Plan entitled "Definitive Subdivision Plans and Residential Compound Special Permit, 768-768A Chestnut Street, Lot 4 Heather Lane, Needham, MA", prepared by Kelly Engineering Group, Inc., dated March 3, 2020, including Sheets 1-7 (1 full size, 1 reduced size).
4. Legal Description of the Boundaries of the Land for the proposed Heather Lane Extension Residential Compound and Definitive Subdivision.
5. Lists of Dedham, Westwood, and Dover abutters.
6. Copies of April 27, 2020 letters from Robert T. Smart, Jr., Esq. to the Needham Town Clerk, and to the Needham Board of Health.
7. List of requested waivers.
8. Letter from Robert T. Smart, Jr., Esq. dated April 27, 2020, with legal analysis.
9. Draft Heather Lane Extension Homeowners Association Declaration of Trust.

10. Draft Declaration of Restrictive Covenants.

11. Draft Subdivision Covenant.

12. Draft Grant of Utility Easement.

13. Draft Grant of Drainage Easement.

A check for the filing fee, in the amount of \$1750.00, is being delivered, with a cover letter, to the drop box of the Public Services Administration Building.

Legal notice bills can come to me. 399 Chestnut Street, Needham, MA 02492 (781-444-9344).

Very truly yours,



Robert T. Smart, Jr.

cc: Alexandra Clee  
Tedi Eaton  
William Piersiak  
Koby Kempel



PLANNING

**TOWN OF NEEDHAM, MA  
PLANNING AND COMMUNITY  
DEVELOPMENT DEPARTMENT**

RECEIVED TOWN CLERK  
NEEDHAM, MA 02492

2020 APR 29 PM 2:56  
500 Dedham Avenue  
Needham, MA 02492  
781-455-7550

**APPLICATION FOR APPROVAL  
OF A DEFINITIVE SUBDIVISION PLAN**

Date: April 27 2020

The undersigned, on behalf of William John Piersiak (owner's name or self) of  
768-768A Chestnut Street (address), owner of land in Needham, the description of  
said land being submitted herewith, desiring to make a subdivision of said land hereby submits the following required plans  
and documents:

- a) the original tracings and eight full sized copies and six reduced sized copies of each of the following plans –
  - i. a key location map
  - ii. a lot plan
  - iii. a profile plan
  - iv. a municipal services and utility plan
  - v. a topographic plan
  - vi. any detail plans required

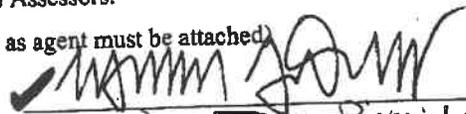
Each plan bearing titles, endorsements and imprints required.

- b) a filing fee of \$500 plus \$250 per lot for each lot in the subdivision.
- c) a description of the boundaries of the entire area to be subdivided; and
- d) a list of names and addresses of all abutters as they appear on the most recent Needham Assessors' records
- e) \_\_\_\_\_  
(specify any additional material or information submitted)

and petitions the Planning Board to consider and approve such subdivision plans under the provisions of the Subdivision Control Law (M.G.L. Chapter 41, Sections 81-A through 81-G inclusive, as amended) and in accordance with the Rules and Regulations of the Needham Planning Board and the applicable By-Laws of the Town of Needham.

The undersigned certifies that the applicant(s) is/are the sole owner(s) of the entire land proposed to be subdivided and that the subdivision plans and the description submitted indicate the true boundaries of said land and the correct names of all abutters as shown on the most recent records of the Needham Assessors.

(If the applicant is not the owner, written authorization to act as agent must be attached)

  
\_\_\_\_\_ (owners)  
William John Piersiak

By \_\_\_\_\_ (agent)

This application is accepted by the Needham Planning Board in accordance with Sections 81-Q and 81-T of the Subdivision Control Law.  
By \_\_\_\_\_ 20\_\_\_\_

ATTACHMENT TO APPLICATION FOR APPROVAL  
OF A DEFINITIVE SUBDIVISION PLAN

Owner	Property Address	Book and Page
William John Piersiak	768-768A Chestnut St, Lot 4, Definitive Subdivision Plans for Heather Lane, by Kelly Engineering Group, Inc.	36756/532



TOWN OF NEEDHAM

MASSACHUSETTS  
RECEIVED TOWN CLERK  
NEEDHAM, MA 02492

Room 20, Town Hall  
Needham, MA 02192  
617-444-5100

2020 APR 29 PM 2:26

PLANNING BOARD

APPLICATION FOR SPECIAL PERMIT  
for  
~~PLANNED RESIDENTIAL DEVELOPMENT~~  
RESIDENTIAL COMPOUND  
~~FLEXIBLE DEVELOPMENT~~

4/27/2020

This application must be completed, signed, and submitted with the filing fee by the Applicant or his representative in accordance with the Planning Board's Rules as adopted under its jurisdiction as a Special Permit Granting Authority.

Location of Property 768-768A Chestnut Street

Name of Applicant William John Piersiak Address 768 Chestnut St. Tel.# 617-759-9820

Applicant is Owner  Tenant  Agent/Attorney  Purchaser

Property Owner's Name \_\_\_\_\_ Address \_\_\_\_\_ Tel.# \_\_\_\_\_  
(if not Applicant)

Characteristics of Property: Lot Area 13.26 acres Present Use Residential  
Map # 204 Parcel # 004-001 Zoning District RRC

Nature and justification of request for a special permit under the Zoning By-law,  
Section 4.2.5. Planned Residential Development; Section 4.2.6. Residential Compound;  
~~or Section 4.2.4. Flexible Development.~~

To create a total of 5 Lots and construct a private way for access. All lots meet Residential Compound requirements.

I hereby request a hearing before the Planning Board with reference to the above application.

Signature of Applicant (or his representative)   
W. John Piersiak

Address if not Applicant \_\_\_\_\_

Tel.# 617-759-9820

Owner's permission if other than applicant \_\_\_\_\_

## Legal Description

### Proposed Heather Lane Extension Residential Compound and Definitive Subdivision

That certain parcel of land located on the easterly side of Chestnut Street in Needham, Norfolk County, Massachusetts.

Beginning at a point on the northerly side of Proposed Heather Lane, at the northwesterly corner of the herein described premises, thence;  
Running N55° 23' 56"E a distance of 64.53' to a point;  
Thence turning and running N 68° 05' 00"E a distance of 17.20' to a point;  
Thence turning and running N67° 01' 35"E a distance of 180.99' to a point;  
Thence turning and running N46° 24' 47"E a distance of 73.49' to a point;  
Thence turning and running N15° 06' 04"W a distance of 75.07' to a point;  
Thence turning and running N82° 58' 00"E a distance of 512.27' to a point;  
Thence turning and running S18° 57' 00"E a distance of 625', more or less to the Charles River;  
Thence turning and running southerly and westerly by the Charles River a distance of 1,107', more or less, to a point;  
Thence turning and running N14° 09' 11"E a distance of 636', more or less to a point;  
Thence turning and running N25° 16' 26"W a distance of 93.40' to a point on the easterly side of the Proposed Heather Lane;  
Thence running along a curve to the left having a radius of 60.00" and an arc length of 184.88' to a point;  
Thence running along a curve to the right having a radius of 25.00' and an arc length of 25.32' to a point;  
Thence turning and running N53° 47' 08"W a distance of 21.84' to the point and place of beginning.

The described area contains 13.26 acres, more or less.



**Re: Piersiak**

1 message

Robert Smart <bob@robertsmart.net>  
To: Lee Newman <LNewman@needhamma.gov>

Mon, Mar 23, 2020 at 5:03 PM

will do

Robert T. Smart, Jr., Esq.  
399 Chestnut Street  
Needham, MA 02492  
T 781-444-9344  
FX 781-449-0242  
bob@robertsmart.net

Dover, Westwood and  
Dedham Abutters

On Mon, Mar 23, 2020 at 4:25 PM Lee Newman <LNewman@needhamma.gov> wrote:

Bob,

This looks fine. Please include these emails as part of your formal filing.

Lee

Sent from my Verizon, Samsung Galaxy smartphone  
Get Outlook for Android

From: Robert Smart <bob@robertsmart.net>  
Sent: Monday, March 23, 2020 3:27:23 PM  
To: Lee Newman <LNewman@needhamma.gov>  
Subject: Piersiak

Lee: attached are the abutter lists from the three adjacent communities.

Dover (2): 770 Chestnut Street LLC, and Burhoe

Westwood (1): Gay, Trustees

Dedham (2): Gay, Anderson and Cabot

Is this email sufficient to provide you the abutter lists?

Bob

Robert T. Smart, Jr., Esq.  
399 Chestnut Street  
Needham, MA 02492  
T 781-444-9344  
FX 781-449-0242  
bob@robertsmart.net



OFFICE OF  
**BOARD OF ASSESSORS**

P.O. BOX 250  
DOVER, MASSACHUSETTS 02030-0250  
508-785-0032 EXT. 241

March 18, 2020

Robert T Smart, Jr., Esq.  
Attorney at Law  
399 Chestnut Street  
Needham, MA 02492

Re: Certified List of Dover Direct Abutters to 768-768A-768B Chestnut Street,  
Needham, MA Property Line.

Dear Mr. Smart:

Listed below are the Dover abutters to the property located at 768-768A-768B Chestnut Street, Needham, MA. This certification represents direct abutters to the property line, including those across a traveled way or across a body of water, according to our most recent tax list.

\*08-004 (Lot D, Dedham Street)  
Harley Lank & Audra Lank, Trustees  
Chestnut Nominee Trust  
5 Willow Road  
Weston, MA 02493

08-005  
William S. Burhoe  
344 Dedham Street  
Dover, MA 02030

*\*Conveyed July 12, 2019 to 770 Chestnut Street LLC, c/o The Shoreline Corp., 130 Prospect Street, Cambridge, MA 02139.*

Respectfully,

Kristin Abraham  
Assessor Clerk



Robert Smart <bob@robertsmart.net>

---

**RE: certified abutters list**

1 message

---

Janice Barba <jbarba@townhall.westwood.ma.us>  
To: Robert Smart <bob@robertsmart.net>

Tue, Mar 10, 2020 at 10:25 AM

Sir – the direct abutter is:

THE 235 WESTFIELD STREET REALTY TRUST  
PAUL G & CAROLINE W. GAY TRUSTEES  
235 WESTFIELD ST  
WESTWOOD, MA 02090

Best,

Janice Barba, Administrative Assistant

Assessor's Office

580 High Street, Westwood, MA 02090

781 326-1904

---

**From:** Robert Smart [mailto:bob@robertsmart.net]  
**Sent:** Tuesday, March 10, 2020 10:01 AM  
**To:** Janice Barba  
**Subject:** Re: certified abutters list

Ms. Barba: we need only the direct abutter(s) to the Needham parcel, not abutters to the abutter(s) on the Westfield side.  
Could you send a revised list? Bob

Robert T. Smart, Jr., Esq.

399 Chestnut Street

Needham, MA 02492

T 781-444-9344

FX 781-449-0242

bob@robertsmart.net

On Mon, Mar 9, 2020 at 4:13 PM Janice Barba <jbarba@townhall.westwood.ma.us> wrote:

Mr. Smart – please see attached.

Best,

Janice Barba, Administrative Assistant

Assessor's Office

580 High Street, Westwood, MA 02090

781 326-1904

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**From:** Robert Smart [mailto:bob@robertsmart.net]

**Sent:** Monday, March 09, 2020 2:57 PM

**To:** assessors@townhall.westwood.ma.us

**Subject:** certified abutters list

Please see my letter and request for certified abutters list, attached. If there are questions, please call.

Robert T. Smart, Jr., Esq.

399 Chestnut Street

Needham, MA 02492

T 781-444-9344

FX 781-449-0242

bob@robertsmart.net

***The Attorney General has determined that email correspondences are public records unless the content of the email falls with one of the stated exemptions under the Public Records Laws***

***The Attorney General has determined that email correspondences are public records unless the content of the***





Robert Smart <bob@robertsmart.net>

**FW: Abutters List Dedham - 768-768A - B CHESTNUT ST NEEDHAM**

1 message

Adrienne Albani <aalbani@dedham-ma.gov>  
To: "bob@robertsmart.net" <bob@robertsmart.net>

Tue, Mar 10, 2020 at 9:25 AM

**From:** Adrienne Albani  
**Sent:** Tuesday, March 10, 2020 9:24 AM  
**To:** mailto:bob@robertsmart.net  
**Cc:** Richard Henderson <rhenderson@dedham-ma.gov>  
**Subject:** Abutters List Dedham - 768-768A - B CHESTNUT ST NEEDHAM

Dear Mr. Smart –

Please find the attached pages (2) pertaining to your request for abutters (on the Dedham side) for the above referenced project.

Please let me know if this office may further assist.

Kind regards,

Adrienne Albani  
Assessing Specialist  
Town of Dedham  
781-751-9130

From: Robert Smart <bob@robertsmart.net>  
Date: 3/9/20 3:08 PM (GMT-05:00)  
To: Richard Henderson <rhenderson@dedham-ma.gov>  
Subject: certified abutters list

Mr. Henderson: see my letter request, attached. Please call me if there are questions. Bob Smart

Robert T. Smart, Jr., Esq.

399 Chestnut Street

Needham, MA 02492

T 781-444-9344

FX 781-449-0242

bob@robertsmart.net

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 map43-1.pdf  
285K

43-1  
999 Country Club  
RD.

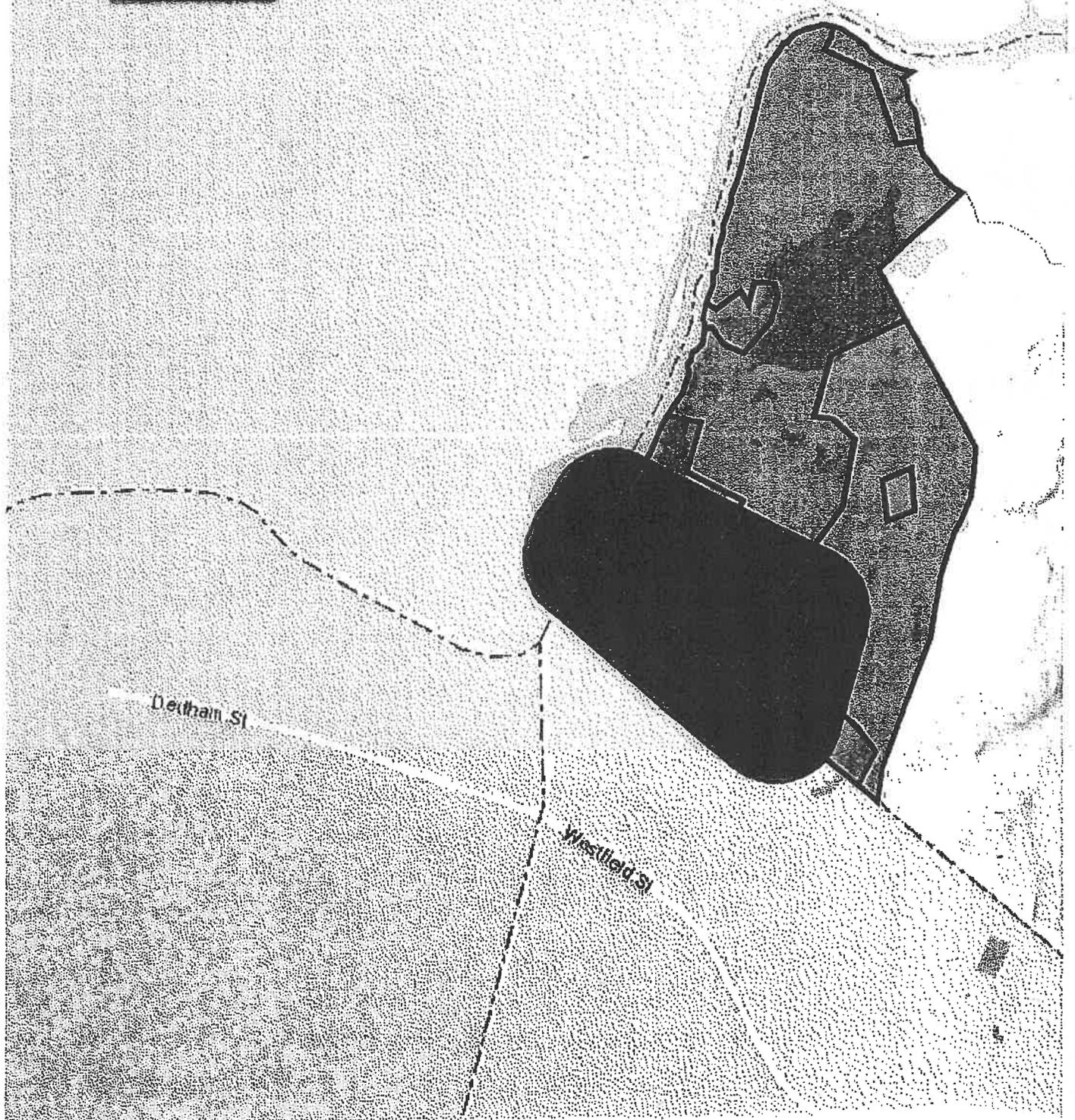
43-1  
235 WESTFIELD ST RLTY TR THE  
GAY PAUL G & CAROLINE W TRS  
235 WESTFIELD ST  
NEEDHAM MA 02492-2733

43-2B  
ANDERSON EDWARD T ETUX  
CABOT LINDA N TE  
185 WESTFIELD ST  
WESTWOOD MA 02090

43-2  
ANDERSON EDWARD T ETUX  
CABOT LINDA N TE  
185 WESTFIELD ST  
WESTWOOD MA 02090



# Public Notification...



**ROBERT T. SMART, JR., ESQ.**

ATTORNEY AT LAW

399 CHESTNUT STREET

NEEDHAM, MASSACHUSETTS 02492

TEL (781) 444-9344 FAX (781) 449-0242

E-MAIL [bob@robertsmart.net](mailto:bob@robertsmart.net) WEBSITE [www.robertsmart.net](http://www.robertsmart.net)

E-Mail

April 27, 2020

Tedi Eaton, Town Clerk  
Town Hall  
1471 Highland Avenue  
Needham, MA 02492

Re: Heather Lane Extension Residential Compound and Subdivision

Dear Tedi:

This letter is a Notice of Submission of a Definitive Subdivision Plan, pursuant to Massachusetts General Laws Chapter 41, Section 81T. This was filed in conjunction with a Residential Compound special permit for the same property.

The Plan was submitted on April 27, 2020 to the Planning Board. The owner of the land to be subdivided is William John Piersiak.

A copy of the Application for Approval of a Definitive Subdivision Plan, which has attached to it a sheet detailing ownership of the property within the proposed subdivision, and a description of the land which proposed to be subdivided, are enclosed.

Very truly yours,



Robert T. Smart, Jr.

Cc: William Piersiak  
Needham Planning Board

**ROBERT T. SMART, JR., ESQ.**

ATTORNEY AT LAW

399 CHESTNUT STREET

NEEDHAM, MASSACHUSETTS 02492

TEL (781) 444-9344 FAX (781) 449-0242

E-MAIL bob@robertsmart.net WEBSITE www.robertsmart.net

By Hand Delivery and Email  
April 27, 2020

Needham Board of Health  
Rosemary Recreation Complex  
178 Rosemary Street  
Needham, MA 02494

Re: Heather Lane Extension Subdivision

Dear Members of the Board:

Enclosed, pursuant to Massachusetts General Laws Chapter 41, Section 81U, please find one copy of each of the following:

1. Application for Approval of a Definitive Subdivision Plan.
2. Plans titled "Definitive Subdivision Plans and Residential Compound Special Permit, 768-768A Chestnut Street, Lot 4, Heather Lane, Needham, MA".

By statute, your report to the Planning Board is due within 45 days hereof. It is requested that you submit your report earlier, so that the Planning Board can consider it at said Board's public hearing, scheduled for June 16, 2020

Very truly yours,



Robert T. Smart, Jr.

Cc: William Piersiak  
Needham Planning Board

### **Residential Compound/Subdivision**

The following is a list of waivers from the Town of Needham Subdivision Regulations.

1. Section 3.3.1 – Right of Way Width  
20' wide easement instead of 50'
2. Section 3.3.1 – Pavement Width  
20' wide pavement instead of 24'
3. Section 3.3.1- Street Slope  
9% instead of 8% max.
4. Section 3.3.1 - Max slope of 1% at 25' intersection  
2% instead of 1%
5. Section 3.3.3 - 20' radii at intersection  
0' radii at street intersection
6. Section 3.3.3 - Minimum Centerline Radius  
50' instead of 100'
7. Section 3.3.6 – Curbing  
No curb instead of granite or reinforced concrete.
8. Section 3.3.8 – Granite bounds  
None
9. Section 3.3.16 – Sidewalks  
No sidewalk rather than one sidewalk
10. Section 3.3.16 – Standard Cross Section  
Street cross-section as shown on the plans. No sidewalk and 20' wide pavement rather than one sidewalk and 24' wide pavement.

And waivers of such other sections of the Needham Subdivision Regulations as may be required.

**ROBERT T. SMART, JR., ESQ.**

ATTORNEY AT LAW

399 CHESTNUT STREET

NEEDHAM, MASSACHUSETTS 02492

TEL (781) 444-9344 FAX (781) 449-0242

E-MAIL [bob@robertsmart.net](mailto:bob@robertsmart.net) WEBSITE [www.robertsmart.net](http://www.robertsmart.net)

April 27, 2020

Needham Planning Board  
500 Dedham Avenue  
Needham, MA 02492

Re: Heather Lane Extension Residential Compound and Definitive Subdivision

Dear Members of the Board:

This letter is filed in support two related applications, an Application for Special Permit for Residential Compound, and an Application for Approval of a Definitive Subdivision Plan, for the property at 768-768A Chestnut Street, owned by William John Piersiak. This property consists of 13.26 acres of land, more than the 10 acres required for a Residential Compound (RC) and it is located within the Rural Residence-Conservation (RRC) District. The subject property, which is Lot 4 of the Heather Lane subdivision, will be divided into five RC lots.

The land to be subdivided into RC lots has several buildings on it. All were constructed pursuant to permit and are lawful. Some of the buildings will remain, and some will be demolished, as shown on the plans.

A set of plans has been submitted with the Application. They are titled "Definitive Subdivision Plans and Residential Compound Special Permit, 768-768A Chestnut Street, Lot 4 Heather Lane, Needham, MA", prepared by Kelly Engineering Group, Inc., dated March 3, 2020, including Sheets 1-7 (the "Plans").

It is requested that the Board consider and hear all these applications together, along with the Heather Lane Subdivision application, also filed today, and then vote them separately.

All the requirements for a Residential Compound under Needham Zoning By-Law Section 4.2.12 will be met. The RC will have 232 feet of frontage on the private subdivision road named Heather Lane (150 feet is required under By-Law Section 4.2.12(b)(1). Access for each of the five lots in the proposed RC will be provided through legally enforceable rights to use Heather Lane, and the private street or driveway named Heather Lane Extension. Such access is lawful under By-Law Section 4.2.12(b)(4). Each RC lot will have more than the two acres of land required for RC lots in the RRC District under By-Law Section 4.1.12(b)(2).

The application will require significant waivers from Needham's Subdivision Rules and Regulations. This is in keeping with the purpose of the Residential Compound section of the Zoning By-Law, which is to allow up to five single-family dwellings sharing common frontage on a way and access via a private street or driveway, within large tracts of land, so as to retain the rural feeling of the area, consistent with high quality residential development.

Ten waivers from the Subdivision Rules and Regulations are requested:

1. Section 3.3.1 – Right of Way Width (20' rather than 50' is requested)
2. Section 3.3.1 – Pavement Width (20' rather than 24')
3. Section 3.3.1 – Slope (9% rather than 8%)
4. Section 3.3.1 – Maximum slope of 1% at 25' intersection (2% rather than 1%)
5. Section 3.3.3 – 20' Radii at Intersection (0' radii at street intersection rather than 20')
6. Section 3.3.3 – Minimum centerline radius (50' rather than 100')
7. Section 3.3.6 – Curbing (No curb rather than granite or reinforced concrete))
8. Section 3.3.8 – Granite Bounds (None)
9. Section 3.3.16 – Sidewalk (No sidewalk rather than sidewalk on one side).
10. Section 3.3.16 – Standard Cross-Section (Street cross-section as shown on the plans. No sidewalk and 20' wide pavement rather than one sidewalk and 24' wide pavement.

The requested waivers are justified. Waivers 1, 2, 9 and 10 were granted in connection with both the Riverbend Lane Subdivision (11/13/07 Decision) and the Riverview Estates/Burr Drive Subdivision (6/16/98 Decision). The other six waivers are sensible for engineering reasons.

The owners of the proposed RC lots will be required to participate in the maintenance and repair of Heather Lane, and to join the Heather Lane Extension Association, and will be obligated to maintain and repair as necessary the road, utilities, and drainage system shown on the Plans.

Although Heather Lane Extension will be and remain a private way, the Town of Needham will have the right to enter upon Heather Lane Extension for all appropriate purposes for which public ways are used in the Town of Needham. The restrictions and covenants set forth in the Declaration of Restrictive Covenants, filed herewith, will run with the land and be enforceable by the Town of Needham.

It is requested that the Application for Special Permit for Residential Compound, and the Application for Approval of a Definitive Subdivision Plan, be approved.

Very truly yours,

A handwritten signature in black ink, appearing to be 'R. Smart, Jr.', written in a cursive style.

Robert T. Smart, Jr.

Cc: William Piersiak

**ROBERT T. SMART, JR., ESQ.**

**ATTORNEY AT LAW**

**399 CHESTNUT STREET**

**NEEDHAM, MASSACHUSETTS 02492**

**TEL (781) 444-9344 FAX (781) 449-0242**

**E-MAIL bob@robertsmart.net WEBSITE www.robertsmart.net**

By delivery  
April 27, 2020

Lee Newman  
Drop Box  
Public Services Administration Building  
500 Dedham Avenue  
Needham, MA 02492

Re: Heather Lane Extension Residential Compound and Definitive Subdivision

Dear Lee:

In connection with the Heather Lane Extension Residential Compound and Definitive Subdivision, please find enclosed a check in the amount of \$1,750.00, for the filing fee.

Very truly yours,



Robert T. Smart, Jr.

Cc: Alexandra Clee  
Tedi Eaton  
William Piersiak



DETAIL 2

DETAIL 3

### EXISTING LEGEND

	200' RIVERFRONT LINE
	EASEMENT
	NATIONAL HERITAGE ENDANGERED SPECIES PROGRAM LINE (NHESP)
	FLOOD PLAIN
	PROPERTY LINE
	ZONE LINE
	TOWN LINE
	TREE LINE

### PLAN REFERENCES

- "PLAN OF LAND IN NEEDHAM, MASS., PROPERTY OF GERTRUDE A. HUTCHINS, SCALE: 1"=40', OCTOBER 1, 1940, FILED AS PLAN 589 IN BOOK 2297, PAGE 501.
- "PLAN OF LAND BELONGING TO MARY H. RUDDY AND CONSTANTINE HUTCHINS, JR. ACCORDING TO THE WILL OF GERTRUDE AMORY HUTCHINS, NEEDHAM, MASS., 1"=80', DECEMBER 3, 1979", FILED AS PLAN 1182 IN BOOK 5686, PAGE 363.
- "PLAN OF LAND IN NEEDHAM, MASS. SCALE 1"=80', AUGUST 22, 2000", FILED AS PLAN 511 IN PLAN BOOK 478.
- "PLAN OF LAND IN NEEDHAM, MASS., APRIL 7, 1982, 1"=60", FILED AS 712 IN PLAN BOOK 298.
- "PLAN OF WELLESLEY EXTENSION SEWER REPLACEMENT LAND TAKING PLAN IN NEEDHAM, TO BE TAKEN BY MASSACHUSETTS WATER RESOURCES WATER AUTHORITY, 1"=40', OCTOBER, 1993", FILED AS PLAN 149 OF 1994.
- "PLAN OF WELLESLEY EXTENSION SEWER REPLACEMENT LAND TAKING PLAN NO. W.E.S.R.-2-7, 1"=40', SEPTEMBER 1987", FILED AS PLAN 214 OF 1989.
- "PLAN OF LAND IN NEEDHAM, MA, 1"=40', JULY 22, 2002", FILED AS PLAN 5 IN PLAN BOOK 527.
- "PLAN OF LAND OF HANNAH E. POND, 1"=100', OCTOBER 21, 1914", FILED AS PLAN 3664 IN PLAN BOOK 76.
- "COMPILED PLAN OF LAND IN NEEDHAM, MASS., 1"=50', AUGUST 19, 1981", FILED AS PLAN 774 IN PLAN BOOK: 291.

"I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PLAN IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE SUBDIVISION REGULATIONS AND PROCEDURAL RULES OF THE PLANNING BOARD OF THE TOWN OF NEEDHAM."

DAVID N. KELLY, P.E.

"I, TOWN CLERK OF THE TOWN OF NEEDHAM, CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE NEEDHAM PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE."

DATE \_\_\_\_\_ TOWN CLERK \_\_\_\_\_

"APPROVED IN ACCORDANCE WITH SECTION 81-U OF CHAPTER 41 OF THE GENERAL LAWS AS AMENDED"

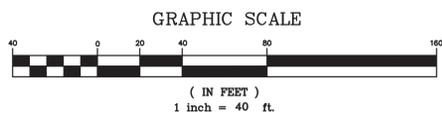
APPROVED SUBJECT TO TERMS AND CONDITIONS OF A COVENANT GIVEN IN ACCORDANCE WITH SECTION 81-U, CHAPTER 41 OF THE GENERAL LAWS AS AMENDED.

APPROVED DATE \_\_\_\_\_

ENDORSED DATE \_\_\_\_\_

DIRECTOR OF PUBLIC WORKS \_\_\_\_\_

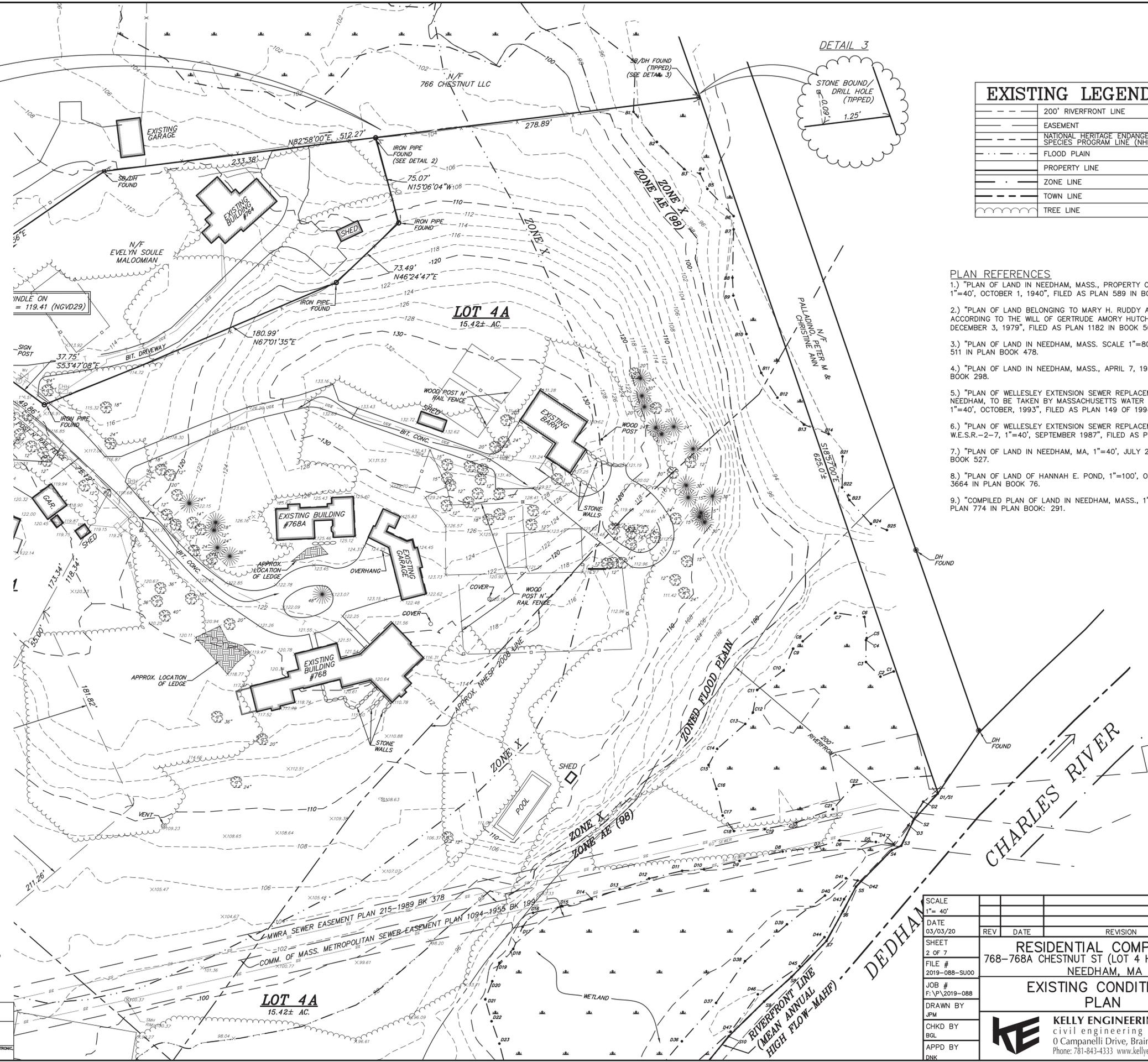
TOWN ENGINEER \_\_\_\_\_



KELLY ENGINEERING GROUP SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES; OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORKING ACCORDANCE WITH THE CONTRACT DOCUMENTS.

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SCALE	1"= 40'
DATE	03/03/20
REV	
DATE	
REVISION	
BY	
SHEET	2 OF 7
FILE #	2019-088-SU00
JOB #	F:\P\2019-088
DRAWN BY	JPM
CHKD BY	BGL
APPD BY	DNK
<b>RESIDENTIAL COMPOUND</b> 768-768A CHESTNUT ST (LOT 4 HEATHER LANE) NEEDHAM, MA	
<b>EXISTING CONDITIONS PLAN</b>	
<b>KELLY ENGINEERING GROUP</b> civil engineering consultants 0 Campanelli Drive, Braintree, MA 02184 Phone: 781-843-4333 www.kellyengineeringgroup.com	

SEVEN M HORSFALL  
No. 41608  
PROFESSIONAL  
LAND SURVEYOR

Steven  
Horsfall  
2020.04.22  
12:11:14  
-04'00"

SHEET NO.  
**2**

EXISTING LEGEND	
---	200' RIVERFRONT LINE
---	MEAN ANNUAL HIGH WATER LINE (RIVER)
---	BORDERING VEGETATED WETLANDS (B.V.W.)
---	NATIONAL HERITAGE ENDANGERED SPECIES PROGRAM LINE (NHESP)
---	FLOOD PLAIN
---	PROPERTY LINE
---	ZONE LINE
---	TOWN LINE
---	EASEMENT
---	BOUND TO BE SET
---	WETLANDS

PROPOSED LEGEND	
---	EASEMENT
---	BUILDING SETBACK LINE

"APPROVED IN ACCORDANCE WITH SECTION 81-U OF CHAPTER 41 OF THE GENERAL LAWS AS AMENDED"

APPROVED SUBJECT TO TERMS AND CONDITIONS OF A COVENANT GIVEN IN ACCORDANCE WITH SECTION 81-U, CHAPTER 41 OF THE GENERAL LAWS AS AMENDED.

APPROVED DATE \_\_\_\_\_

ENDORSED DATE \_\_\_\_\_

DIRECTOR OF PUBLIC WORKS \_\_\_\_\_

TOWN ENGINEER \_\_\_\_\_

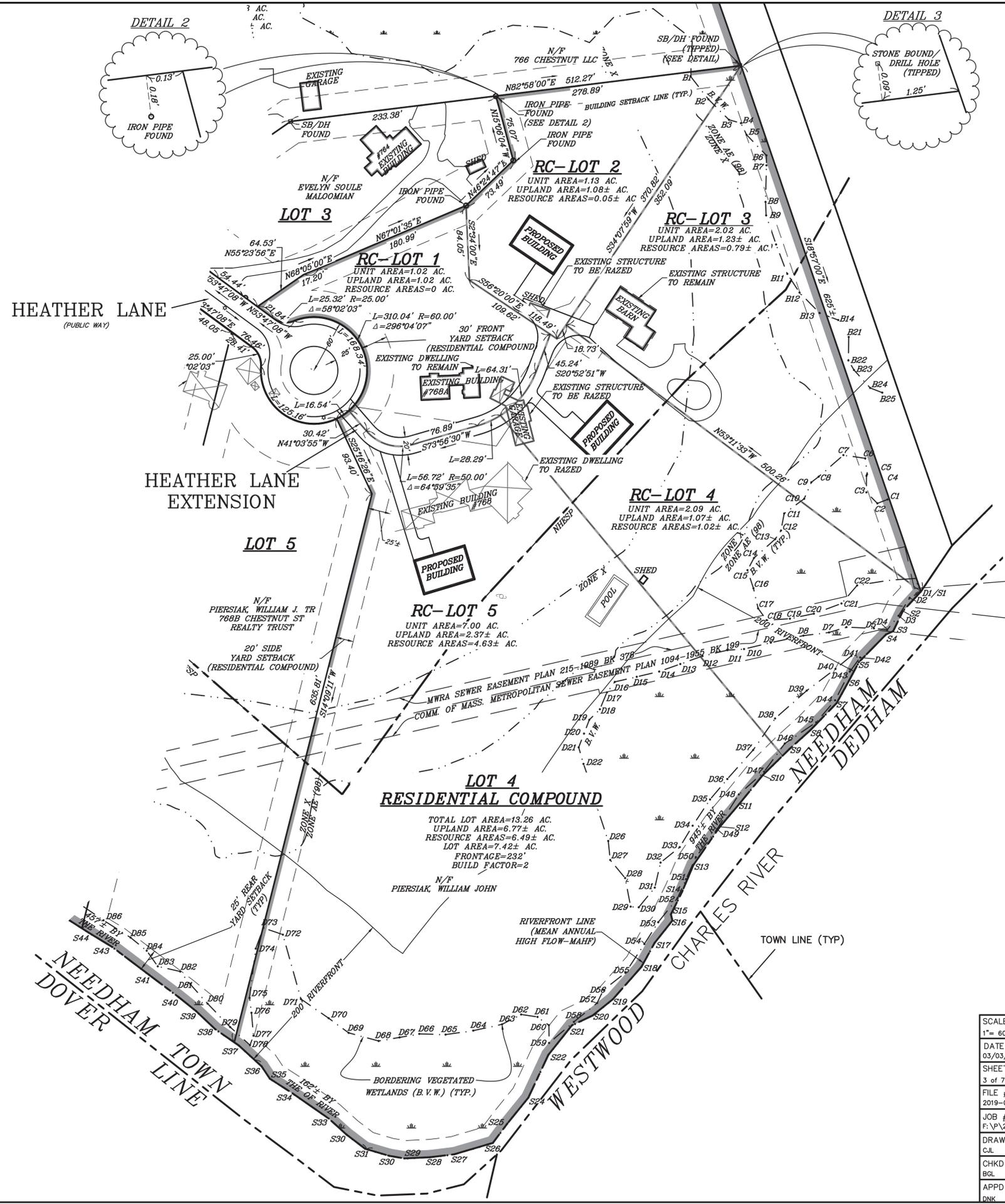
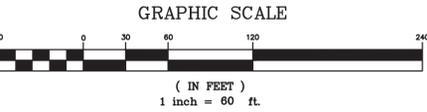
"I, TOWN CLERK OF THE TOWN OF NEEDHAM, CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE NEEDHAM PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SAID RECEIPT AND RECORDING OF SAID NOTICE.

DATE \_\_\_\_\_ TOWN CLERK \_\_\_\_\_

"I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PLAN IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE SUBDIVISION REGULATIONS AND PROCEDURAL RULES OF THE PLANNING BOARD OF THE TOWN OF NEEDHAM."

"I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS"

STEVEN M. HORSFALL, P.L.S. DATE \_\_\_\_\_



### ZONING LEGEND RESIDENTIAL COMPOUND

ZONING DISTRICT: RURAL RESIDENCE CONSERVATION			
	REQUIRED	PROVIDED	COMPLIANCE
MAX. # OF DWELLINGS	5	5	YES
MIN. DENSITY	10 ACRES (NOTE 1)	13.26 ACRES	YES
MIN. TRACK FRONTAGE	150'	232'	YES
MIN. DISTANCE BETWEEN STRUCTURES	30'	>30'	YES
MIN. DIST. FROM STRUCTURE TO TRACT BOUNDARY LINE	20'	>20'	YES
MIN. UNIT AREA	1 ACRE	>1 ACRE	YES

NOTES:  
 1. MINIMUM OF 2 ACRES PER DWELLING UNIT.

**RESIDENTIAL COMPOUND**  
 NO RESIDENTIAL COMPOUND FOR WHICH A SPECIAL PERMIT HAS BEEN ISSUED UNDER THIS SECTION MAY BE SUBDIVIDED OR FURTHER DEVELOPED.

THAT THE LAND LIES WITHIN AN APPROVED RESIDENTIAL COMPOUND;

THAT DEVELOPMENT OF THE LAND IS PERMITTED ONLY IN ACCORDANCE WITH THE LAND USES INDICATED THEREON;

THAT THE TOWN WILL NOT BE REQUESTED TO ACCEPT OR MAINTAIN THE PRIVATE ACCESS, DRAINAGE, OPEN SPACE OR ANY OTHER IMPROVEMENTS WITHIN THE COMPOUND.

FURTHER, ALL DEED RESTRICTIONS WITH RESPECT TO OWNERSHIP, USE AND MAINTENANCE OF PERMANENT OPEN SPACE SHALL BE REFERENCED ON, AND RECORDED WITH, THE PLAN.

Per Section 4.2.12 (e) (1) Site Plans shall meet to the extent applicable the requirements set forth for a Definitive Plan in the Subdivision Regulations and Procedural Rules of the Planning Board. The following table lists those requirements.

Applicable Section	Parameter	Required	Provided	Compliance
3.3.1	Right of Way Width	50'	20'	Waiver
3.3.1	Pavement Width	24'	20'	Waiver
3.3.1	Street Slope	>0.7% and <8%	9%	Waiver
3.3.1	Street slope at intersection	1% for 50'	2%	Waiver
3.3.3	Radii at Intersection	20'	0'	Waiver
3.3.3	Minimum Centerline Radius	100'	50'	Waiver
3.3.4	Intersection angle	90 degrees	90 Degrees	Yes
3.3.5	Dead End Street	Max. Length = 1200'	329'	Yes
3.3.5	Cul-De-Sac	60' Radius or hammerhead	Hammerhead	Yes
3.3.6	Curbing	Granite or Bituminous	No Curbing	Waiver
3.3.8	Granite bounds	As required in 3.3.8	None	Waiver
3.3.9	Street Signs	At street entrance	Yes	Yes
3.3.11	Sewer	Connect to sewer	Yes	Yes
3.3.12	Water	Connect to water	Yes	Yes
3.3.13	Storm Drainage	Provide Storm drainage	To be provided on individual building lots	Yes
3.3.14	Power cable etc	Place underground	Placed underground	Yes
3.3.15	Trees	Endeavor to save existing trees	Where possible	Yes
3.3.16	Sidewalks	One Side	None	Waiver
3.3.16	Standard Cross-Section	One side, 24' wide	None, 20' wide	Waiver
3.3.17	Fire Alarm	Connect to town fire circuit	None	NA
3.3.19	Sidewalk Ramps	ADA curb ramps	No Sidewalk	NA

And waivers of such other sections of the Needham Subdivision Regulations as may be required.

SCALE 1" = 60'	DATE 03/03/20	REV	DATE	REVISION	BY
SHEET 3 of 7	FILE # 2019-088-LT00-RC	<b>RESIDENTIAL COMPOUND</b> 768-768A CHESTNUT ST (LOT 4 HEATHER LANE) NEEDHAM, MA <b>LOTING PLAN</b>			
JOB # F:\P\2019-088	DRAWN BY C.L.				
CHKD BY BGL	APPD BY DNK				
KELLY ENGINEERING GROUP civil engineering consultants 0 Campanelli Drive, Braintree, MA 02184 Phone: 781-843-4333 www.kellyengineeringgroup.com		SHEET NO. <h1>3</h1>			

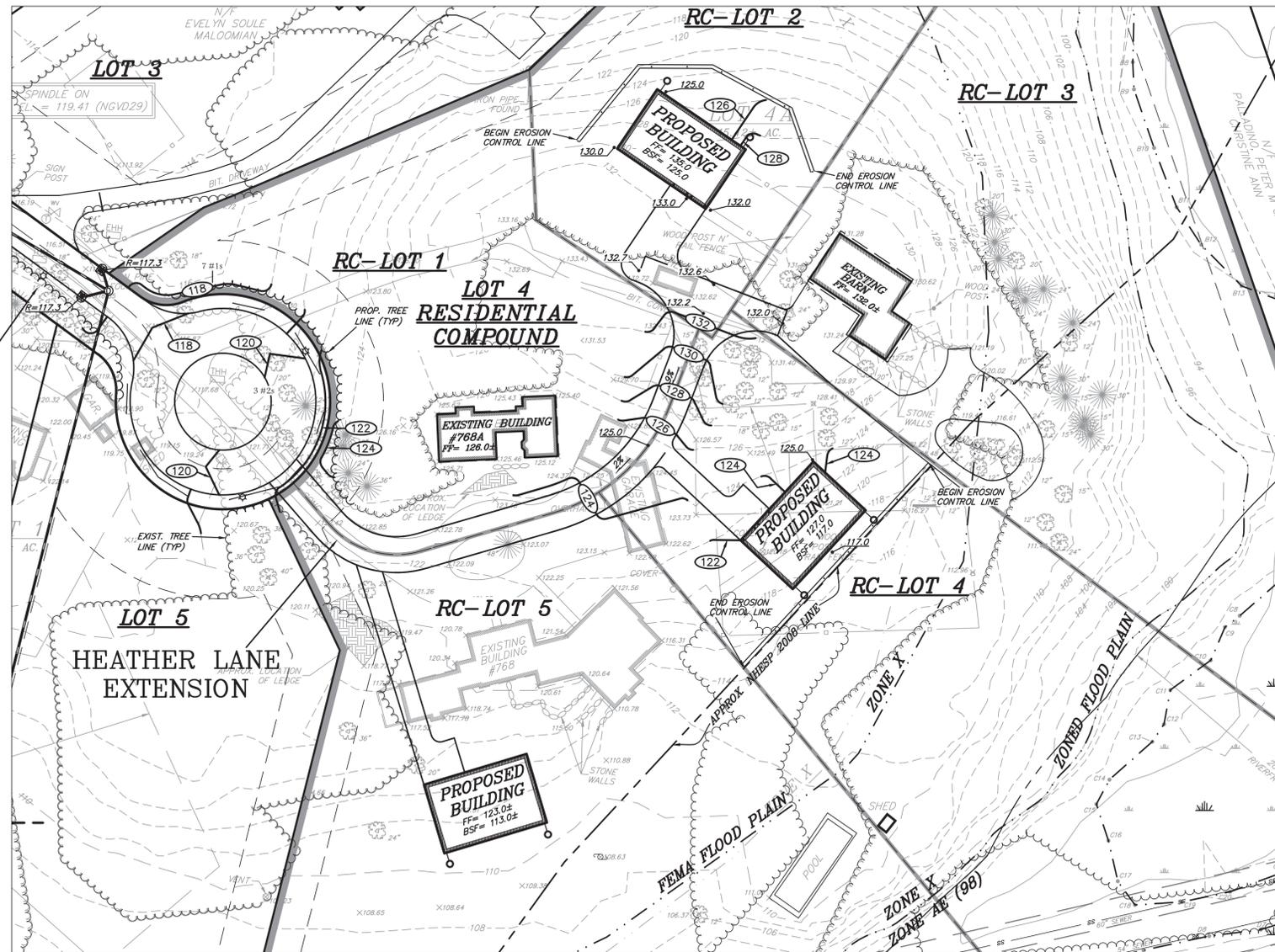
**PROPOSED LEGEND**

	RIP RAP
	FLARED END SECTION
	CATCH BASIN
	WATER QUALITY DEVICE
	DRAIN LINE
	CONTOUR LINE
	SPOT GRADE
	EROSION CONTROL LINE
	SILT SACK

SEE SHEET 3B FOR EXISTING LEGEND



HEATHER LANE  
(PUBLIC WAY)



"APPROVED IN ACCORDANCE WITH SECTION 81-U OF CHAPTER 41 OF THE GENERAL LAWS AS AMENDED"

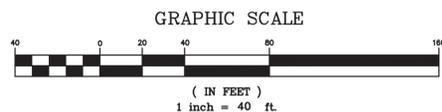
APPROVED SUBJECT TO TERMS AND CONDITIONS OF A COVENANT GIVEN IN ACCORDANCE WITH SECTION 81-U, CHAPTER 41 OF THE GENERAL LAWS AS AMENDED.

\_\_\_\_\_  
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 \_\_\_\_\_  
 APPROVED DATE \_\_\_\_\_  
 ENDORSED DATE \_\_\_\_\_  
 \_\_\_\_\_  
 DIRECTOR OF PUBLIC WORKS  
 \_\_\_\_\_  
 TOWN ENGINEER

"I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PLAN IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE SUBDIVISION REGULATIONS AND PROCEDURAL RULES OF THE PLANNING BOARD OF THE TOWN OF NEEDHAM."

DAVID N. KELLY, P.E.  
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 \_\_\_\_\_  
 DATE \_\_\_\_\_ TOWN CLERK

NOTE: PROPOSED BUILDINGS ARE SHOWN IN APPROXIMATE LOCATIONS AND SIZES. FINAL BUILDING LAYOUT WILL BE DETERMINED AT BUILDING PERMIT STAGE.

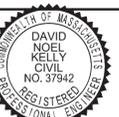


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SCALE 1" = 40'			
DATE 03/03/20	REV	DATE	REVISION
SHEET 4 OF 9			
FILE # 2019-088-000	RESIDENTIAL COMPOUND 768-768A CHESTNUT ST (LOT 4 HEATHER LANE) NEEDHAM, MA		
JOB # F:\P\2019-088	GRADING PLAN		
DRAWN BY C.J.L.	KELLY ENGINEERING GROUP civil engineering consultants 0 Campanelli Drive, Braintree, MA 02184 Phone: 781-843-4333 www.kellyengineeringgroup.com		
CHKD BY B.G.L.	SHEET NO. <b>4</b>		
APPD BY S.M.H.			

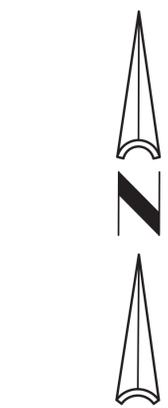
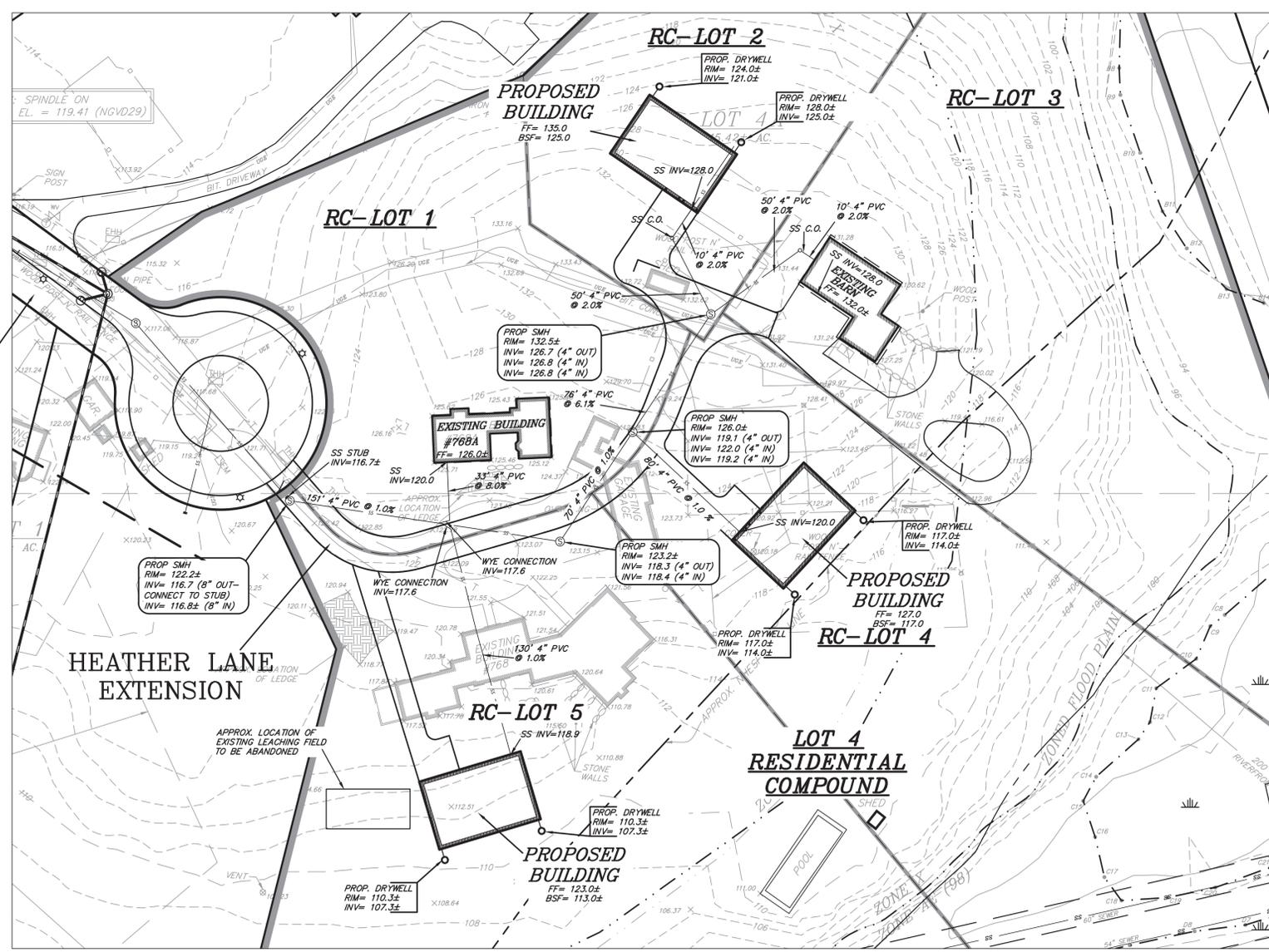


Created by David Noel Kelly, P.E.  
 Drawn by Kelly Engineering Group, Inc.  
 Checked by Kelly Engineering Group, Inc.  
 Date: 2020/03/12 14:29:49

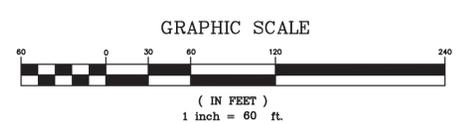
EXISTING LEGEND	
	200' RIVERFRONT LINE
	MEAN ANNUAL HIGH WATER LINE (RIVER)
	BORDERING VEGETATED WETLANDS (B.V.W.)
	NATIONAL HERITAGE ENDANGERED SPECIES PROGRAM LINE (NHESP)
	FLOOD PLAIN
	PROPERTY LINE
	ZONE LINE
	TOWN LINE
	EASEMENT
	BOUND TO BE SET
	WETLANDS

PROPOSED LEGEND	
	EASEMENT
	SEWER MANHOLE
	SEWER LINE
	DRY WELL

HEATHER LANE  
(PUBLIC WAY)



NOTE: ALL SEPTIC SYSTEMS TO BE ABANDONED PER TITLE V REQUIREMENTS. RESIDENTIAL COMPOUND DRAINAGE SYSTEMS TO BE DESIGNED TO COMPLY WITH THE TOWN OF NEEDHAM STORMWATER REGULATIONS.



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APPROVED DATE \_\_\_\_\_

ENDORSED DATE \_\_\_\_\_

DIRECTOR OF PUBLIC WORKS \_\_\_\_\_

TOWN ENGINEER \_\_\_\_\_

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DATE \_\_\_\_\_ TOWN CLERK \_\_\_\_\_

SCALE 1" = 40'	REV	DATE	REVISION	BY
DATE 03/03/20				
SHEET 5 of 9	RESIDENTIAL COMPOUND 768-768A CHESTNUT ST (LOT 4 HEATHER LANE) NEEDHAM, MA			
FILE # 2019-088-PP00				
JOB # F:\P\2019-088	SEWER & DRAIN PLAN			
DRAWN BY C.L.	<b>KELLY ENGINEERING GROUP</b> civil engineering consultants 0 Campanelli Drive, Braintree, MA 02184 Phone: 781-843-4333 www.kellyengineeringgroup.com			
CHKD BY BGL				
APPD BY DNK				
SHEET NO.				<b>5</b>

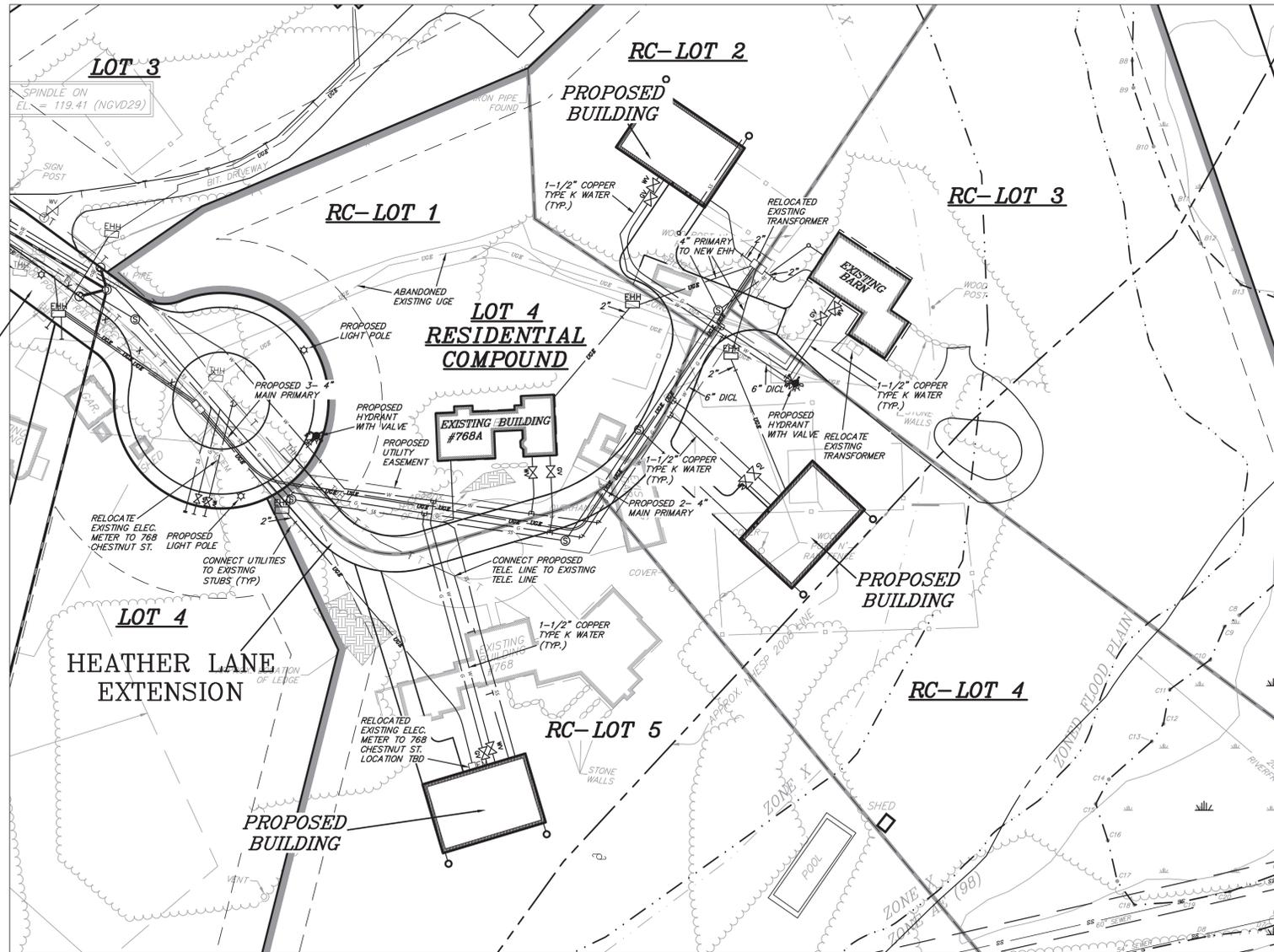
**EXISTING LEGEND**

---	200' RIVERFRONT LINE
---	MEAN ANNUAL HIGH WATER LINE (RIVER)
---	BORDERING VEGETATED WETLANDS (B.V.W.)
---	NATIONAL HERITAGE ENDANGERED SPECIES PROGRAM LINE (NHESP)
---	FLOOD PLAIN
---	PROPERTY LINE
---	ZONE LINE
---	TOWN LINE
---	EASEMENT
---	BOUND TO BE SET
---	WETLANDS

**PROPOSED LEGEND**

---	EASEMENT
⊙	SEWER MANHOLE
---	SEWER LINE
○	DRY WELL
□	CATCH BASIN
⊙	DRAIN MANHOLE
---	DRAIN LINE
⊙	SEWER MANHOLE
---	SEWER LINE
---	GAS VALVE
---	GAS LINE
---	HYDRANT
---	WATER VALVE
---	WATER LINE
---	UNDERGROUND ELECTRIC LINE
---	ELECTRIC LINE

HEATHER LANE  
(PUBLIC WAY)



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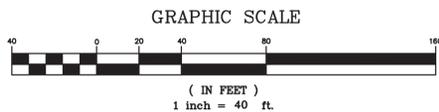
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DATE \_\_\_\_\_ TOWN CLERK \_\_\_\_\_

APPROVED DATE \_\_\_\_\_  
 ENDORSED DATE \_\_\_\_\_  
 DIRECTOR OF PUBLIC WORKS \_\_\_\_\_  
 TOWN ENGINEER \_\_\_\_\_



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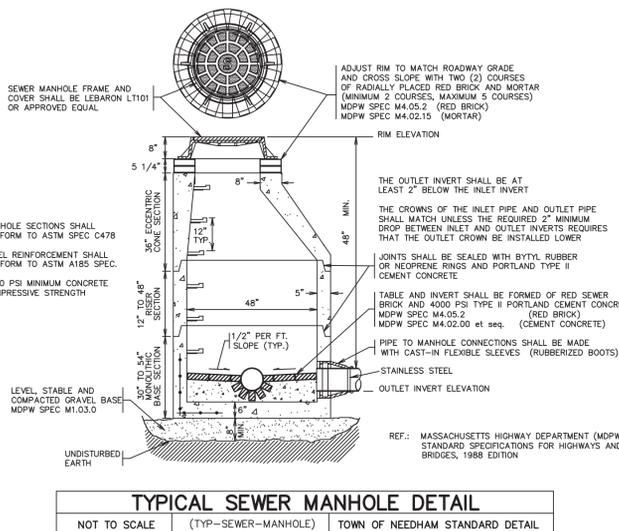
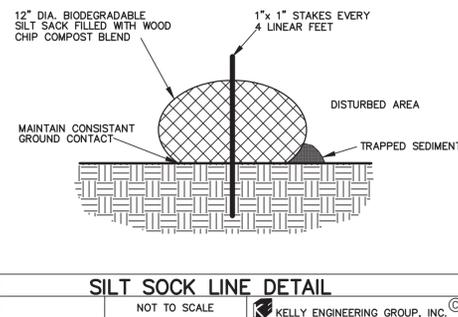
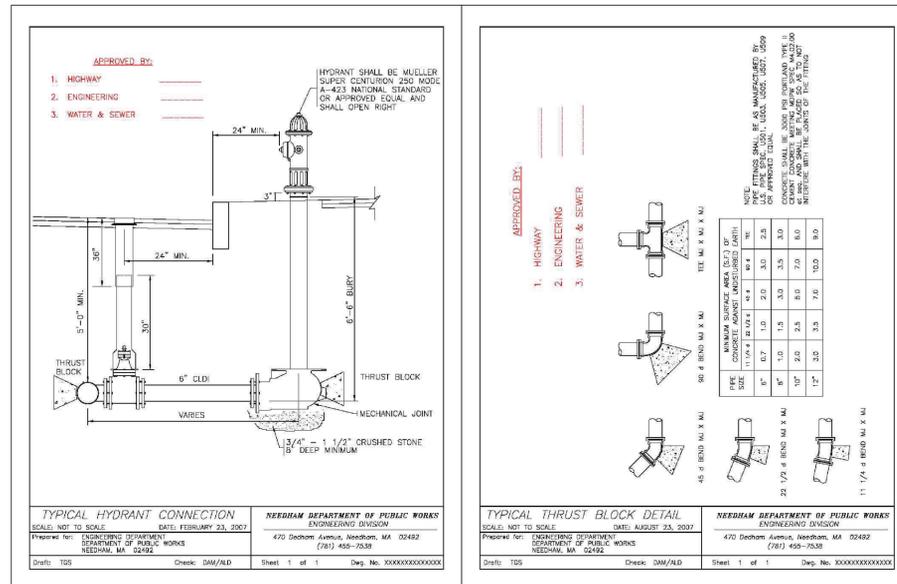
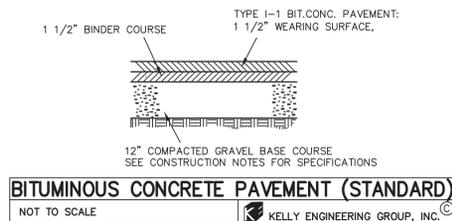
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SCALE	1" = 40'		
DATE	03/03/20		
SHEET	6 of 7		
FILE #	2019-088-UT00		
JOB #	F:\P\2019-088		
DRAWN BY	C.L.		
CHKD BY	BGL		
APPD BY	DNK		
REV	DATE	REVISION	BY
<b>RESIDENTIAL COMPOUND</b> 768-768A CHESTNUT ST (LOT 4 HEATHER LANE) NEEDHAM, MA			
<b>UTILITY PLAN</b>			
<b>KELLY ENGINEERING GROUP</b> civil engineering consultants 0 Campanelli Drive, Braintree, MA 02184 Phone: 781-843-4333 www.kellyengineeringgroup.com			

DAVID NOEL KELLY CIVIL NO. 37942 REGISTERED PROFESSIONAL ENGINEER

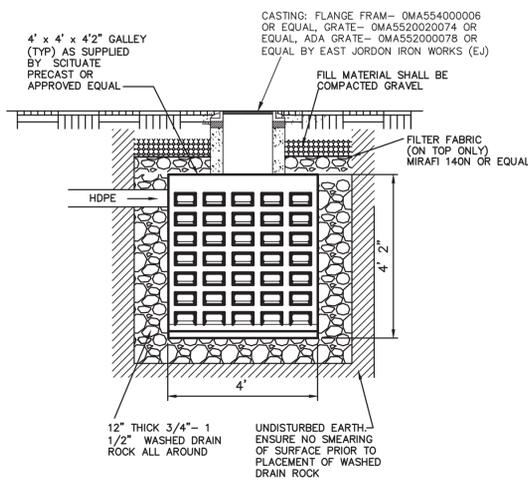
DATE 2020.04.23 14:30:32 -04'00'

SHEET NO. **6**

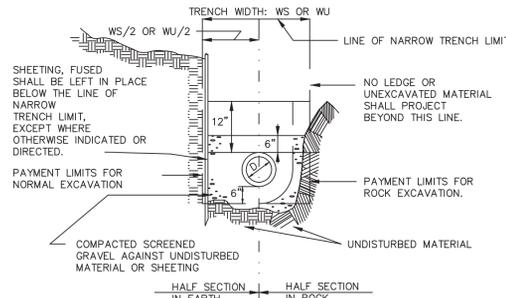


**WATER DEPARTMENT NOTES**

- F1. ALL MAINS, VALVES AND APPURTENANCES INSTALLED MUST BE IN STRICT ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE TOWN OF NEEDHAM AND MEET THE APPROVAL OF THE WATER SUPERINTENDENT.
- F2. SPECIFICATIONS FOR MATERIAL, EQUIPMENT AND INSTALLATION MUST BE APPROVED BY THE WATER SUPERINTENDENT AND THE TOWN CONSULTANT PRIOR TO THE START OF CONSTRUCTION.
- F3. NO WATER MAIN MAY BE COVERED UNTIL THE WATER SUPERINTENDENT OR HIS REPRESENTATIVE HAS INSPECTED THE INSTALLATION AND GIVEN HIS APPROVAL.
- F4. ALL INSTALLED PIPING SHALL BE TESTED IN ACCORDANCE WITH THE REQUIREMENTS OF AWWA C600.
- F5. A REPRESENTATIVE OF THE WATER DEPARTMENT SHALL WITNESS ALL REQUIRED TESTS AND INSPECTIONS.
- F6. ALL NEW MAINS SHALL BE FLUSHED AT A VELOCITY TO BE SPECIFIED BY THE WATER DEPARTMENT BEFORE AND AFTER DISINFECTION.
- F7. ALL WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA C651.
- F8. ALL WATER MAINS SHALL BE LAID AT LEAST TEN (10) FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED SEWER. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE.
- F9. CHLORINATION TAPS MUST BE PROVIDED AT LOCATIONS TO BE SPECIFIED BY THE WATER SUPERINTENDENT.



DIAM. OF PIPE	TRENCH WIDTH: WS OR WU	
	UNSHEETED	WS SHEETED
12" AND SMALLER	3'-0"	4'-2"
15" AND LARGER	O.D.+20"	O.D.+36"



"APPROVED IN ACCORDANCE WITH SECTION 81-U OF CHAPTER 41 OF THE GENERAL LAWS AS AMENDED"

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APPROVED DATE \_\_\_\_\_  
 ENDORSED DATE \_\_\_\_\_  
 DIRECTOR OF PUBLIC WORKS \_\_\_\_\_  
 TOWN ENGINEER \_\_\_\_\_

DATE \_\_\_\_\_ TOWN CLERK \_\_\_\_\_

**CONSTRUCTION NOTES**

- A1. THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER OF ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS FROM THOSE SHOWN ON THESE PLANS. ANY PROPOSED REVISIONS TO THE WORK, IF REQUIRED BY THESE SITE CONDITIONS, SHALL NOT BE UNDERTAKEN UNTIL REVIEWED AND APPROVED BY THE OWNER AND THE ENGINEER.
- A2. THE CONTRACTOR SHALL NOTIFY THE TOWN OF NEEDHAM DEPARTMENT OF PUBLIC WORKS AT LEAST 48 HOURS IN ADVANCE OF ANY REQUIRED INSPECTIONS.
- A3. IN ORDER TO PROTECT THE PUBLIC SAFETY DURING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING AT ALL TIMES ALL NECESSARY SAFETY DEVICES AND PERSONNEL WARNING LIGHTS, BARRICADES, AND POLICE OFFERS.
- A4. ALL WORK SHALL CONFORM TO A SPECIAL PERMIT TO BE ISSUED BY THE PLANNING BOARD.
- A5. THE LOCATION OF UNDERGROUND UTILITIES AS REPRESENTED ON THESE PLANS IS BASED UPON PLANS AND INFORMATION PROVIDED BY THE RESPECTIVE UTILITY COMPANIES OR MUNICIPAL DEPARTMENTS SUPPLEMENTED BY FIELD IDENTIFICATION WHEREVER POSSIBLE. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UNDERGROUND UTILITIES ARE SHOWN. THE CONTRACTOR SHALL CONTRACT DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. DIG SAFE TELEPHONE NUMBER IS 1-888-344-7233.
- A6. THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO TAPPING INTO, CROSSING OR EXTENDING THEM. IF THE NEW WORK POSES A CONFLICT WITH EXISTING UTILITIES, THE ENGINEER SHALL BE NOTIFIED PRIOR TO THE CONTRACTOR CONTINUING.
- B1. ALL WATER WORK SHALL COMPLY WITH SPECIFICATIONS OF THE TOWN OF NEEDHAM WATER DEPARTMENT. SEE F1-F9 NOTES BELOW.
- B2. GRAVITY SEWER SHALL BE SDR 35. WATER LINES SHALL BE CONCRETE LINED CL 52 D.I.P. (DUCTILE IRON PIPE) & OR COPPER TYPE K REINFORCED CONCRETE PIPE RCP SHALL BE CLASS III. HDPE STORM DRAIN SHALL BE ADS N12 OR EQUIVALENT.
- B3. NO LEDGE, BOULDERS, OR OTHER UNYIELDING MATERIALS ARE TO BE LEFT WITHIN 6" OF THE SEWER IN THE TRENCH, NOR ARE THEY TO BE USED FOR BACKFILL FOR THE FIRST 12" ABOVE THE PIPES.
- C1. BASE MATERIAL SHALL BE CLEAN BANK RUN GRAVEL, CONFORMING TO M.D.P.W. M1.03.1, WITH NO STONES LARGER THAN THREE (3) INCHES IN DIAMETER AND SHALL BE PLACED AND ROLLED WITH AT LEAST A TEN TON ROLLER. THE SURFACES SHALL BE WET DURING ROLLING TO BIND THE MATERIAL. ALL STONES OF 4" DIAMETER OR LARGER SHALL BE REMOVED FROM THE SUB-BASE PRIOR TO PLACING BASE MATERIAL.
- C2. PAVEMENT AREA SHALL BE PAVED TO A THICKNESS AS SHOWN ON THE PLANS MEASURED AFTER COMPACTION, WITH A BINDER COURSE AND TOP COURSE OF CLASS I BITUMINOUS CONCRETE PAVEMENT, TYPE 1-1.
- C3. THE AGGREGATE SHALL BE COMPOSED, MIXED AND LAID HOT IN TWO COURSES AS SPECIFIED IN THE "COMMONWEALTH OF MASSACHUSETTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES", 1988 EDITION, SECTION 460 FOR CLASS I BITUMINOUS CONCRETE PAVEMENT, AS SPECIFICALLY SET FORTH IN SECTION 460.20 AND 460.82.
- C4. ALL EXISTING PAVING TO BE DISTURBED SHALL BE CUT ALONG A STRAIGHT LINE THROUGH ITS ENTIRE THICKNESS. BUTT NEW PAVING INTO THE EXISTING PAVEMENT TO REMAIN AND TACK COAT THE JOINT.
- C5. ANY PAVEMENT REMOVED FOR UTILITY TRENCH EXCAVATION OR OTHERWISE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH A PAVEMENT SECTION CONSISTING OF 1 1/2" WEAR COURSE OVERLAYING A 2" BINDER COURSE OVERLAYING A 4" DENSE GRADED GRAVEL COURSE OVERLAYING A 6" COMPACTED GRAVEL BASE COURSE.

**EROSION CONTROL NOTES**

- E1. THE CONTRACTOR SHALL REGULARLY INSPECT THE PERIMETER OF THE PROPERTY TO CLEANUP AND REMOVE LOOSE CONSTRUCTION DEBRIS BEFORE IT LEAVES THE SITE. ALL DEMOLITION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE SITE TO A LEGAL DUMP SITE. ALL TRUCKS LEAVING THE SITE SHALL BE COVERED.
- E2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTITUTE EROSION CONTROL MEASURES ON AN AS NECESSARY BASIS, SUCH THAT EXCESSIVE SOIL EROSION DOES NOT OCCUR. MEASURES SHALL INCLUDE HAY BALE DIKES AROUND DRAINAGE INLETS, MULCHING AND PLANTING OF DISTURBED AREAS.
- E3. AFTER INSTALLATION OF EACH DRAINAGE INLET SILT SACKS SHALL BE INSTALLED AROUND EACH DRAINAGE INLET TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM.
- E4. AT THE END OF CONSTRUCTION ALL DRAINAGE STRUCTURES ARE TO BE CLEANED OF SILT, STONES AND OTHER DEBRIS.
- E5. DURING CONSTRUCTION THE EROSION CONTROL MEASURES SHALL BE INSPECTED ONCE PER WEEK AND WITHIN 24 HOURS OF ANY STORM EVENT GENERATING MORE THAN 1/2" OF RAINFALL. THE EROSION CONTROL MEASURES SHALL BE CLEANED REGULARLY AND ADJUSTED IF NECESSARY TO ENSURE THAT NO SILT OR DEBRIS LEAVES THE SITE.

SCALE				
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