### <u>Monday, July 8, 2024</u> 7:30 p.m.

### **Virtual Meeting using Zoom**

Meeting ID: 845-1987-6965 (Instructions for accessing below)

Under Governor Baker's Act "Extending Certain COVID-10 Measures Adopted During the State of Emergency", extending the "Executive Order Suspending Certain Provisions of the Open Meeting Law G.L. c. 30A, S20,", issued June 16, 2021, and extended several times again through 2025, meeting of public bodies could be conducted virtually provided that adequate access is provided to the public.

To view and participate in this virtual meeting on your phone, download the "Zoom Cloud Meetings" app in any app store or at <a href="www.zoom.us">www.zoom.us</a>. At the above date and time, click on "Join a Meeting" and enter the following Meeting ID: 845-1987-6965 Link: <a href="https://us02web.zoom.us/j/84519876965">https://us02web.zoom.us/j/84519876965</a>

To view and participate in this virtual meeting on your computer, at the above date and time, go to <a href="www.zoom.us">www.zoom.us</a> click "Join a Meeting" and enter the following ID: 845-1987-6965

### **HEARINGS:**

Public notice is hereby given that Needham Garden Center renamed Needham Garden & Hardware located at 53 Chestnut St, has made application to the Design Review Board for a Special Permit pursuant to the Sign By-Law Section 5.5.3.1, seeking 3 additional permanent signs in addition to 3 which are normally allowed and Section 5.4.2.2, seeking one additional projecting sign in addition to one which is normally allowed for a total of 8 signs, and any other applicable sections of the By-law.

Public notice is hereby given that St. Sebastian's School located at 1191 Greendale Ave., has made application to the Design Review Board for a Special Permit pursuant to the Sign By-Law Section 5.5.3.1 and 5.5.4 for a permanent sign attached to a new scoreboard exceeding the maximum number of signs on the premises (one), exceeds the maximum square footage of 32 Sq. feet and the maximum height of 20', and any other applicable sections of the By-law.

Public notice is hereby given that Union Pharmacy located at 1004 Great Plain Ave., has made application to the Design Review Board for a Special Permit pursuant to the Sign By-Law Section 5.5.3.1 for a third permanent wall sign when only 2 are allowed and any other applicable sections of the By-law.

### **APPLICANTS:**

No other applicants.

### **REVIEW**

Minutes of 6/24/2024 meeting.

Next Public Meeting – July 29, 2024 at 7:30pm via Zoom Webinar

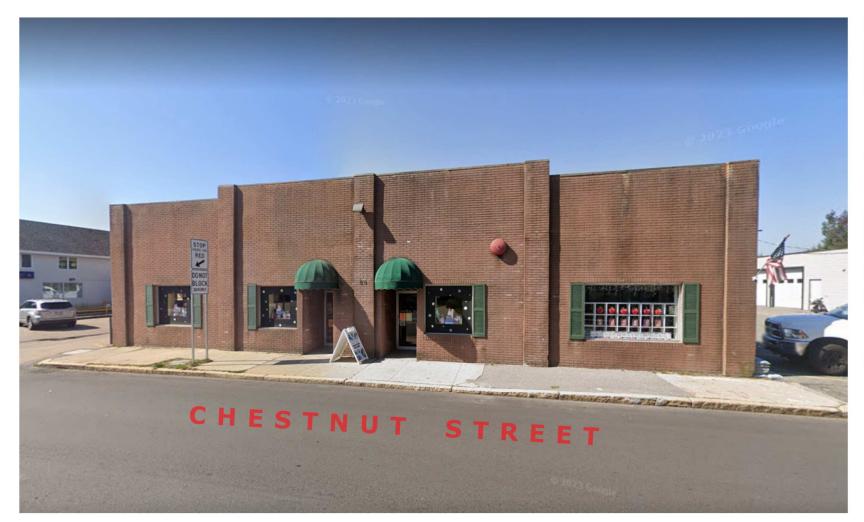
# NEEDHAM GARDEN & HARDWARE SIGN SUBMISSION

### 53 CHESTNUT STREET

NEEDHAM MA 21 JUNE 2024

Prepared for: Needham Garden Center 53 Chestnut Street Needham, MA 02492

Architect:
Scott Melching AIA, LEED GRP
116 Arch Street
Needham MA 02492
www.scottmelchingarchitect.com









2 | EXISTING FACADE - PHOTOS







**SIGN SUBMISSION** 

3 | PERSPECTIVE VIEW (PROVIDED BY TRUE VALUE)



### DESIGN REVIEW BOARD

Public Service Administration Building 500 Dedham Avenue Needham, MA 02492 **Application and Report** 

Property L	ocation: 53 CHESTNUT ST	REET	Date	. 24 JUNE 20
Owner:	NEEDHAM GARDEN & HA	RDWARE (GARRET	GRAHAM)	
Address:	53 CHESTNUT STREET	NEEDHAM	MA	02492
Telephone.	Street <b>02492</b>	City	State	Zip
Applicant:	SCOTT MELCHING ARCHI	TECT		
Address:	116 ARCH STREET	NEEDHAM	MA	02492
Telephone.	Street . 718.578.3354	City	State	Zip
Design <b>e</b> r/I	J.T. DELANEY CON	ISTRUCTION LLC		
Address:	31 LAKE DRIVE Street	NEEDHAM City	MA State	02492 Zip
Гelephone.	781.453.0667			
	Type of Applican  Sign  Minor Project  Exterior Altera  Major Project  - preliminary  - final  Flexible Subdiv	ntions (Site Plan Review)		
		ential Development		
- New s Pro	FACADE: ign located on the front facac posed sign to be illuminated drawing for area and dimens	de awning located abo by two wall mounted l		

Please email completed application to elitchman@needhamma.gov



### DESIGN REVIEW BOARD

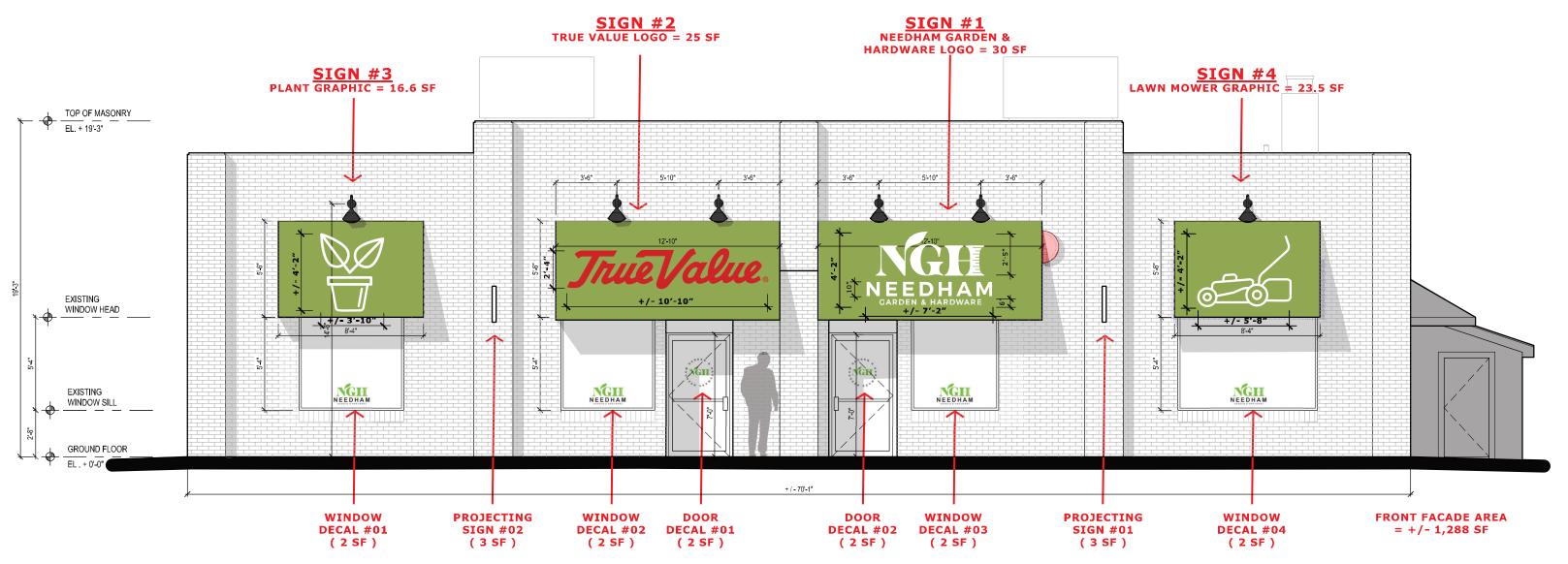
Public Service Administration Building 500 Dedham Avenue Needham, MA 02492 **Application and Report** 

operty Location: 53 Ch	HESTNUT STR	EET	Date	24 JUNE 2
vner: NEEDHAM GA	ARDEN & HAR	DWARE (GARRET	GRAHAM)	
dress: 53 CHESTNU	T STREET	NEEDHAM	MA	02492
Street 02492		City	State	Zip
plicant: SCOTT MELC	HING ARCHIT	ECT		
dress: 116 ARCH ST	REET	NEEDHAM	MA	02492
Street 718.578.3354		City	State	Zip
dress: 31 LAKE DRIV	/E	NEEDHAM	MA	02492
Street		City	State	Zip
lephone: <b>781.453.0667</b>				
	Sign  Minor Project  Exterior Alteratic Major Project (Si - preliminary - final  Flexible Subdivis Planned Resident Residential Comp	ons ite Plan Review) ion		
lΓ	¬ ъ			

### **FRONT FACADE:**

- Three new signs / graphics to be located on new awnings along Chestnut Street / main entry. Below is a summary of the three signs:
- Sign 2 Red "TrueValue" trademark located above the main entry door on Chestnut Street
- Sign 3 White "Plant" graphic located above existing window
- Sign 4 White "lawnmower" graphic located above existing window
  - Signs to be illuminated by wall mounted light fixtures
  - See drawing for area and dimensions

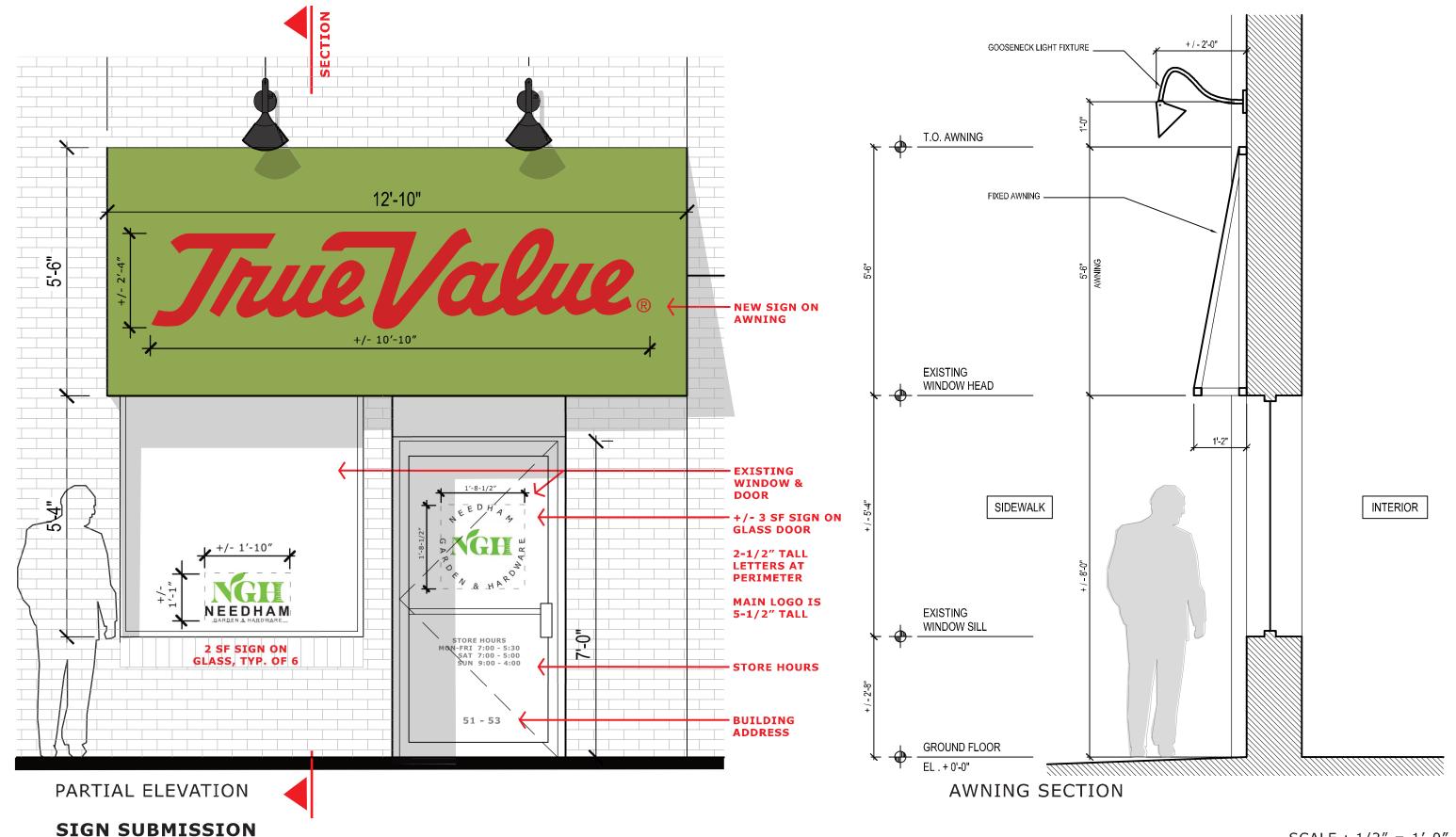




### **APPLICATION #03 - SIGN SUBMISSION**

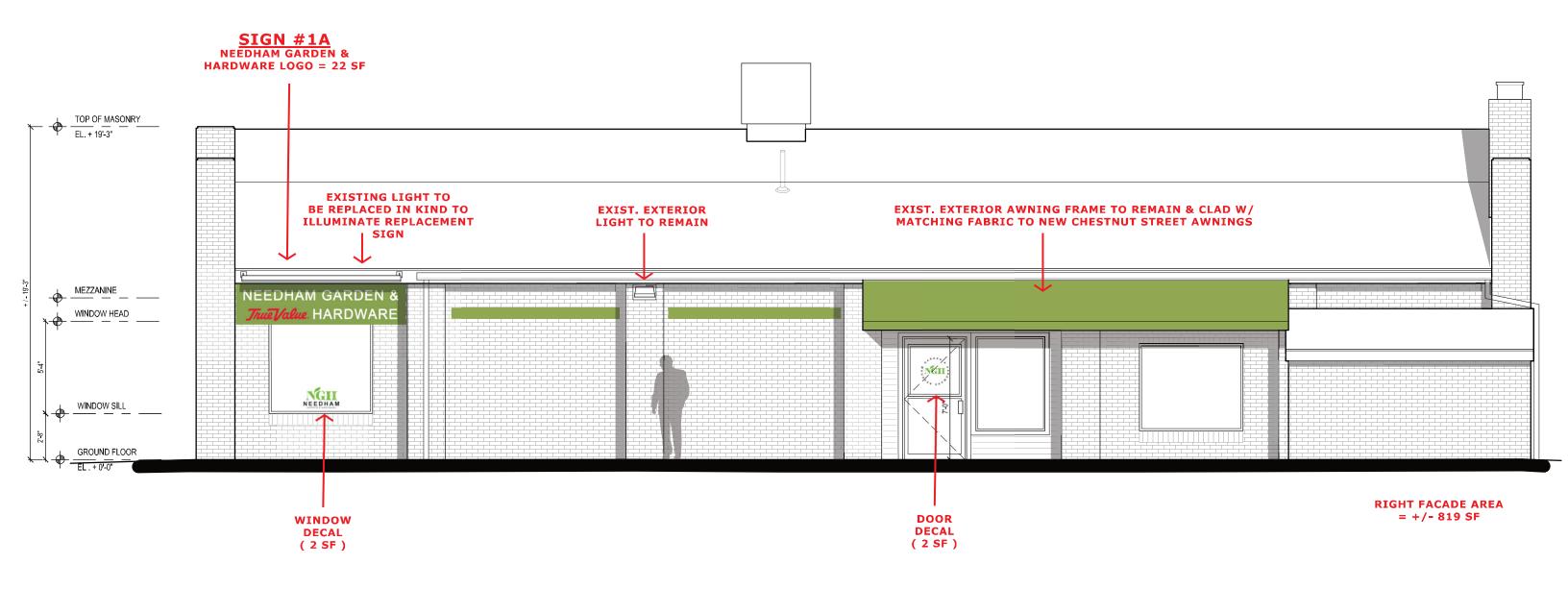
4 | FRONT FACADE

SCALE: 3/16'' = 1'-0''



7 | ENLARGED FRONT FACADE SIGN / WINDOW DECAL DETAIL

SCALE: 1/2" = 1'-0" 21 JUNE 2024



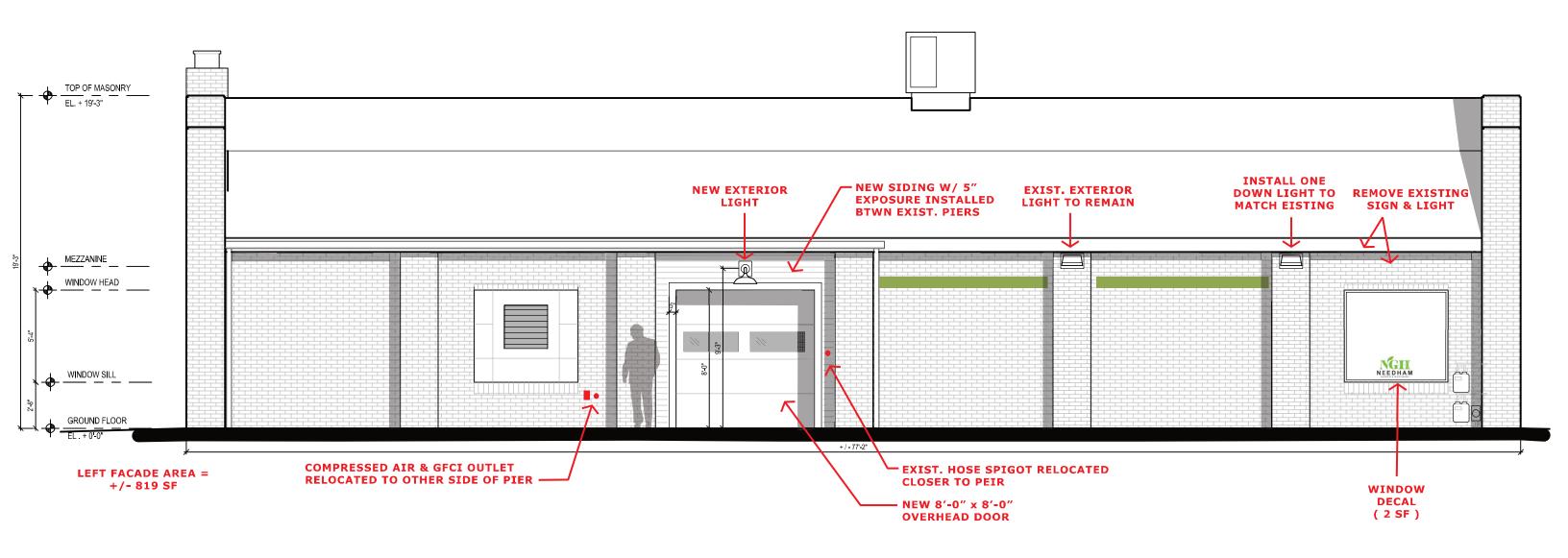
### SIGN SUBMISSION

5 | RIGHT FACADE

SCALE: 3/16" = 1'-0" 21 JUNE 2024

AIA. LEED BD+C. GRP

SCOTT MELCHING ARCHITECT



### SIGN SUBMISSION

6 | LEFT FACADE - PROPOSED

SCALE: 3/16" = 1'-0" 21 JUNE 2024



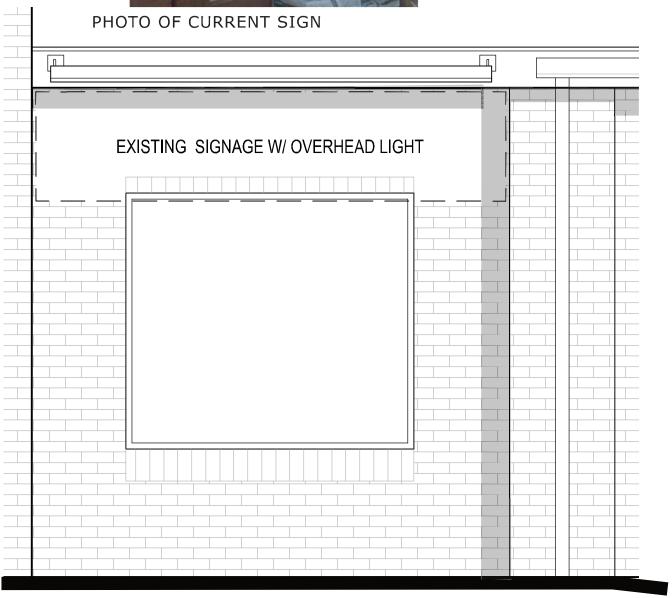
### DESIGN REVIEW BOARD

Public Service Administration Building 500 Dedham Avenue Needham, MA 02492 **Application and Report** 

Property L	ocation: 53 C	HESTNUT STRE	EET	Date	. 24 JUNE 2024
Owner:	NEEDHAM G	ARDEN & HARI	DWARE (GARRET	GRAHAM)	
Address:	53 CHESTNU	T STREET	NEEDHAM	MA	02492
Telephone	Street <b>02492</b>		City	State	Zip
Applicant:	SCOTT MELO	CHING ARCHITE	ECT		
Address:	116 ARCH S	<b>TREET</b>	NEEDHAM	MA	02492
Telephone	Street 718.578.3354		City	State	Zip
Designer/I	nstaller: J.T. [	DELANEY CONS	TRUCTION LLC		
Address:	31 LAKE DRI	VE	NEEDHAM	MA	02492
Telephone		Type of Applicatio  Sign  Minor Project  Exterior Alteratio  Major Project (Si  - preliminary  - final	ons te Plan Review)	State	Zip
	_	<ul><li>☐ Flexible Subdivisi</li><li>☐ Planned Resident</li><li>☐ Residential Comp</li></ul>	ial Development		
- Replace - applied - Sign	to existing met n 1A to be the s	xterior sign located and sign states as existence as exis	ated on the right fac		vinyl sign

Please email completed application to elitchman@needhamma.gov





REPLACE / REFURBISH **EXISTING EXTERIOR** 9'-11-1/2" LIGHT FIXTURE **NEW VINYL SIGN ON** 2′-3″ **EXISTING METAL SIGN** (+/- 22 SF) **ULL.** HARDWARE **TYPICAL OF 2.** +/- 7" LETTER HEIGHT **EXISTING WINDOW** 2 SF SIGN ON **GLASS, TYP. OF 6** NEEDHAM

**SIGN SUBMISSION** 

**EXISTING** 

8 | ENLARGED RIGHT FACADE

SCALE: 1/2" = 1'-0" 21 JUNE 2024

AIA. LEED BD+C. GRP

**PROPOSED** 



### DESIGN REVIEW BOARD

Public Service Administration Building 500 Dedham Avenue Needham, MA 02492 **Application and Report** 

Street City State Zip	53 CHESTNUT STREE	T NEEDHAM	MA	02492
116 ARCH STREET NEEDHAM MA 02492 Street City State Zip  718.578.3354  J.T. DELANEY CONSTRUCTION LLC  31 LAKE DRIVE NEEDHAM MA 02492 Street City State Zip	02402	City	State	Zip
Street City State Zip  718.578.3354  J.T. DELANEY CONSTRUCTION LLC  31 LAKE DRIVE NEEDHAM MA 02492  Street City State Zip	SCOTT MELCHING AR	CHITECT		
Totaller: J.T. DELANEY CONSTRUCTION LLC  31 LAKE DRIVE NEEDHAM MA 02492  Street City State Zip	116 ARCH STREET	NEEDHAM	MA	02492
J.T. DELANEY CONSTRUCTION LLC  31 LAKE DRIVE NEEDHAM MA 02492  Street City State Zip	21.11	City	State	Zip
	31 LAKE DRIVE	NEEDHAM		
	31 LAKE DRIVE  Street 781.453.0667	NEEDHAM City		
Type of Application  Sign	31 LAKE DRIVE  Street  781.453.0667  Type of App	NEEDHAM City		
Sign Minor Project	31 LAKE DRIVE  Street  781.453.0667   Type of App  Sign  Minor Pr	NEEDHAM City plication		
<ul><li>Sign</li><li>Minor Project</li><li>□ Exterior Alterations</li></ul>	31 LAKE DRIVE	NEEDHAM  City  plication  roject Alterations		
Sign  Minor Project  Exterior Alterations  Major Project (Site Plan Review)  - preliminary	31 LAKE DRIVE  Street  781.453.0667  Type of App Sign  Minor Pr Exterior Major Pr - prelimin	NEEDHAM  City  plication  roject Alterations roject (Site Plan Review)		
Sign  Minor Project  Exterior Alterations  Major Project (Site Plan Review)  - preliminary  - final	31 LAKE DRIVE	NEEDHAM  City  polication  roject Alterations roject (Site Plan Review) nary		
Sign  Minor Project  Exterior Alterations  Major Project (Site Plan Review)  - preliminary	31 LAKE DRIVE  Street  781.453.0667  Type of App Sign Sign Sign Street  Major Pr prelimit final Flexible Street	NEEDHAM  City  polication  roject Alterations roject (Site Plan Review) nary  Subdivision		<b>02492</b> Zip

- See drawing for location, area & dimensions



### DESIGN REVIEW BOARD

Public Service Administration Building
500 Dedham Avenue
Needham, MA 02492
Application and Report

roperty L	Location: 53 CHESTNUT	STREET	Date	24 JUNE
wner:	NEEDHAM GARDEN &	HARDWARE (GARRET	GRAHAM)	
ddress:	53 CHESTNUT STREET	NEEDHAM	MA	02492
elephone	Street <b>02492</b>	City	State	Zip
pplicant.	SCOTT MELCHING ARC	CHITECT		
ddress:	116 ARCH STREET	NEEDHAM	MA	02492
elephone	Street 2 718.578.3354	City	State	Zip
	J.T. DELANEY O	CONSTRUCTION LLC  NEEDHAM	MA	02492
<b>esigner/l</b> ddress:	Installer:)		MA State	02492 Zip
ddress:	31 LAKE DRIVE	NEEDHAM		

### **FRONT FACADE:**

- Second projecting sign to be located between awnings and display the "TrueValue" brand name.
- Proposed sign to be round with a total sign area of +/- 2.9 SF (when measured in a square)
- See drawing for location, area & dimensions

Please email completed application to elitchman@needhamma.gov



PROJECTING SIGN #01



**PROJECTING SIGN #02** 



**CONCEPT IMAGE** 

### NEW SIGNAGE - 2.9 SF NGH **EXISTING** WINDOW HEAD SIDEWALK INTERIOR **EXISTING** WINDOW SILL **GROUND FLOOR**

### **SIGN SUBMISSION**

9 | PROJECTING SIGN - ENLARGED SECTION / SIGN GRAPHIC

SCALE: 1/2" = 1'-0" 21 JUNE 2024

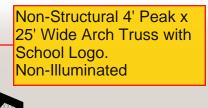


### DESIGN REVIEW BOARD

Public Service Administration Building 500 Dedham Avenue Needham, MA 02492 Application and Report

operty Location: St Sebastian's Sc	chool - Football / Lacrosse	e field	6/5/2024
oner: St Sebastian's School			
dress: 1191 Greendale Ave	Needham, M	A 02492	
Street 781-247-0163	City	State	Zip
plicant:St Sebastian's School			
dress: 1191 Greendale Ave	Needham, N	ЛА 02492	
Street_781-247-0163	City	State	Zip
ress: 274 Fruit St Street	Mansfield, M	State	Zip
signer/Installer: Scoreboard Enter	rprises Inc		
	City	State	Zip
ephone: 508-339-8113			
Type of Apple Sign	ication		
☐ Minor Pro	ject		
Exterior Al	lterations ject (Site Plan Review)		
□ - prelimina			
	An district		
Flexible Su	esidential Development		
	Compound		
Adamaniantian of airm an anniant			
ef description of sign or project:	football / lacrosse scoreh	oard Newso	coroboard
eplacement of approx 22 year old	TOOLDAII / TACTOSSE SCOTED	oaiu. New sc	oreboard
ne name of the school, "St Sebasti	an's School" with the sch	ool logo, "S" v	v arrows.
ase email completed application to eli	itchman@needhamma.gov		

Date: 04/10/2024 (R1 04/11)









PLAYER PENALTY

DAKTRONICS

Truss (DA-1001-25) with Screen & Routered Aluminum - 48" x 300" (Line 16)

Truss & Routed Alum painted Black 70-3845769-A-8800 Logo 38"h

- Print color as provided

TOP ID: Aluminum Non-Backlit

Panel - 30" x 300" x 8.125" (Line 19)

Painted Black 70-3845769-A-8800

"S" in St. 17"h Fonts Used: Provided as is

- Print color as provided

30" tall x 25' Wide Panel with School Name. Non-Illuminated

**Scoreboard Type** 

FB-2021/MS-2012 Black 70-3845769-A-8800 2" Stripe White 7725-10

Direct to Board (Line 29) (MS 2012) - 40.75" x 93.5"

Background Black Logo 37.1"h

Fonts Used: Provided as is

- Print color as provided

BTM: Aluminum Non-Backlit

Panel - 30" x 300" x 8.125" (Line 19)

Painted Black 70-3845769-A-8800
\*\* BLANK NO COPY \*\*

@1

Bottom 30" tall x 25' Wide Blank Panel. Non-Illuminated

Graphic Panel(s) Approval (scoreboard for visual only)

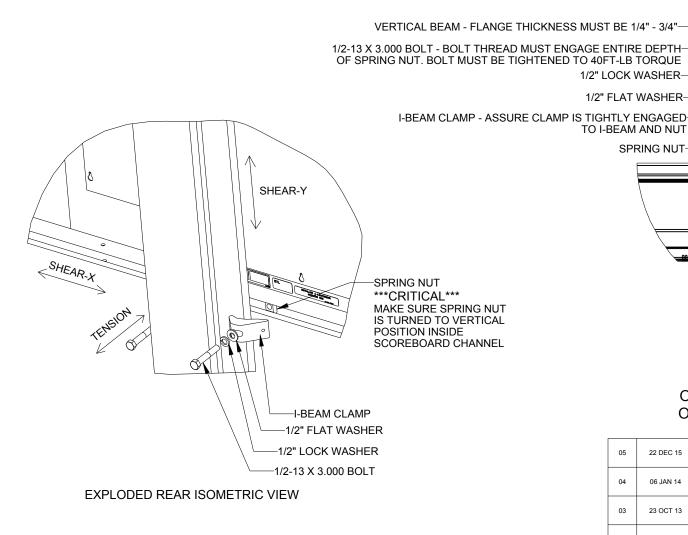


File Number: 337079



Designer





### STANDARD MOUNTING METHOD

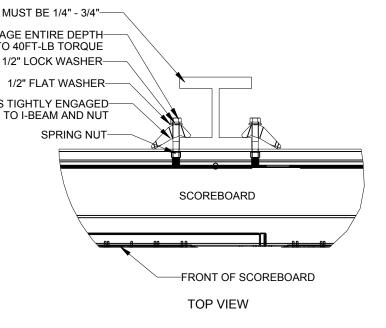
### MOUNTING INSTRUCTIONS:

- PLACE SPRING NUTS INTO SCOREBOARD CHANNEL IN APPROXIMATE LOCATION OF VERTICAL BEAMS
- 2. LIFT SCOREBOARD INTO POSITION
- 3. MAKE SURE THE 1/2-13 BOLTS ARE AS CLOSE TO THE I-BEAM FLANGES AS POSSIBLE
- 4. WHEN SCOREBOARD IS ADJUSTED TO FINAL DESIRED POSITION, TIGHTEN BOLTS FIRMLY
- 5. IF FLANGE THICKNESS IS MORE THAN 3/4" THICK LONGER BOLTS WILL BE REQUIRED AT THE CUSTOMER'S EXPENSE.

### STRUCTURAL NOTES

ALLOWABLE CAPACITY PER EACH CLAMP: SHEAR = 160 LBS TENSION = 2300 LBS

SHEAR AND TENSION LOAD DIRECTION ARE AS INDICATED ON REAR ISOMETRIC VIEW



### \*\*\*CRITICAL\*\*\* DO NOT USE ANY LUBRICANT ON ANY MOUNTING HARDWARE OR WARRANTY WILL BE VOIDED

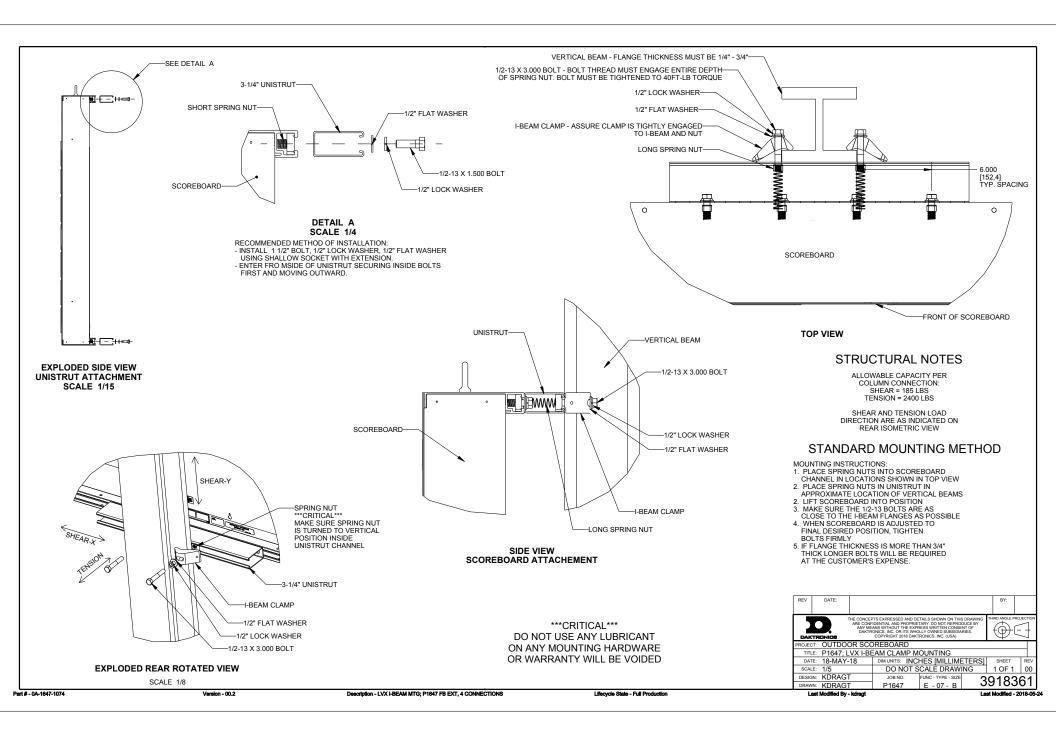
05	22 DEC 15	PER EC-22871; ADDED LUBRICANT NOTE	PJS 18704	
04	06 JAN 14	ADDED ALLOWABLE TENSION AND SHEAR CAPACITY DETAILS	JAVA	
03	23 OCT 13	PER EC-12382; CHANGED BOLT TORQUE FROM 30 FT-LB TO 40 FT-LB	NJM	
02	07 MAR 12	ADDED STANDARD MOUNTING METHODS NOTES	KDD	
01	21 FEB 12	CHANGED ROCKER TO I-BEAM	KDD	
REV	DATE:		BY:	

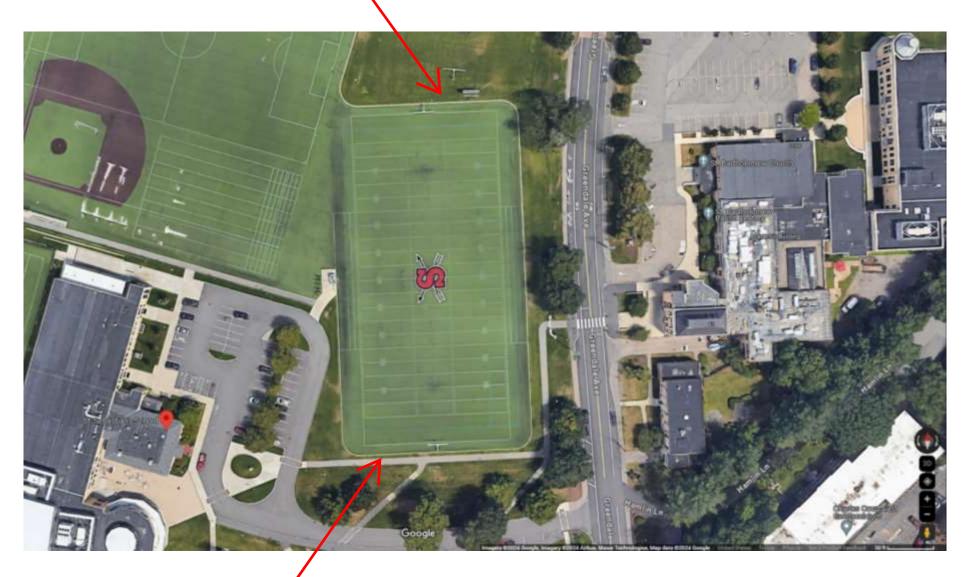


THE CONCEPTS EXPRESSED AND DETAILS SHOWN ON THIS DRAWING ARE CONFIDENTIAL AND PROPRIETARY. DO NOT REPRODUCE BY ANY MEANS WITHOUT THE EXPRESS WRITTEN CONSENT OF DAKTRONICS, INC. OR ITS WHOLLY OWNED SUBSIDIARIES. COPYRIGHT 2016 DAKTRONICS, INC. (USA)

G THIRD ANGLE PROJECTION

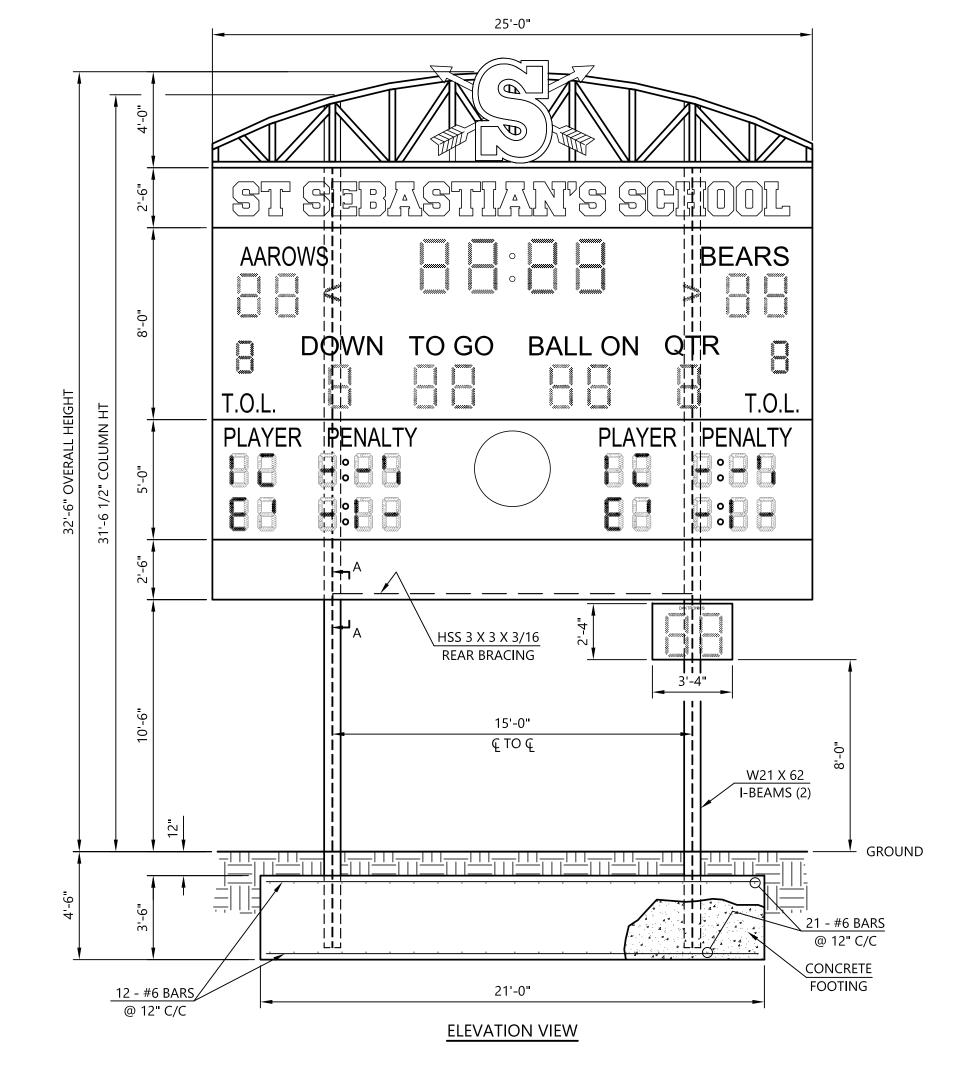
DAK I R	U1108		, - ( ,		<b>—</b>	~
PROJECT:	OUTDOOR SCO	REBOARD				
TITLE:	P1647; I-BEAM	CLAMP MOUN	ITING			7
DATE:	22-DEC-15	DIM UNITS: INC	HES [MILLIN	IETERS]	SHEET	REV
SCALE:	1/8	DO NOT S	SCALE DRAV	VING	1 OF 1	05
DESIGN:	MCARSRU	JOB NO.	FUNC - TYPE - SIZ	<b>□</b> 1	0525	اء
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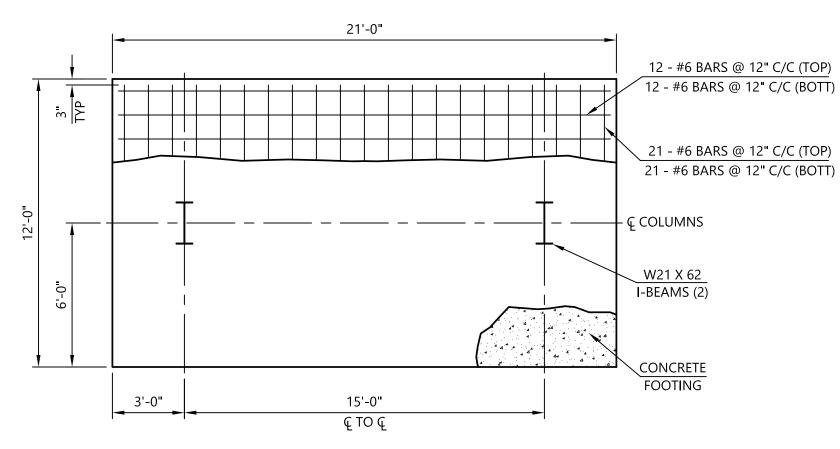




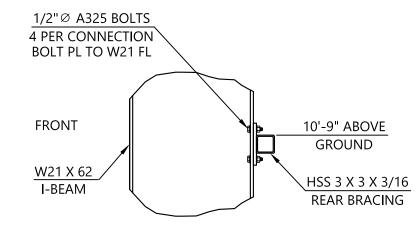
### **GENERAL NOTES:**

- All design, fabrication, installation and construction shall conform to the following specifications, unless specifically noted otherwise on the drawing:
- The Massachusetts State Building Code, 9th Edition
- American Concrete Institute Building Code Requirements for Reinforced Concrete (318-14).
- American Institute of Steel Construction, Inc Manual of Steel Construction (13th Edition).
- American Welding Society ANSI/AWS D1.1 Structural Welding Code - Steel
- 2. All steel components shall be as listed below,
- · All rolled shapes, plates and bars shall be ASTM A36, or equal.
- Steel I-beam shall be ASTM A992, Grade 50, ASTM A572, Grade 50, or equal.
- All pipe shall meet the requirements of ASTM
- A53, Type S or E, Grade B, or equal. All structural tubing shall be ASTM A500,
- Grade B, or equal. All bolted connections shall be made with ASTM A325 Bolts and shall be installed as per **AISC Specifications**
- All exposed materials shall be properly protected from weathering and/or corrosion
- 3. All field welds shall be made by a welder certified in the specified position.
- All welds shall be made with E70XX electrode, or equal.
- · All welds shall be made in a sequence that will balance the applied heat of welding while the
- welding progresses. All plug (slot) welds shall be filled completely as per AWS requirements.
- 4. All concrete shall have a minimum compressive strength at 28 days of 3000 psi.
- Signage may be installed on the structure after a minimum curing time of 7 days, provided the curing process has been properly maintenanced in accordance with ACI 318-14.
- 5. All reinforcement steel shall have a minimum yield strength of 60,000 psi and shall conform to ASTM A615. All reinforcement steel shall be placed in accordance with ACI 318-14.
- All reinforcement steel shall be provided with a minimum concrete cover of 3" when concrete is cast against earth.
- Reinforcement steel shall not be 'tack' welded at crossing points.
- 6. The structure has been designed to withstand a 130 mph (3-sec gust) design wind speed with a maximum design pressure of 53.1 psf according to ASCE 7-10. (Exposure C - Risk Cat. II)
- Seismic design was considered as per ASCE 7-10 assuming Sds=0.264, I=1.0, and Site Class D.
- 7. The foundation has been designed assuming the following average soil conditions:
- Allowable Vertical Bearing Pressure of 1500 psf (This value is used for spread footings.)
- If soil conditions other than those assumed are encountered (including soft soils, unstable or collapsing soils, expansive soils, organic materials, groundwater, adjacent utilities, or any other condition of potential concern) cease excavation immediately and contact Cornerstone so that the foundation design can be re-evaluated.
- If the structure is to be located in the proximity of a building or any other structure, Cornerstone shall be contacted prior to installation to evaluate any potential impact on the adjacent footings.
- If the structure is located on the side or top of a slope in excess of 3:1, the installer shall contact Cornerstone for re-evaluation. The foundation shall not be placed in or near a fill slope without Cornerstone's approval.
- All concrete shall be placed in direct contact with undisturbed soil. There shall be no backfilled soil placed in or around the foundation without written approval from Cornerstone.
- 8. Cornerstone is in no way responsible for the safety of the work site during installation. The installer shall take appropriate measures to make sure that the installation of the foundation and the erection of the structure is performed using methods in compliance with applicable OSHA regulations.
- 9. If existing and proposed conditions are not as detailed in this design drawing the installer shall cease work and notify Cornerstone immediately.
- Cornerstone will not be performing on-site inspections or verification of conditions. It is the responsibility of the installer, the structure owner, and the property owner to identify the on-site conditions and to contact Cornerstone with any discrepancies or concerns. It is the owner's responsibility to locate and mark all underground
- 10. Any deviation from these plans or non-compliance with the general notes without written approval from Cornerstone will render the entire design to be void.





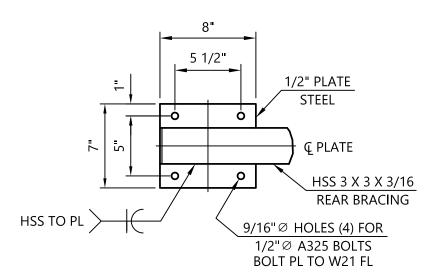
FOUNDATION PLAN VIEW



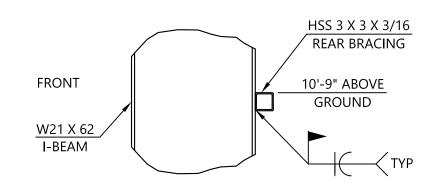
TYPICAL 2 LOCATIONS - DISPLAY NOT SHOWN FOR CLARITY

### **REAR BRACING NOTE:**

THE HSS3X3 REAR BRACING SHALL SPAN BETWEEN THE TWO I-BEAM COLUMNS AND BOLT OR WELD TO THE REAR FLANGES AS SHOWN. THIS DESIGN ASSUMES THAT THE FRONT FLANGE OF THE I-BEAMS ARE LATERALLY BRACED BY THE ATTACHMENT OF THE DISPLAYS. IF LATERAL RESTRAINT IS NOT PROVIDED BY THIS ATTACHMENT, A SECOND HSS3X3 BRACE SHALL BE SIMILARLY BOLTED OR WELDED TO THE FRONT FLANGE OF THE I-BEAM COLUMNS.



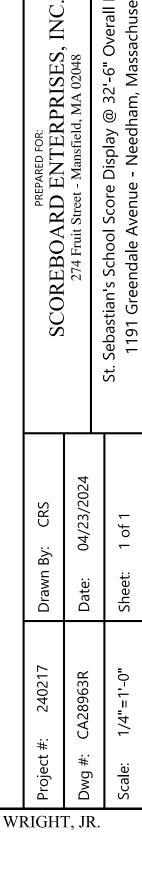
(SIMILAR 2 LOCATIONS) **SECTION B-B** 



TYPICAL 2 LOCATIONS - DISPLAY NOT SHOWN FOR CLARITY SECTION A-A (ALTERNATE ATTACHMENT DETAIL)

### NOTICE:

CORNERSTONE ENGINEERING, INC. IS RESPONSIBLE FOR COLUMN AND FOOTING DESIGN ONLY. SCOREBOARD COMPONENTS AND ATTACHMENT ARE THE RESPONSIBILITY OF THE SIGN MANUFACTURER.



NGINEERING, INC.

@ 32'-6" Overall Height

CORNERSTONE ENGINEERING,

JAMES E. WRIGHT, JR.



MA P.E. # 41140

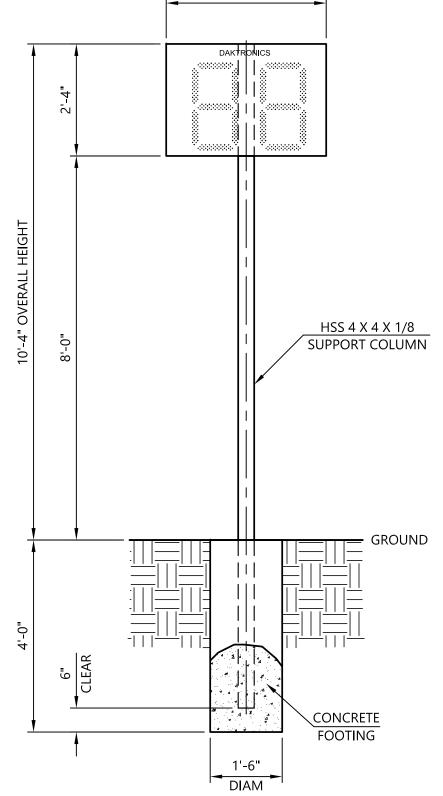
THE PORTION OF THE COLUMNS THAT ARE BELOW GRADE SHALL EITHER BE GALVANIZED OR SHALL BE PAINTED WITH A BITUMINOUS OR OTHER TYPE OF WATERPROOF COATING TO RESIST CORROSION.

### **GENERAL NOTES:**

- 1. All design, fabrication, installation and construction shall conform to the following specifications, unless specifically noted otherwise on the drawing:
- The Massachusetts State Building Code, 9th Edition
- American Concrete Institute Building Code
- Requirements for Reinforced Concrete (318-14).
- American Institute of Steel Construction, Inc Manual of Steel Construction (13th Edition).
- American Welding Society ANSI/AWS D1.1 Structural Welding Code - Steel
- 2. All steel components shall be as listed below,
- unless noted otherwise: All rolled shapes, plates and bars shall be
- ASTM A36, or equal.
- All pipe shall meet the requirements of ASTM A53, Type S or E, Gr B, or ASTM A500, Gr B.
- All structural tubing shall be ASTM A500,
- Grade B, or equal. • All bolted connections shall be made with ASTM
- A307 Bolts and shall be installed as per AISC Specifications
- All exposed materials shall be properly protected from weathering and/or corrosion
- 3. All field welds shall be made by a welder certified in the specified position.
- All welds shall be made with E70XX electrode,
- or equal. All welds shall be made in a sequence that will balance the applied heat of welding while the
- welding progresses. 4. All concrete shall have a minimum compressive
- Signage may be installed on the structure after a minimum curing time of 3 days, provided the curing process has been properly maintenanced in accordance with ACI 318-14.

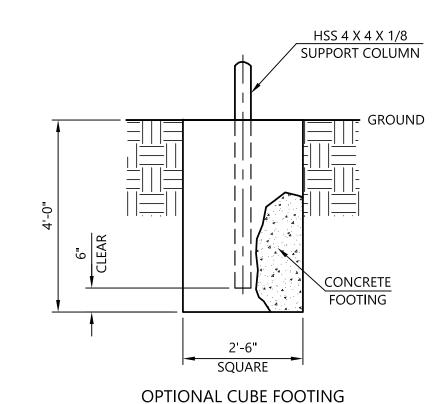
strength at 28 days of 2500 psi.

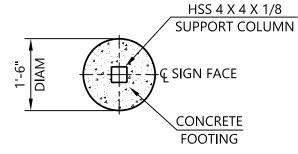
- 5. No steel reinforcement is required in cube or auger style footings where the support column is embedded directly to the bottom of the footing.
- 6. The structure has been designed to withstand a 130 mph (3-sec gust) design wind speed with a maximum design pressure of 47.8 psf according to ASCE 7-10. (Exposure C - Risk Cat. II)
- Seismic design was considered as per ASCE 7-10 assuming Sds=0.264, Ip=1.0, and Site Class D.
- 7. The foundation has been designed assuming the following average soil conditions:
- Allowable Lateral Bearing Pressure of 150 psf/ft (This value is used for cube and auger footings.) The soil allowable is multiplied by two for isolated footing as per IBC 1806.3.4.
- 150 psf/ft corresponds to sand, silty sand, clayey sand, silty gravel, clayey gravel or equal.
- If soil conditions other than those assumed are encountered (including soft soils, unstable or collapsing soils, expansive soils, organic materials, groundwater, adjacent utilities, or any other condition of potential concern) cease excavation immediately and contact Cornerstone so that the foundation design can be re-evaluated.
- If the structure is to be located in the proximity of a building or any other structure, Cornerstone shall be contacted prior to installation to evaluate any potential impact on the adjacent footings.
- If the structure is located on the side or top of a slope in excess of 3:1, the installer shall contact Cornerstone for re-evaluation. The foundation shall not be placed in or near a fill slope without Cornerstone's approval.
- All concrete shall be placed in direct contact with undisturbed soil. There shall be no backfilled soil placed in or around the foundation without written approval from Cornerstone.
- 8. Cornerstone is in no way responsible for the safety of the work site during installation. The installer shall take appropriate measures to make sure that the installation of the foundation and the erection of the structure is performed using methods in compliance with applicable OSHA regulations.
- 9. If existing and proposed conditions are not as detailed in this design drawing the installer shall cease work and notify Cornerstone immediately.
- Cornerstone will not be performing on-site inspections or verification of conditions. It is the responsibility of the installer, the structure owner, and the property owner to identify the on-site conditions and to contact Cornerstone with any discrepancies or concerns. It is the owner's responsibility to locate and mark all underground
- 10. Any deviation from these plans or non-compliance with the general notes without written approval from Cornerstone will render the entire design to be void.



3'-4"

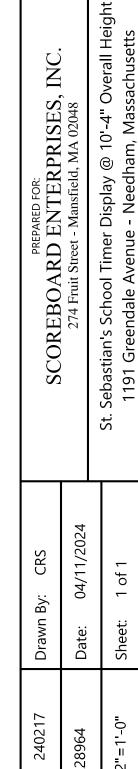
**ELEVATION VIEW** 





FOUNDATION PLAN VIEW

NOTICE: CORNERSTONE ENGINEERING, INC. IS RESPONSIBLE FOR COLUMN AND FOOTING DESIGN ONLY. SCOREBOARD COMPONENTS AND ATTACHMENT ARE THE RESPONSIBILITY OF THE SIGN MANUFACTURER.



Dwg

JAMES E. WRIGHT, JR.

WRIGHT, JR.

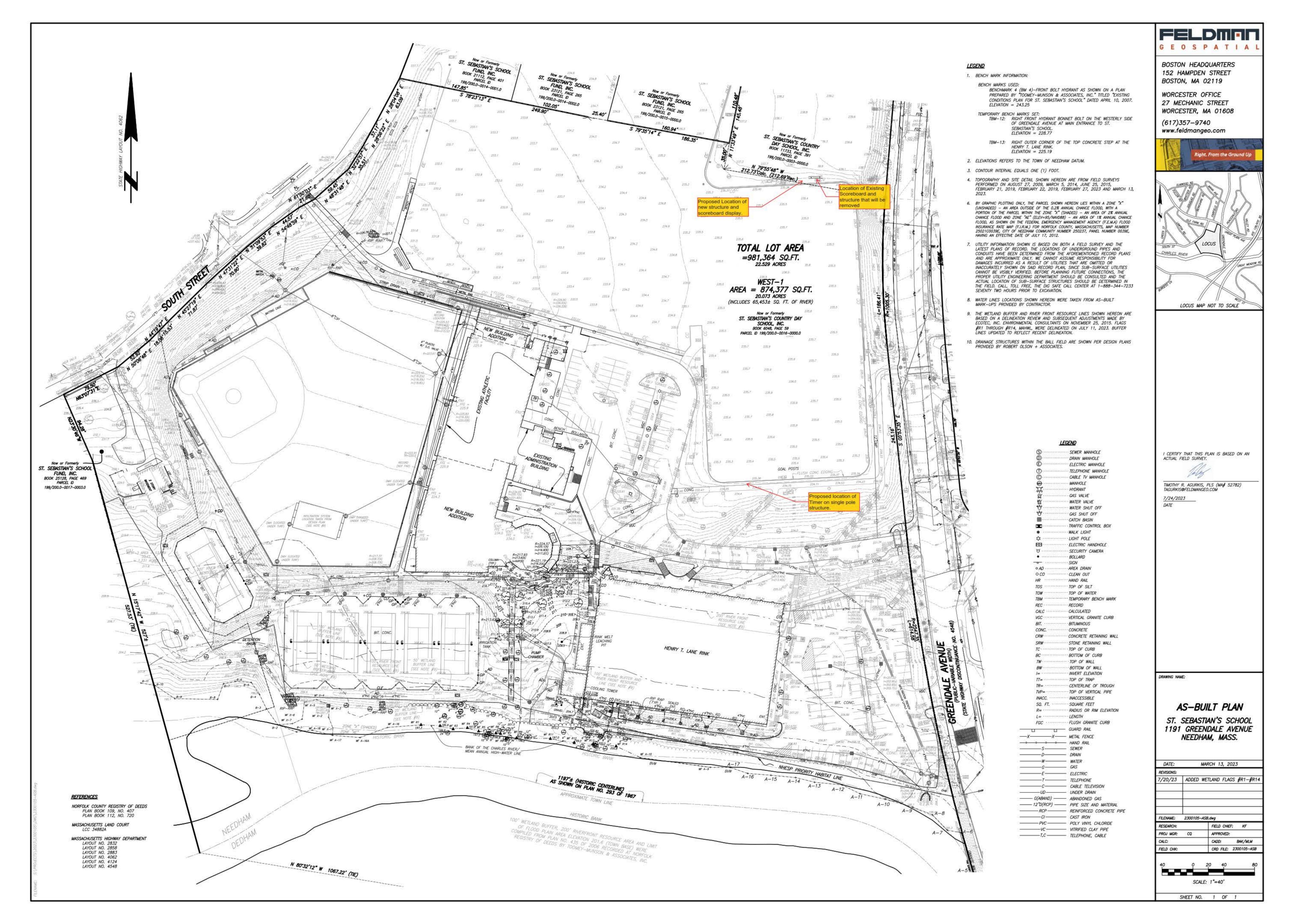
No.41140

MA P.E. # 41140

NGINEERING, INC.

CORNERSTONE ENGINEERING,





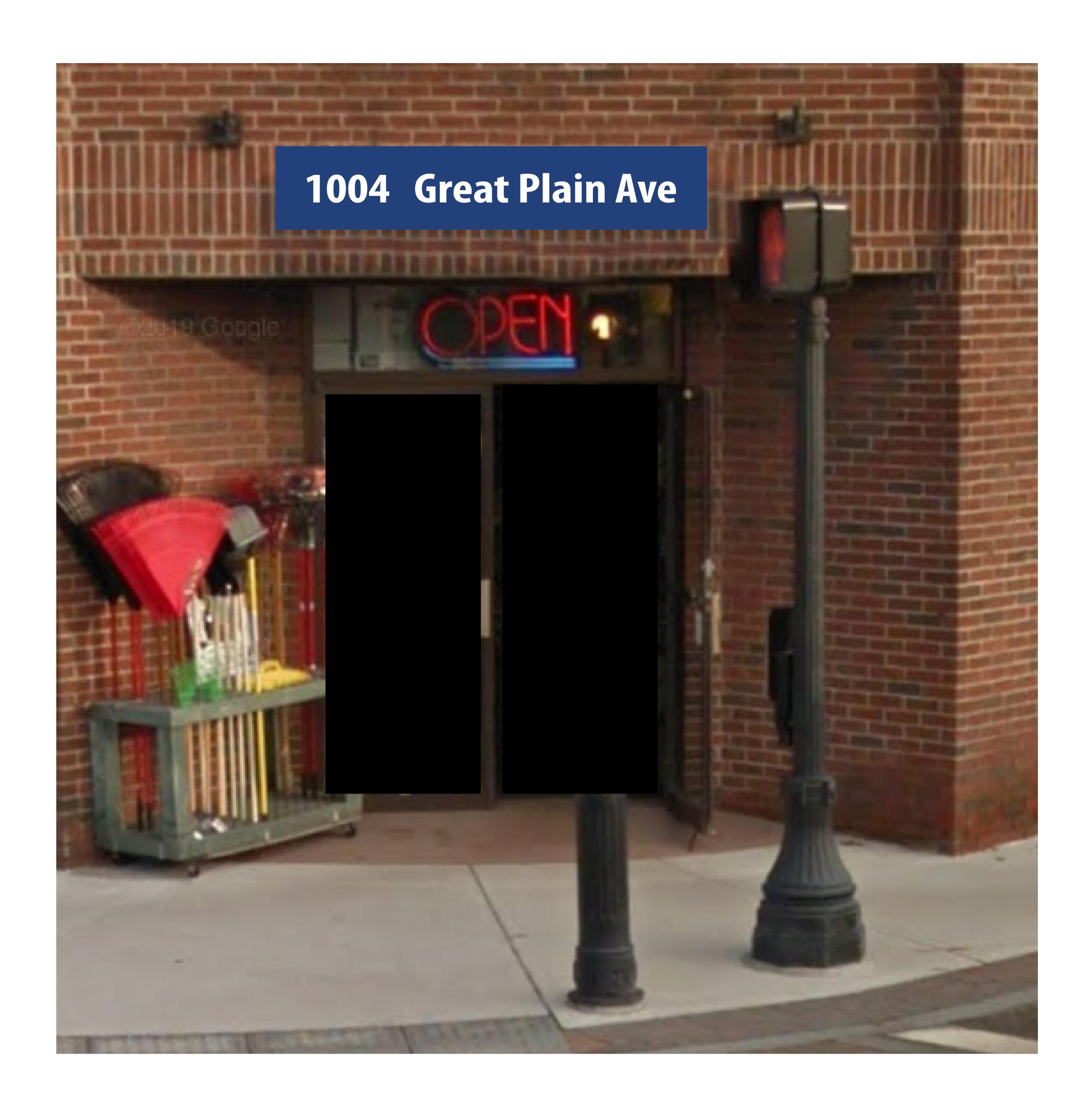


### DESIGN REVIEW BOARD

Public Service Administration Building
500 Dedham Avenue
Needham, MA 02492
Application and Report

ess:	PO BOX 920206	Needham	MA	02459
ohone	Street 2: 781-248-8939	City	State	Zip
icant	· Union Pharmacy c/o Xiaoyar	n Qin		
ess:	1004 Great Plain Ave	Needham,	MA	02492
ala ara	Street 2: 6173047477	City	State	Zip
ess:	1151R Mass Ave	Arlington	MA	02476
ess:	-	<u>-</u>		
	Street	Arlington City	MA State	02476 Zip
	Street .: 617.306.7748	City		
	Street 2: 617.306.7748  Type of Applic	City		
	Street  2: 617.306.7748  Type of Applic Sign Minor Project	City		
	Street  Type of Applic Sign Minor Project Exterior Alte	City  ation  et erations		
	Street  Type of Applic Sign Minor Project Exterior Alte Major Project - preliminary	City  ation  et erations et (Site Plan Review)		
	Street  Type of Applic Sign Minor Project Exterior Alte Major Project	City  ation  et erations et (Site Plan Review)		
	Street  Type of Applic Sign Minor Project Exterior Alte Major Project preliminary final Flexible Subc	City  ation  et erations et (Site Plan Review)  division dential Development		

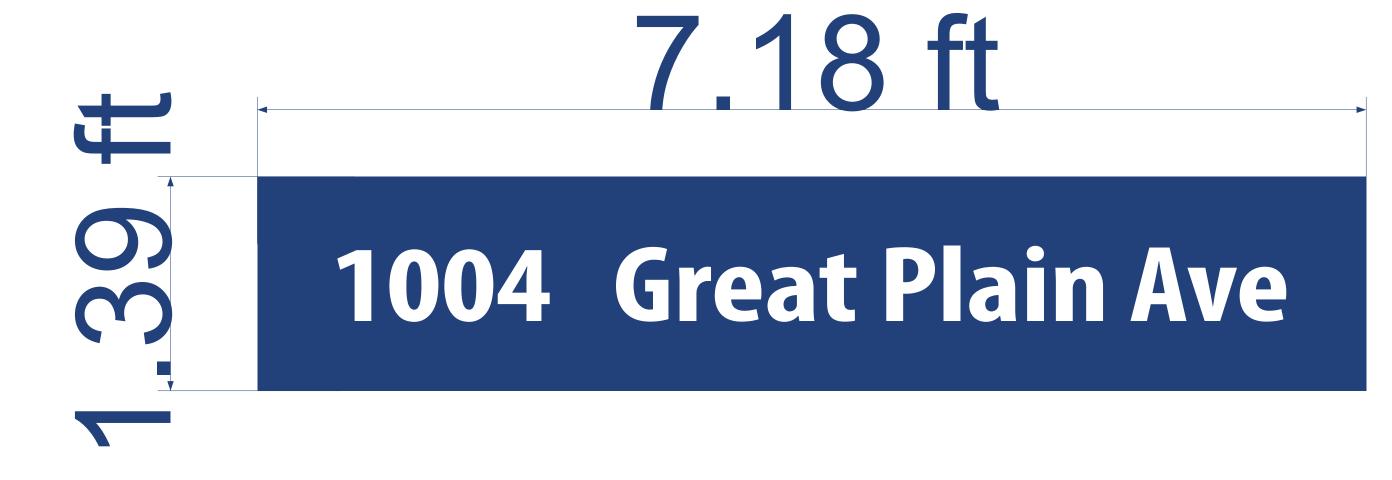
## PROPOSED SIGNAGE PLACEMENT



## ADDRESS

1004 Great Plain Ave Needham, MA 02492

## SIGNAGE DIMENSIONS



### SIGNAGE DEPTH

1004 Great Plain Ave—1"

## SIGNAGE DETAIL

Aluminum Box Sign
1.39' x 7.18"
1"Rise Letters and logo
Colors:

# SIGNAGE MATERIAL

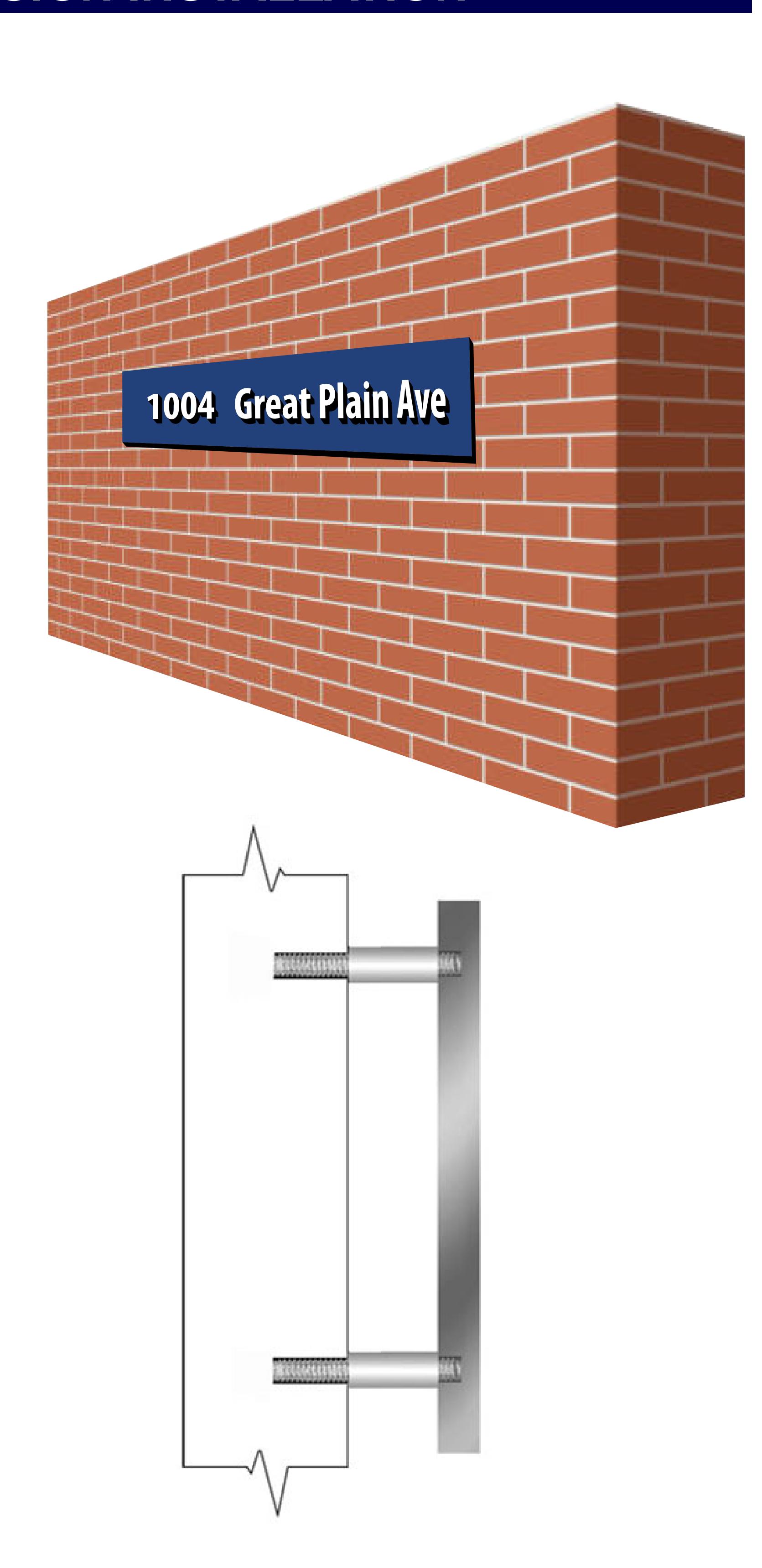
Dark Blue and White

Komacel Letters. Aluminum Box

# SAMPLE FROM OTHER LOCATION



## SIGN INSTALLATION







<u>Design Review Board Meeting Minutes</u>

<u>Monday, June 24, 2024</u>

<u>7:30 p.m.</u>

### **Board Members:**

- Mark Gluesing, Board Chair (P)
- 8 Susan Opton, Board Member (P)
- 9 Steve Dornbusch, Board Member (P)
  - Elisa Litchman, Administrative Specialist, Planning & Community Development (P)

Mark Gluesing, Chair, called the meeting to order on June 24, 2024, at 7:34 p.m. He reviewed the remote meeting procedures.

### **Applicants & Attendees:**

- 1. Carolyn Parker, representing Homewood Suites
- 2. Somi Kim, owner of 117 Chestnut Street
- 3. Tom Miller, Esq., McDermott, Quilty, Miller, & Hanley, LLP, on behalf of Blue on Highland
- 4. Hilary Bruel, Needham Art Association

### **HEARINGS:**

Public notice is hereby given that Homewood Suites located at 200 First Ave., has made application to the Design Review Board for a Special Permit pursuant to the Article 5 of the General Bylaws, Sign By- law, Section 5.3.4, Special Permits. The applicant is proposing 2 wall signs at the top of the building of 106.1 square feet each, 2 wall signs on each canopy fascia of 16.9 square feet each, one wall sign at the public entry of 28 square feet and one double sided ground sign of 54 square feet, each face. Section 5.5.3 limits the total number of signs to one, whether attached or free standing. Section 5.5.4 limits wall signs visible from Route 128 to 100 square feet, other wall signs to 32 square feet and free-standing/ ground signs to 32 square feet, each face. The Design Review Board may grant exception to these provisions and any other applicable sections of the Sign By-law.

Chair Gluesing read and opened the hearing.

Carolyn Parker, representing the applicant, explained that Homewood Suites has a new image and is proposing to remove and replace five wall signs, and to reface the monument sign and one directional sign. In some instances, the signs are proposed to get smaller and in some instances they are proposed to get slightly larger.

Chair Gluesing stated that the proposal is for seven signs; two on each end building, which the applicant previously received approval for, low canopy signs, and a couple of ground mounted signs. Special permits do not carry over and must be reapplied for if the signs are being changed.

Ms. Parker explained that the text on the signs is proposed to change, making the signs a bit larger. The signs will be illuminated.

48 Mr. Dornbusch stated that this appears to be a lot of signage. He asked about potentially 49 removing the wall sign at the entrance, as it looks large on the proposed panel background, and 50 there is a sign posted on the canopy above this.

Ms. Opton agreed that there may be too many signs proposed, but the signs do look nice.

Chair Gluesing stated that the Board previously discussed the number of signs on this building. The issue is that people approach the building from the ground in multiple ways, and it could be difficult to orient around the site. The Board, at the time, believed this was enough of a reason to approve them. Chair Gluesing agreed that the wall sign does seem redundant with the canopy sign.

Ms. Parker suggested that the lettering could be taken off the panel background for the wall sign.
 Mr. Dornbusch agreed.

Upon motion duly made by Mr. Dornbusch and seconded by Ms. Opton, it was voted to approve the Special Permit application, with the condition that sign E-5 be changed to pin mounted letters on the wall, without a rear panel. Steve Dornbusch – aye; Chair Gluesing – aye; Susan Opton – aye; Motion passed 3-0-0.

### **Agenda Item 1:**

Somi Kim, owner of property located at 117 Chestnut Street and re-applying for façade changes.

Somi Kim, owner of 117 Chestnut Street, explained that this property was before the Board in September 2023 to add an ADA accessible ramp and enclose the covered porches. The current proposal is to change the exterior colors and window types and colors, as the original colors could not be matched. The proposal is for Anderson black vinyl double hung windows, and 7" vertical vinyl board and batten charcoal gray and colonial white siding.

Upon motion duly made by Mr. Dornbusch and seconded by Ms. Opton, it was voted to approve the application for 117 Chestnut Street as submitted. Steve Dornbusch – aye; Chair Gluesing – aye; Susan Opton – aye; Motion passed 3-0-0.

### **Agenda Item 2:**

Scott Drago, Chief Operating Officer of Blue on Highland located at 882 Highland Avenue and applying for site plan review.

Tom Miller, Esq., McDermott, Quilty, Miller, & Hanley, LLP, representing the applicant, explained that the proposal is to expand the existing restaurant into a 650 s.f. space next door that was previously a nail salon. As such, the proposal is to modify the façade of the former nail salon to keep it in line with the existing space. The applicant plans to close off the door of the new space and remove the box signage above. The applicant plans to replace the long existing folding panel windows of the existing restaurant with something not as drafty. The proposed folding

panel windows will be aluminum and will match the windows in the new space. The intention is to make the two units appear to be as contiguous as possible.

Olivia Greene, for the applicant, stated that the intention is to match the existing aesthetic of the Blue on Highland façade with clapboard at the base in a brick red color. The existing awnings and graphics will also be matched.

Attorney Miller stated that the awning over the new space is proposed to have a blue striped border, with the same color and shape as the existing awning. The new windows are proposed to be aluminum in a dark bronze. These will be a modern folding design instead of the original wooden windows.

In response to a question from Ms. Opton, Attorney Miller explained that the existing façade fascia is a corrugated metal that extends over other tenant spaces. The existing recessed entry will be changed to a flat wall and make additional room.

Chair Gluesing suggested that the proposed awning, as not currently part of this application, could be conditioned to match the shape and color of the existing awnings. Attorney Miller noted that there will be no writing on the awning. There will be no signage above the awning. The Board would note on the approval that the "B" logo could be added to the awning, but not required, upon confirmation with and approval by the Building Department. No new lighting is proposed.

Upon motion duly made by Mr. Dornbusch and seconded by Ms. Opton, it was voted to approve the façade changes as submitted for 882 Highland Avenue, with the conditions that the new awning match the color and profile of the existing awning to the left and noting that the Board has no objection should the applicant choose to add the "B" logo graphic to that awning. Steve Dornbusch – aye; Chair Gluesing – aye; Susan Opton – aye; Motion passed 3-0-0.

**Agenda Item 3:** 

Hilary Bruel, Needham Art Association applying for 'Art Outside' banners on fences at 8 various locations in town.

 Hilary Bruel, Needham Art Association, explained that the proposal is to apply banners on eight fences around Town. This is a temporary public art project to celebrate the 75<sup>th</sup> Anniversary of the Needham Art Association. The intent is to take art from the members and reproduce them on vinyl banners. The banners will be rotated every few months, over the course of ten months beginning in September. There are two components to each site: the branding banner, which gives the necessary credits to those associated with the project, and the art banner.

Ms. Opton asked why the fence located at the Rosemary Pool was not included. Ms. Bruel stated that this fence is located close to the fence at Sudbury Farms, and that may be too repetitive in one area.

Ms. Opton asked about what the art will actually look like. Chair Gluesing stated that the Board could ask for review of the choices or could put trust in the Association. Ms. Bruel explained that

- the submissions are only from existing members. There is no interest in art that is controversial or inappropriate.
- Mr. Dornbusch asked about the banner material. Ms. Bruel stated that the material is an 18oz matte vinyl, tear-resistant, and waterproof. These will be solid with pole pockets instead of grommets. The poles will be attached to the fences. This will keep the images flat.
- Upon motion duly made by Mr. Dornbusch and seconded by Ms. Opton, it was voted to approve
   the fence artwork project, as submitted. Steve Dornbusch aye; Chair Gluesing aye; Susan
   Opton aye; Motion passed 3-0-0.

### 148 **Minutes:**

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- Minutes from the 06/10/2024 meeting
- Upon motion duly made by Ms. Opton and seconded by Mr. Zemel, it was voted to approve the meeting minutes of June 10, 2024, as presented. Steve Dornbusch aye; Chair Gluesing abstain; Susan Opton aye; Motion passed 2-0-1.
- Upon motion duly made by Ms. Opton and seconded by Mr. Zemel, it was voted to adjourn at
   8:20 p.m. Steve Dornbusch aye; Chair Gluesing aye; Susan Opton aye; Motion passed 3-0 0.
- 158
  159 Next Public Meeting July 8, 2024 at 7:30pm via Zoom Webinar