

TOWN OF NEEDHAM
MASSACHUSETTS



500 Dedham Avenue
Needham, MA 02492
781-455-7550

PLANNING BOARD

APPLICATION FOR SITE PLAN REVIEW

Project Determination: (circle one) Major Project Minor Project

This application must be completed, signed, and submitted with the filing fee by the applicant or his representative in accordance with the Planning Board's Rules as adopted under its jurisdiction as a Special Permit Granting Authority. Section 7.4 of the By-Laws.

Location of Property: 882-886 and 898-890 Highland Avenue
Name of Applicant: Blue on Highland Restaurant LLC
Applicant's Address: 882-886 Highland Avenue, Needham, MA 02492
Phone Number: (781) 444-7001

Applicant is: Owner _____ Tenant X
 Agent/Attorney _____ Purchaser _____

Property Owner's Name: Makarios Series LLC
Property Owner's Address: 10 Rockville Meadows, Millis, MA 02054
Telephone Number: (617) 650-8358

Characteristics of Property: Lot Area: 4,540 sq. ft. Present Use: Restaurant & Takeout/Nail salon
Map # 69 Parcel # 59 and 60 Zoning District: Avery Sq. Bus. Dis.

Description of Project for Site Plan Review under Section 7.4 of the Zoning By-Law:

The Applicant proposes to redevelop the unit at 898-890 Highland Avenue adjoining the existing restaurant located at 882 - 886 Highland Avenue and expand the existing premise by 650 square feet into the adjoining commercial space formerly housing a nail salon. The Restaurant has existed here since 2005, and will include seating for 40, a service area and bathroom. The Applicant is proposing to extend the long existing restaurant use providing takeout food service, live music and the service of alcoholic beverages into the new space. The project is further described in the included letter.

Signature of Applicant (or representative): _____, Scott Drago
Address if not applicant: Applicant
Telephone #: (781) 444-7001
Owner's permission if other than applicant: _____ X

SUMMARY OF PLANNING BOARD ACTION

Received by Planning Board _____ Date _____
Hearing Date _____ Parties of Interest Notified of Public Hearing _____
Decision Required by _____ Decision/Notices of Decision sent _____

Granted _____

Denied _____

Withdrawn _____

Fee Paid _____

Fee Waived _____

NOTE: Reports on Minor Projects must be issues within 35 days of filing date.

**McDERMOTT, QUILTY,
MILLER & HANLEY LLP**

RECEIVED TOWN CLERK
NEEDHAM
WWW.MQMHLLAW.COM

28 STATE STREET, SUITE 802
BOSTON, MA 02109

2024 APR 23 AM 10:30

April 22, 2024

Town of Needham
Planning Board
1471 Highland Avenue
Needham, MA 02492

Re: Application for Major Site Plan Review
Blue Restaurant Needham, LLC d/b/a Blue on Highland
882 Highland Avenue, Needham, MA 02492

To Whom it May Concern:

Pursuant to Chapter 40A of the Massachusetts General Laws, the Needham Zoning By-Law and the Procedural Rules of the Planning Board, please find the following materials in support of the applications for Site Plan Review and Special Permits for Blue Restaurant Needham, LLC (the "Applicant"). The Applicant proposes to redevelop the unit adjoining the existing restaurant located at 882 - 886 Highland Avenue (the "Premise") and expand the existing premise by 650 square feet into the adjoining commercial space formerly housing a nail salon (the "Expanded Space"). The Restaurant has existed here since 2005, is approximately 3,420 square feet and includes seating for 137 patrons, takeout service and live entertainment (the "Existing Space"). The Expanded Space will include seating for 40, a service area and bathroom. The Applicant is proposing to extend the long existing restaurant use providing take out food service, live music and the service of alcoholic beverages into the new space (the "Project").

The parking requirement for a Restaurants is 1 parking space per 3 seats, plus an additional 10 seats per take-out station pursuant to Section 5.1.2.9 of the Needham Zoning Bylaws. The parking requirement pursuant to the Zoning By-law for the original space is 56. This Restaurant was previously granted a Special Permit to waive strict adherence to the parking requirements of Section 5.1.2 and Section 5.1.3 in the Planning Board's Decision on Application No. 2005-05 (the "2005 Decision"). The parking requirement for the Expanded Space pursuant to the Bylaws is 13 spaces. As was the case at the time of the 2005 Decision there are no off-street parking spaces provided. The only available spaces pursuant to the Zoning By-Law continue to be the 3 on-street parking spaces adjacent to the property pursuant to Section 5.1.1.7 of the Zoning By-Law.

The Applicant is requesting the following relief from the Planning Board:

(617) 946-4600

1. A Special Permit for site plan review of a Major Project pursuant to Section 7.4 of the Zoning Bylaws.
2. A Special Permit pursuant to Section 5.1.1.5 of the Zoning Bylaws to waive strict adherence to the off-street parking requirement as required by Sections 5.1.2 and 5.1.3 of the Zoning Bylaws. There are a total of only 3 on-street parking spaces available as allowed in Section 5.1.1.7. The 2005 Decision granted the Existing Space relief from providing 56 spaces. The Applicant is requesting that the Board waive the requirement that they provide the 13 spaces required for the Expanded Space.
3. A Special Permit pursuant to Section 1.4.6 of the Zoning Bylaws authorizing the extension of the Restaurant and Takeout Operation Uses and approved by the 2005 Decision at the Premise in the Expanded Space.
4. A Special Permit pursuant to Section 1.4.6 of the Zoning Bylaws authorizing the alteration of the existing nonconforming structure. All of the existing structure's nonconformities are preexisting and will not be increased or altered by the addition of the Expanded Space from those approved by the Town's Planning Board and/or Zoning Board of Appeals.

The Applicant reserves the right to make revisions to the Floor Plans submitted with the application without further hearings approvals from the planning board as long as those revisions do not create additional need for relief or special permit.

The Applicant certifies pursuant to the Zoning Bylaws Section 7.4.4 that the project can be constructed and/or the proposed use thereof can be commenced without the need for the issuance of any variance from any provisions of the Zoning Bylaws by the Town of Needham Zoning Board of Appeals.

The Applicant submits ten (10) copies of the following information and materials with its application:

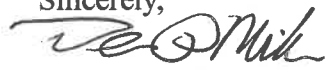
1. Application for a Major Site Plan Review Special Permit;
2. A Portion of the Town of Needham's GIS Map showing the Premise;
3. As Built Floor Plans with Elevations; and
4. Proposed Floor Plans with Elevations.

The Applicant hereby requests pursuant to Zoning By-Law Section 7.4.4., that the Planning Board waive the submission of the Applicant of any of the required information not submitted herewith.

The Applicant submits that the Project meets the requirements for review by the Planning Board as detailed in Section 3.8.7, Section 7.4.6, Section 7.5.2.1 and Section 7.5.2.2 of the Zoning Ordinance.

The Applicant is hereby submitting a copy of these applications to the Town Clerk and the Design Review Board. We thank you for your time and attention in this matter and would be happy to answer any questions that you may have.

Sincerely,

A handwritten signature in black ink, appearing to read 'Tom Miller', with a stylized flourish at the end.

Thomas P. Miller, Esq.

tmiller@mqmlp.com

cc'd: Clerk for the Town of Needham

McDERMOTT, QUILTY, MILLER & HANLEY LLP

WWW.MQMHLAW.COM

28 STATE STREET, SUITE 802
BOSTON, MA 02109

May 2, 2024

Town of Needham
Planning Board
1471 Highland Avenue
Needham, MA 02492

**Re: Application for Major Site Plan Review
Blue Restaurant Needham, LLC d/b/a Blue on Highland
882 Highland Avenue, Needham, MA 02492**

Members of the Board:

The Purpose of this letter is to provide the Planning Board for the Town of Needham with additional information regarding Blue Restaurant Needham, LLC (the “Applicant”) application for Site Plan Review. The Applicant proposes to redevelop the unit adjoining the existing restaurant located at 882 - 886 Highland Avenue (the “Premise”) and expand the existing premise by 650 square feet into the adjoining commercial space formerly housing a nail salon (the “Expanded Space”). The Premise is located in the Avery Square Business District. The lot is fully developed and covers the majority of the site. The Restaurant has existed here since 2005, is approximately 3,420 square feet and includes seating for 137 patrons, takeout service and live entertainment (the “Existing Space”). The Expanded Space will include seating for 40, a service area and bathroom. The Applicant is proposing to extend the long existing restaurant use providing take out food service, live music and the service of alcoholic beverages into the new space (the “Project”).

The related Application is to amend the existing permit from the Planning Board’s Decision for Application No. 2005-05 approved September 21, 2005 and amended on May 9, 2006. Additionally, the related application also requests a special permit for the extension of the Restaurant Use to the Expanded Space pursuant to Section 3.2.2 of the Zoning Bylaws.

In reviewing this application for Site Plan Review the Planning Board shall consider the requirements as laid out in Section 7.4.6 of the Needham Zoning Bylaws. The Applicant submits that the Project complies with that criteria as follows:

- (a) Protection of adjoining premises against seriously detrimental uses by provision for surface water drainage, sound and sight buffers and preservation of views, light, and air.*

The Project will protect the adjoining premises against seriously detrimental uses by provision for surface water drainage, sound and sight buffers and preservation of views, light, and air. The building where the Project is proposed has been in existence for many years and there is no proposal to alter its footprint. The infrastructure to protect the adjoining premises from surface water drainage and to buffer sound and sight emanations has long been in place here. The proposed changes to the exterior façade of the long existing structure in the Expanded Space will enhance the Premise's overall appearance increasing its benefit the community.

(b) Convenience and safety of vehicular and pedestrian movement within the site and on adjacent streets, the location of driveway openings in relation to traffic or to adjacent streets and, when necessary, compliance with other regulations for the handicapped, minors and the elderly.

The Premise has no off-street parking or driveways. The Project does not propose to alter the footprint of the existing structure and no off-street parking or driveway will be created. The existing sidewalks along both Highland Avenue and Mark Lee Road are wide and provide ample space for the flow of pedestrians between the Applicant's Existing and Expanded Spaces and the available nearby on-street parking and the public parking lot immediately behind and adjoining the premise. The Applicant's most heavily trafficked times are later in the evening and on the weekends, times that do not heavily impact the peak traffic on Highland Avenue or the surrounding streets. The addition of the 650 square feet and 40 seats in the Expanded Space will not increase the Applicant's impact in the surrounding area. They are not proposing to alter the hours or the operation for the restaurant with the addition of the Expanded Space. They may add up to four (4) staff members during the busies periods and one (1) staff member at other times. The Applicant complies, and will continue to comply, with all applicable regulations for the handicapped, minors and the elderly.

(c) Adequacy of the arrangement of parking and loading spaces in relation to the proposed uses of the premises.

There is no off-street parking associated with the Premise or the Applicant. In the 2005 Decision, the previous operator received relief from the Zoning Bylaw's off-street parking requirements. As stated above, there is a public parking lot immediately adjacent to the Premise accessed via Mark Lee Road. Additionally, there are adequate on-street parking spaces to accommodate the Expanded Space. As described above, the Applicant's busiest periods are when demand by other businesses in the area is lower. As such, the available on-street parking, municipal parking lot and other nearby parking facilities (i.e. the Commuter Rail parking lot) will be adequate to meet the need created by the Expanded Space.

(d) Adequacy of the methods of disposal of refuse and other wastes resulting from the uses permitted on the site.

The Applicant and the Premise have adequate facilities for the disposal of refuse and other waste resulting from the uses permitted on the site. The Applicant has dumpster(s) located in the rear of the property, screened from adjoining premises, that adequately serve the existing need and are more than adequate to meet the needs created by the addition of the Expanded Space.

(e) Relationship of structures and open spaces to the natural landscape, existing buildings and other community assets in the area and compliance with other requirements of this By-Law.

The Project proposes no changes to the existing footprint of the long existing structure. There will be no change to the relationship of this structure to adjoining structures, open spaces or other community assets in the area as required by the Zoning Bylaws. The improvements to the façade on the exterior of the Expanded Space will enhance the overall appearance of the Premise. The addition of the Expanded Space will allow the Applicant to meet the increasing demand of the Needham Heights community for a full-service restaurant. It will also fill a visible vacancy created by the closure of the nail salon along this main thoroughfare into Needham.

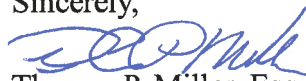
(f) Mitigation of adverse impacts on the Town's resources including the effect on the Town's water supply and distribution system, sewer collection and treatment, fire protection, and streets.

The Project will not have any impact on the Town of Needham's resources. The Premise, including the Expanded Space, is already fully developed and the Use has long been in existence there. The Board's approval of this Project will allow for a long existing amenity to expand into an under-utilized space to meet the demand of the community in a way that is in harmony with the Avery Square Business District and the intent of the Zoning Bylaws.

The Applicant submits that the Project meets the requirements for review by the Planning Board in Section 7.4.6 of the Zoning Bylaws as described above.

We thank you for your time and attention in this matter and would be happy to answer any questions that you may have.

Sincerely,


Thomas P. Miller, Esq.

tmiller@mqmlp.com

1. Application for a Major Site Plan Review Special Permit

TOWN OF NEEDHAM
MASSACHUSETTS



500 Dedham Avenue
Needham, MA 02492
781-455-7550

RECEIVED TOWN CLERK
NEEDHAM MA 02492
2024 APR 23 AM 10:30

PLANNING BOARD

APPLICATION FOR SITE PLAN REVIEW

Project Determination: (circle one) Major Project Minor Project

This application must be completed, signed, and submitted with the filing fee by the applicant or his representative in accordance with the Planning Board's Rules as adopted under its jurisdiction as a Special Permit Granting Authority. Section 7.4 of the By-Laws.

Location of Property: 882-886 Highland Avenue
Name of Applicant: Blue on Highland Restaurant LLC
Applicant's Address: 882-886 Highland Avenue, Needham, MA 02492
Phone Number: (781) 444-7001

Applicant is: Owner _____ Tenant _____
 Agent/Attorney X Purchaser _____

Property Owner's Name: Makarios Series LLC
Property Owner's Address: 10 Rockville Meadows, Millis, MA 02054
Telephone Number: (617) 650-8358

Characteristics of Property: Lot Area: 4,540 sq. ft. Present Use: Restaurant & Takeout
 Map # 69 Parcel # 60 Zoning District: Avery Sq. Bus. Dis.

Description of Project for Site Plan Review under Section 7.4 of the Zoning By-Law:

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Signature of Applicant (or representative): [Signature] Thomas P. Miller, Esq.
Address if not applicant: c/o McDermott, Quilty, Miller & Hanley LLP
 28 State St., Suite 802, Boston, MA 02109

Telephone #: (617) 946-4600

Owner's permission if other than applicant: Approved via Lease for Premise

SUMMARY OF PLANNING BOARD ACTION

Received by Planning Board _____ Date _____
Hearing Date _____ Parties of Interest Notified of Public Hearing _____
Decision Required by _____ Decision/Notices of Decision sent _____
Granted _____
Denied _____ Fee Paid _____ Fee Waived _____
Withdrawn _____

NOTE: Reports on Minor Projects must be issues within 35 days of filing date.

**2. A Portion of the Town of Neeham's GIS Map showing
the Premise**

[illegible]

PARID: 1990690006000000

MUNICIPALITY: NEEDHAM

LUC: 326

MAKARIOS SERIES LLC

882 HIGHLAND AVE

PARCEL YEAR: 2024

Property Information

Property Location: 882 HIGHLAND AVE

Class: C-COMMERCIAL

Use Code (LUC): 326-EATING AND DRINKING ESTABLISHMENTS

District: MA199 - NEEDHAM

Deeded Acres: .1000

Square Feet: 4,356

Owner

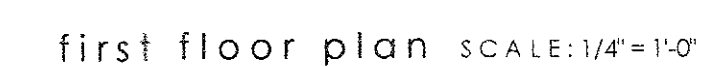
Owner	Co-Owner	City	Address	State	Zip Code	Deed Book/Page
MAKARIOS SERIES LLC		MILLIS	10 ROCKVILLE MDWS	MA	02054	40514/564

3. As Built Floor Plans with Elevations

Date 8-7-06 Signed [Signature]



EXISTING CONSTRUCTION TO REMAIN
NEW CONSTRUCTION



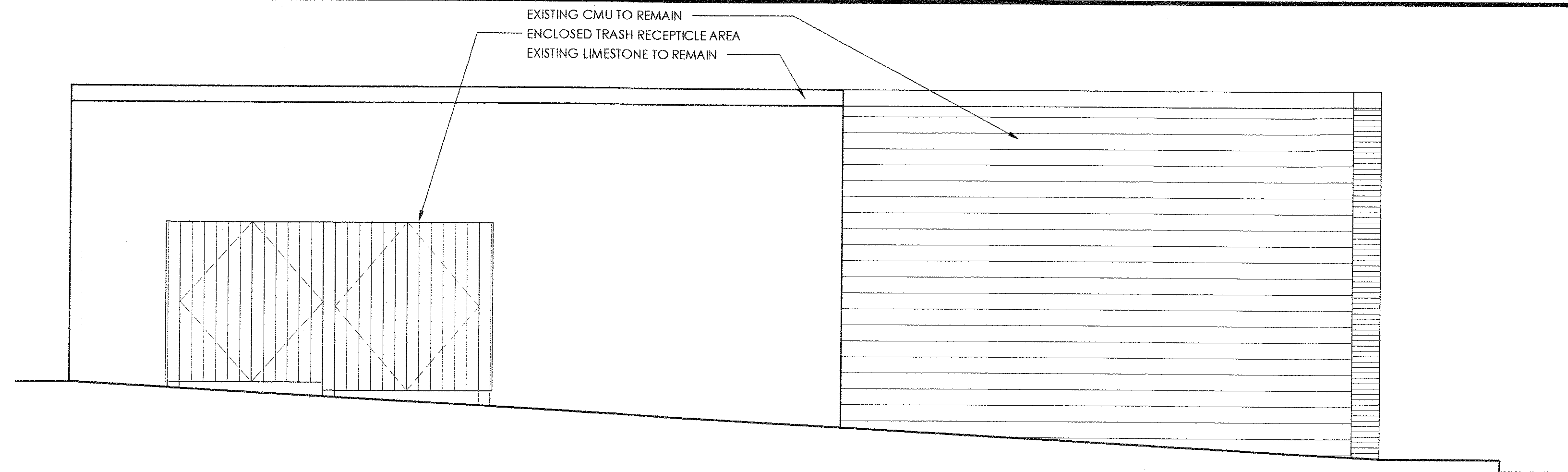
AB-1

I certify that these elevations fully and accurately depicts the layout for the restaurant facility, as built, in accordance with the approved documents with the following exceptions:

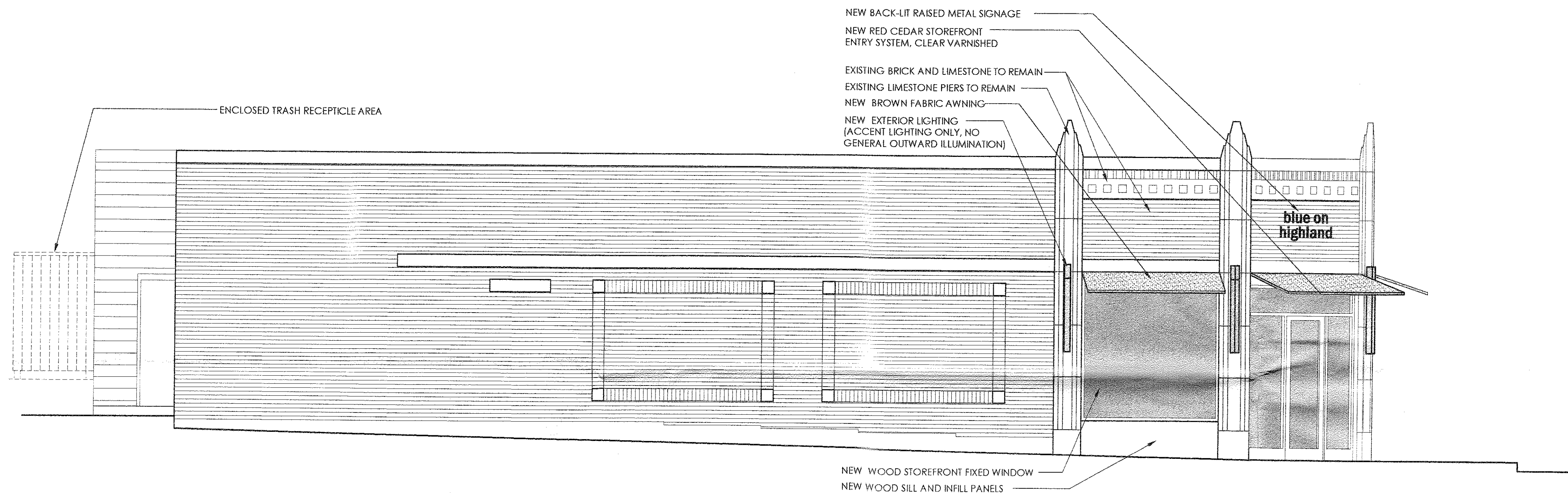
1. The exterior awnings are not yet installed.
2. The exterior awnings are to be brown instead of black.
3. Main entry door is no longer recessed from building perimeter to accomodate interior vestibule.

Date 8-17-06 Signed [Signature]

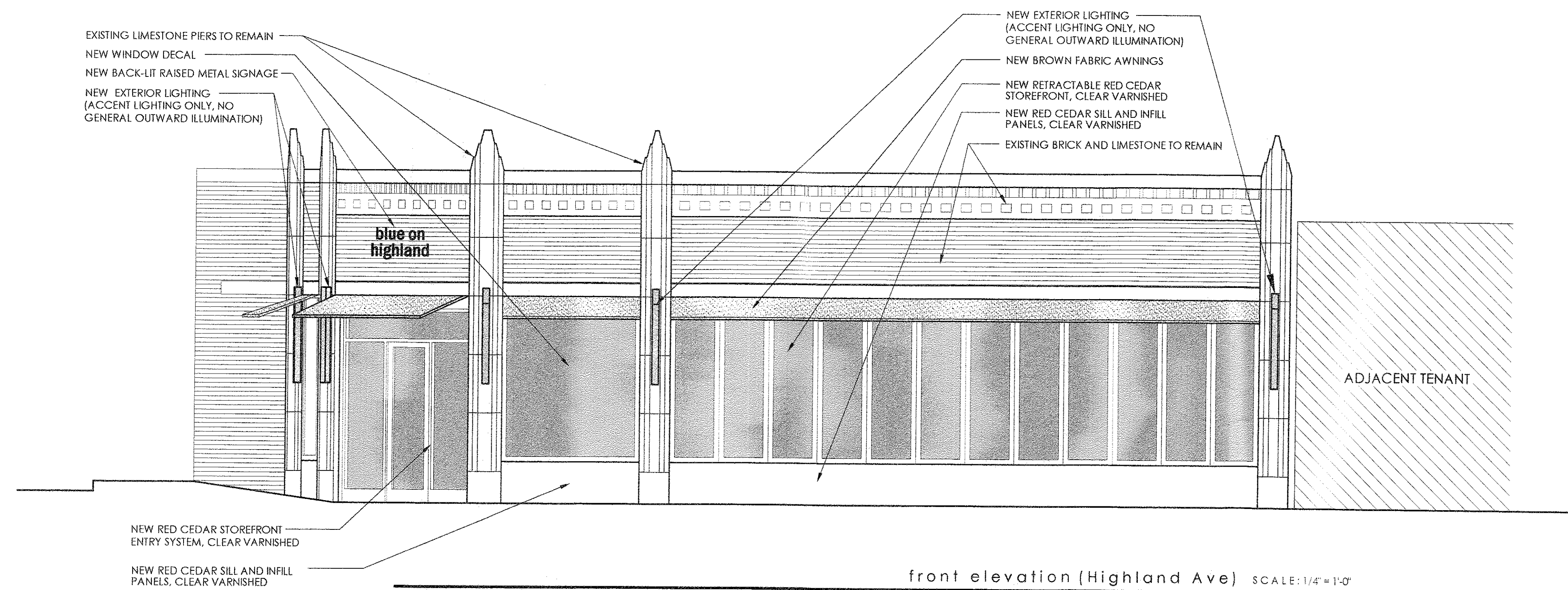
Seal: No. 2834 ARLINGTON MA



rear elevation SCALE: 1/4" = 1'-0"



side elevation SCALE: 1/4" = 1'-0"



front elevation (Highland Ave) SCALE: 1/4" = 1'-0"

DATE	AUGUST 4, 2006
DRAWN	LS
CHECKED	DFR
PROJ. NO.	05009

R·G·O
PARTNERSHIP

One Brighton Avenue
Suite 100
Boston, MA 02134-2301

tel 617.783.5055
fax 617.783.5155
e-mail mail@rgopartnership.com
web www.rgopartnership.com

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PROJECT

Blue on Highland
882 HIGHLAND AVENUE
NEEDHAM, MASSACHUSETTS

REVISIONS

SHEET TITLE
AS-BUILT ELEVATIONS

SCALE: AS NOTED

SHEET NO.
AB-2

4. Proposed Floor Plans with Elevations

DRAWING LIST

ARCHITECTURAL:

- G-1 COVER SHEET & PROJECT INFORMATION
- A-1 EGRESS FLOOR PLAN
- A-2 EXISTING FLOOR PLAN
- A-3 DEMO FLOOR PLAN
- A-4 PROPOSED FLOOR PLAN
- A-5 EXISTING EXTERIOR ELEVATION
- A-6 DEMO EXTERIOR ELEVATION
- A-7 PROPOSED EXTERIOR ELEVATION

PROJECT INFORMATION

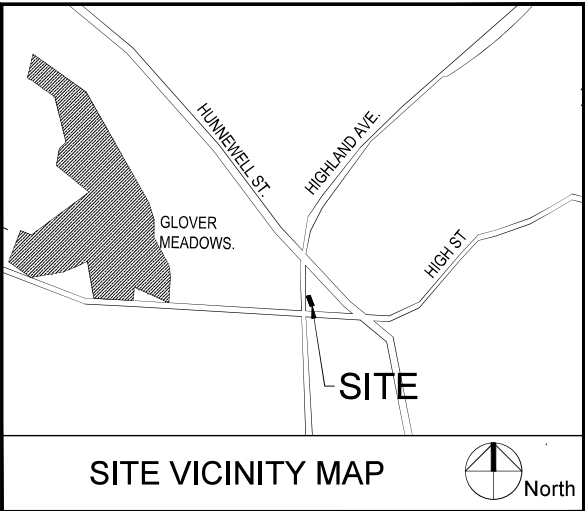
PROJECT NAME BLUE ON HIGHLAND ADDITION

PROJECT ADDRESS 882 HIGHLAND AVE
NEEDHAM, MA 02494

OWNER ADDRESS BLUE ON HIGHLAND
882 HIGHLAND AVE
NEEDHAM, MA 02494

DESIGNER / ARCHITECT KRIPPER ARCHITECTURE STUDIO
36 BROMFIELD STREET, SUITE 501
BOSTON, MASSACHUSETTS 02108
PHONE: 617.993.6094
EMAIL: AMIRK@KRIPPERSTUDIO.COM

PROJECT DESCRIPTION STRUCTURAL, INTERIOR RENOVATION



ZONING / CODE INFORMATION

ZONING AVERY SQUARE BUSINESS

USE GROUP CLASSIFICATION ASSEMBLY A-2

NUMBER OF STORIES 1 ABOVE GRADE - EXISTING CONSTRUCTION

CONSTRUCTION TYPE EXISTING CONSTRUCTION: TYPE III-A, PROTECTED

EGRESS EGRESS REQUIRED: 2
EGRESS PROVIDED: 3

LENGTH OF TRAVEL 64' MAXIMUM

MAXIMUM FLOOR AREA PER OCCUPANT

OCCUPANCY	AREA IN SF	SF PER PERSON	OCCUPANT LOAD
A-2	3,947	15 GROSS	263

Owner/Project:

BLUE ON HIGHLAND
882 HIGHLAND AVE
NEEDHAM, MA 02494

Architect:

K R I P P E R S T U D I O
36 BROMFIELD STREET, SUITE 501 BOSTON, MA 02108

Consultant:

PERMIT SET

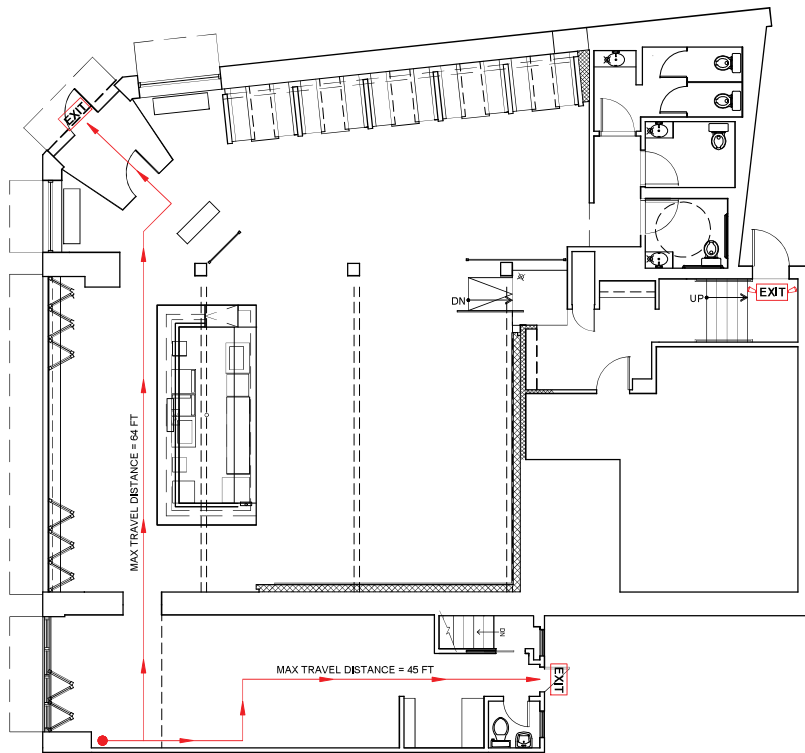


G-1

Sheet Number

Scale: As Noted

Date: 03/04/2024



1 EGRESS PLAN
1/8" = 1'-0"

Owner/Project:

BLUE ON HIGHLAND
882 HIGHLAND AVE
NEEDHAM, MA 02494

Architect:

K R I P P E R S T U D I O
36 BROMFIELD STREET, SUITE 501 BOSTON, MA 02108

Consultant:

PERMIT SET

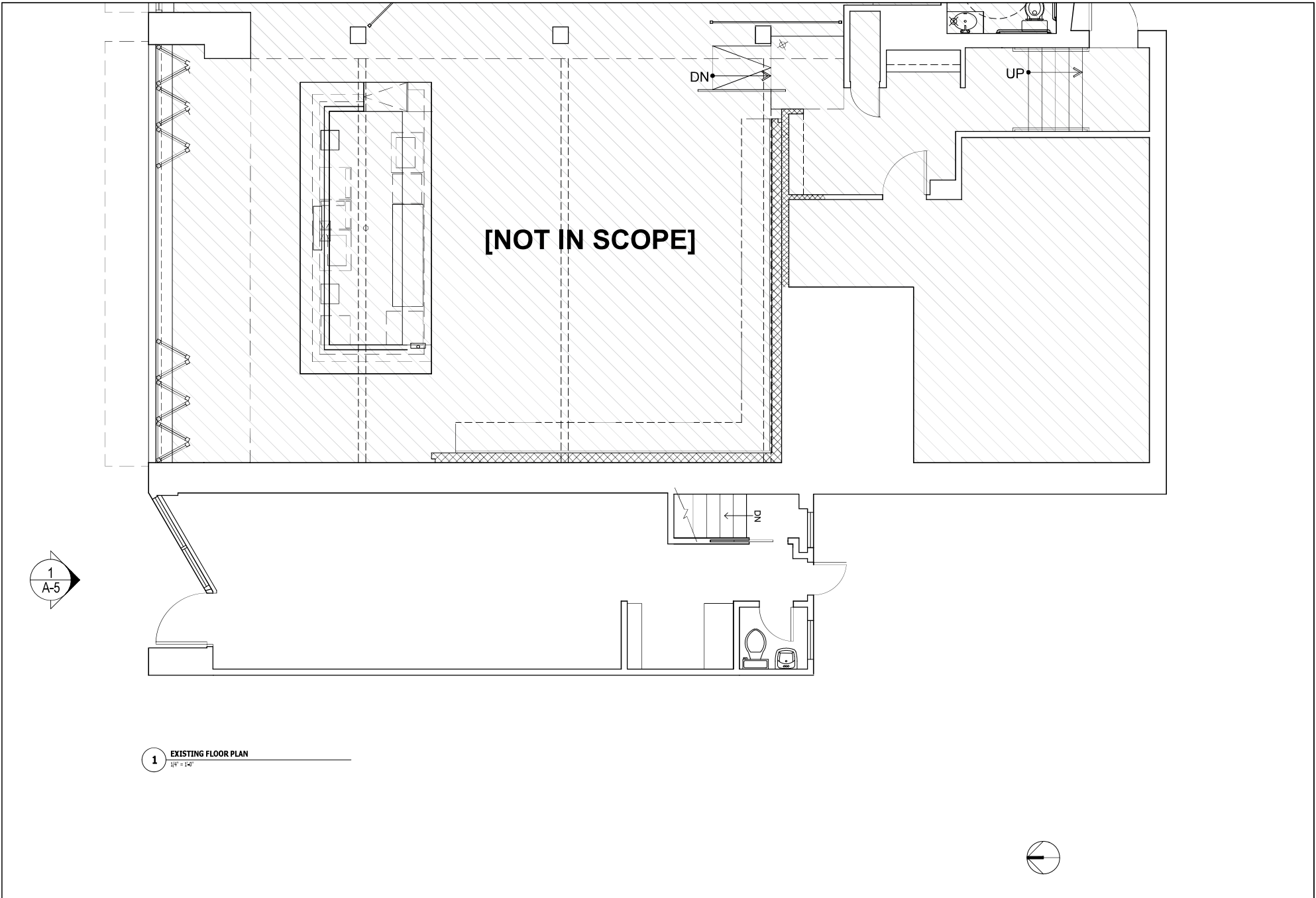


A-1

Sheet Number

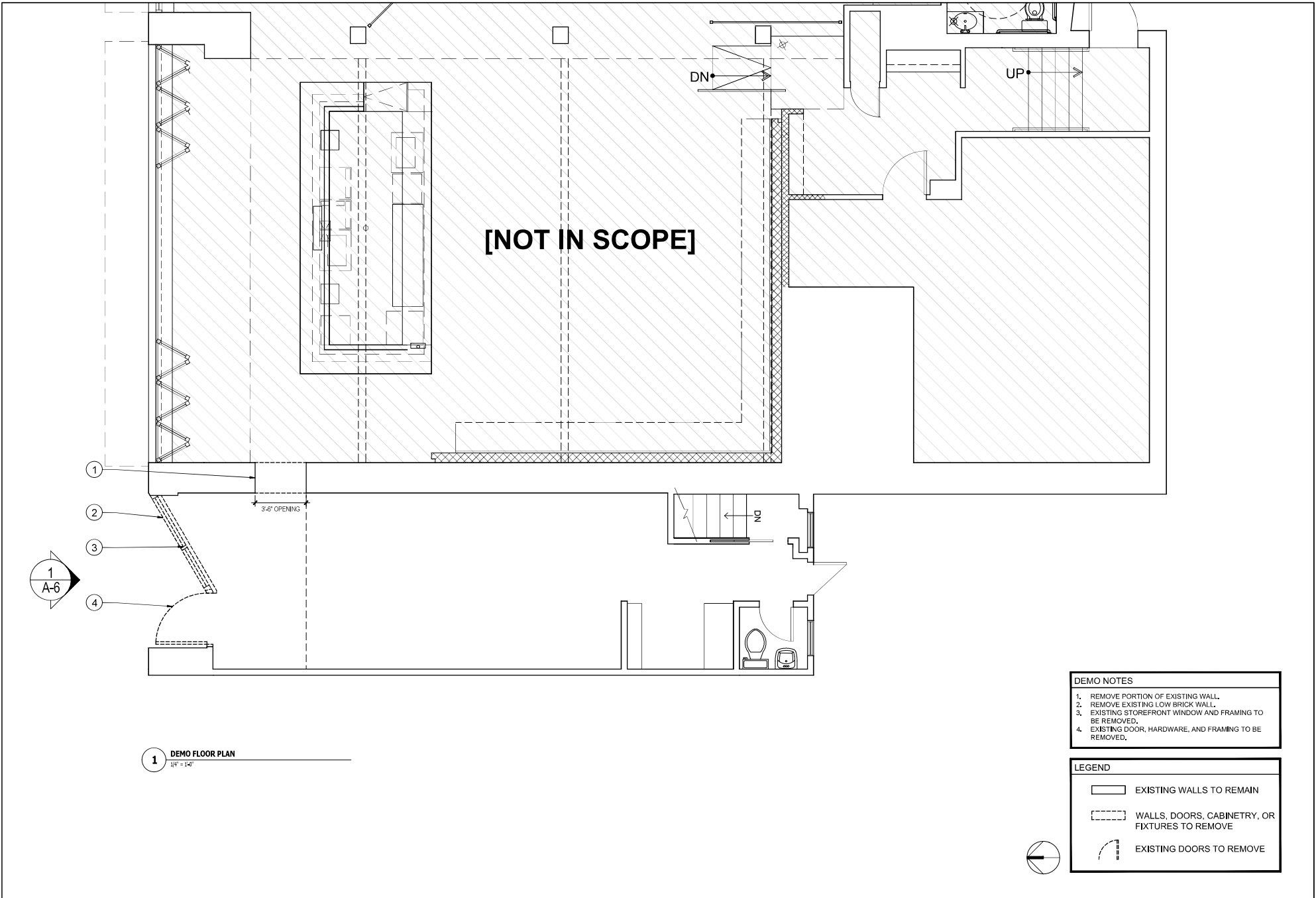
Scale: As Noted

Date: 03/04/2024



1 EXISTING FLOOR PLAN
1/4" = 1'-0"

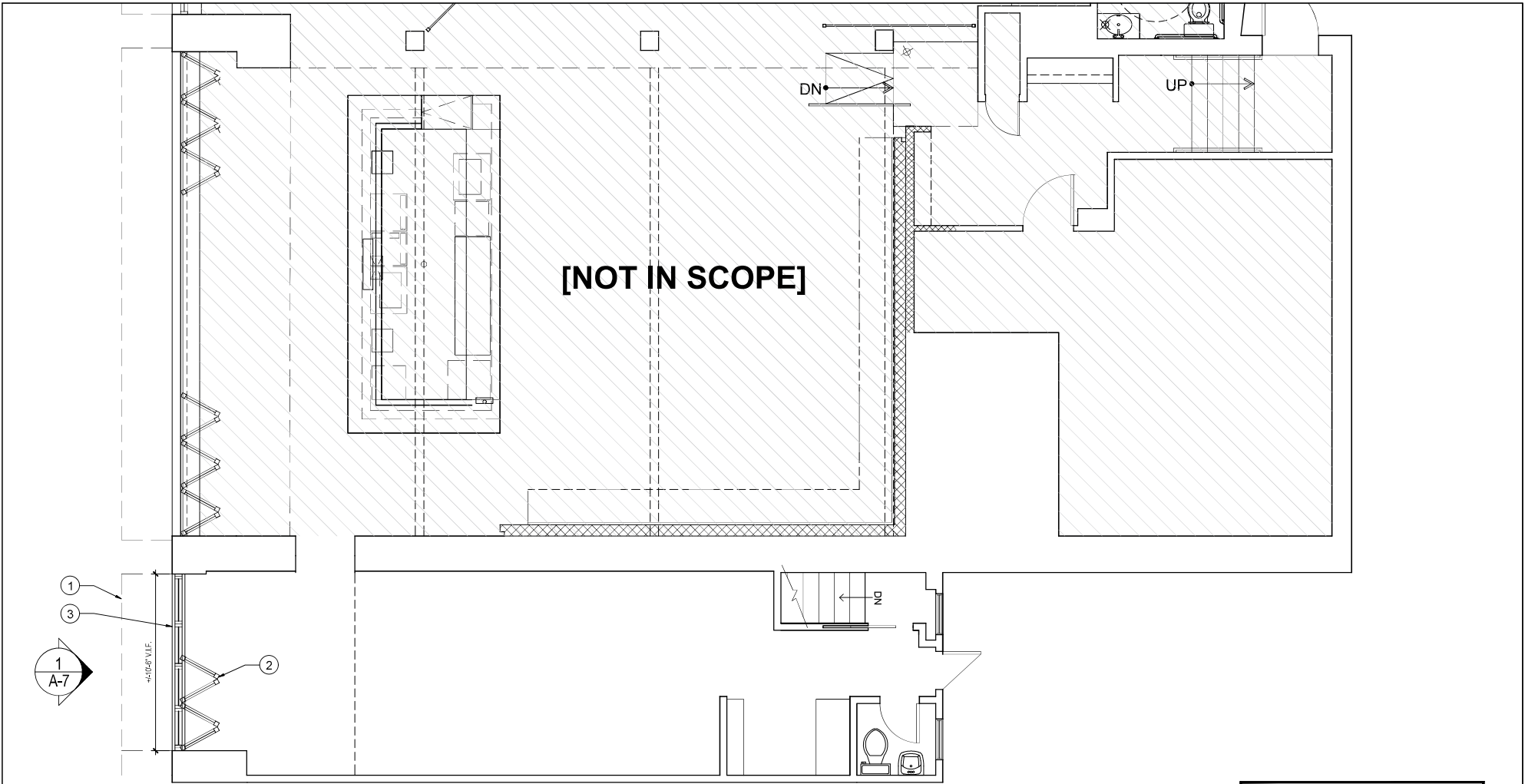
Owner/Project: BLUE ON HIGHLAND 882 HIGHLAND AVE NEEDHAM, MA 02494	Architect: K R I P P E R S T U D I O 36 BROMFIELD STREET, SUITE 501 BOSTON, MA 02108	Consultant:	PERMIT SET		A-2 Sheet Number	Scale: As Noted Date: 03/04/2024
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1 DEMO FLOOR PLAN
1/4" = 1'-0"

- DEMO NOTES
1. REMOVE PORTION OF EXISTING WALL.
 2. REMOVE EXISTING LOW BRICK WALL.
 3. EXISTING STOREFRONT WINDOW AND FRAMING TO BE REMOVED.
 4. EXISTING DOOR, HARDWARE, AND FRAMING TO BE REMOVED.

- LEGEND
- EXISTING WALLS TO REMAIN
 - WALLS, DOORS, CABINETS, OR FIXTURES TO REMOVE
 - EXISTING DOORS TO REMOVE



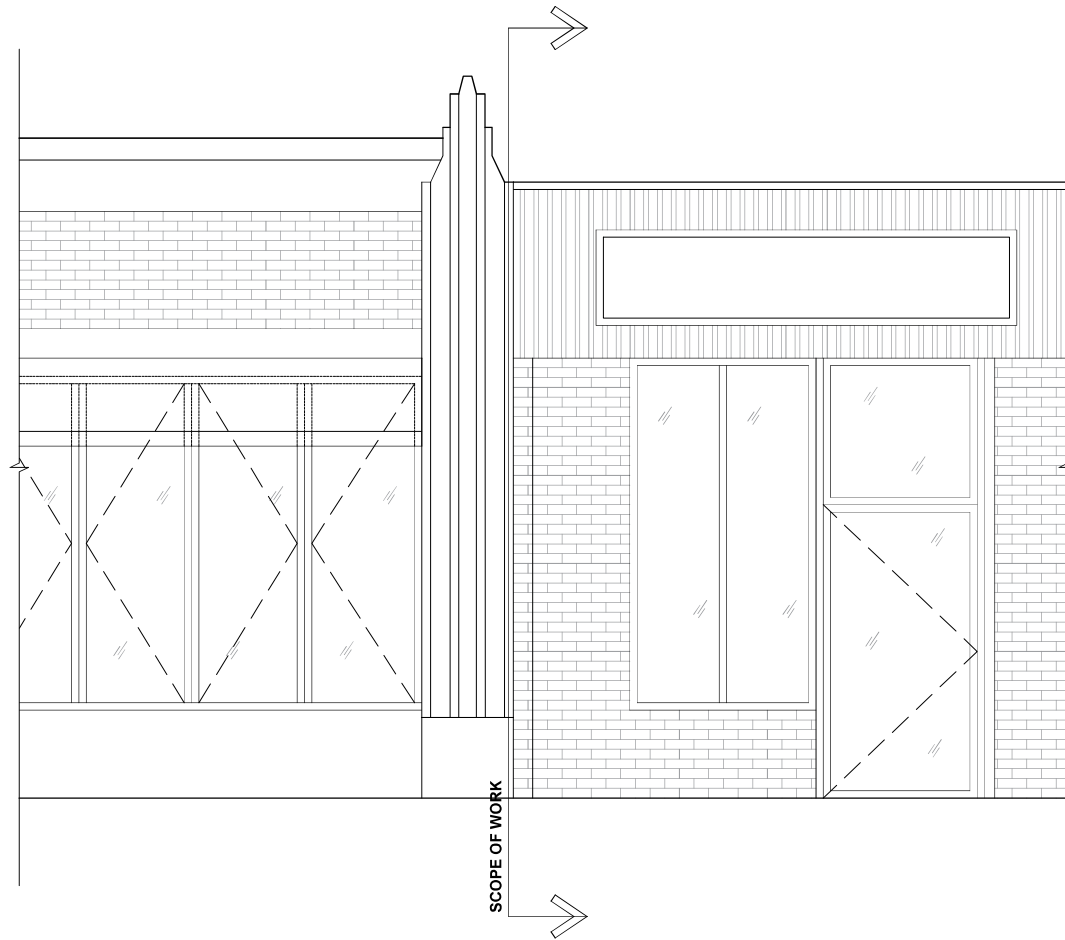
1 PROPOSED FLOOR PLAN
1/4" = 1'-0"

- GENERAL NOTES**
1. NEW AWNING TO MATCH EXISTING, OWNER TO CONFIRM.
 2. NEW RETRACTABLE WINDOW; BLACK FINISH. OWNER TO CONFIRM.
 3. NEW LOW WALL; RED BRICK TO MATCH EXISTING.

LEGEND

- EXISTING WALLS TO REMAIN
- NEW PARTITIONS
- EXISTING DOORS TO REMAIN





1

EXISTING ELEVATION

1/2" = 1'-0"

Owner/Project:

BLUE ON HIGHLAND
882 HIGHLAND AVE
NEEDHAM, MA 02494

Architect:

K R I P P E R S T U D I O
36 BROMFIELD STREET, SUITE 501 BOSTON, MA 02108

Consultant:

PERMIT SET

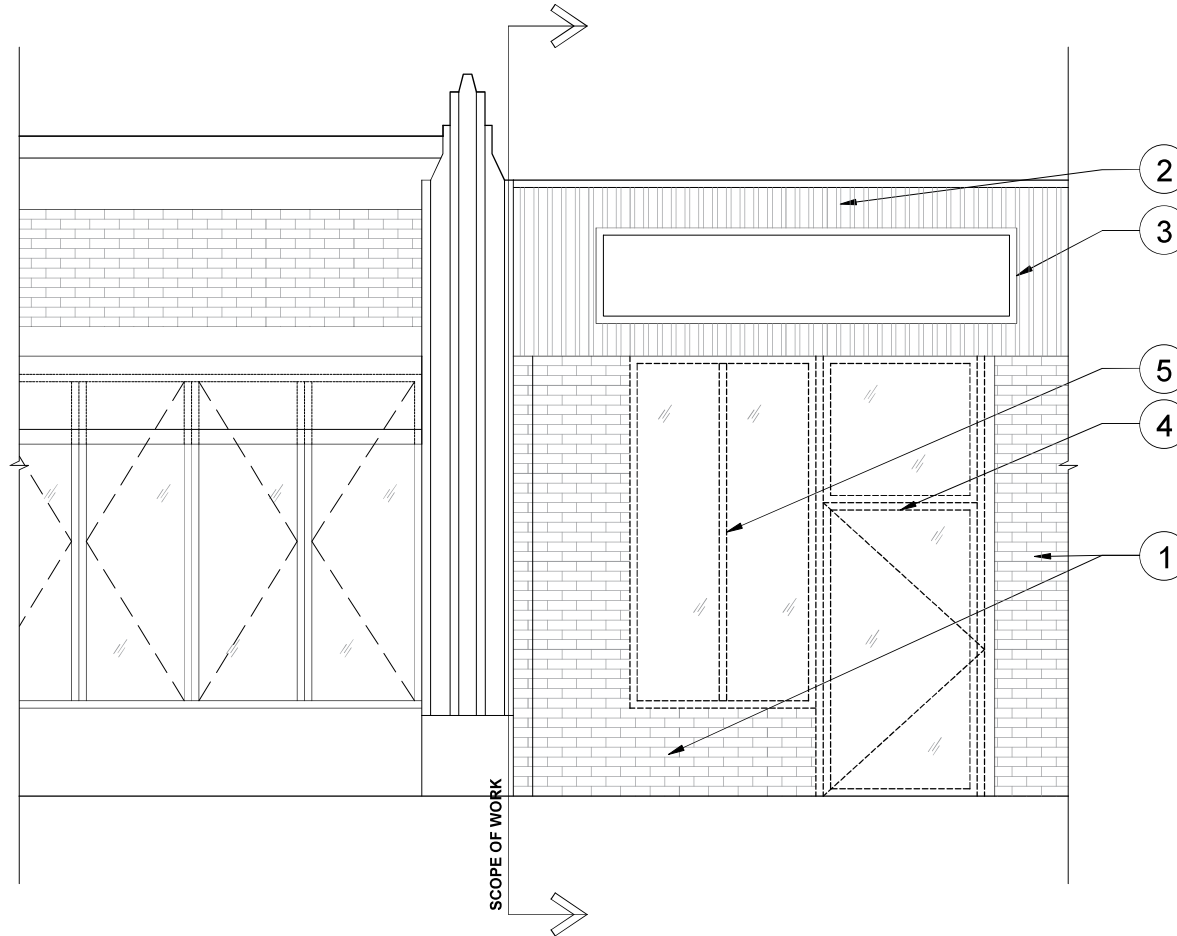


A-5

Sheet Number

Scale: As Noted

Date: 03/04/2024



1

DEMO ELEVATION

1/2" = 1'-0"

DEMO NOTES

1. REMOVE EXISTING BRICK FACING, PREPARE FOR NEW.
2. GC TO IDENTIFY AND REMOVE DAMAGED SUBSTRATE ABOVE ENTRY.
3. REMOVE EXISTING SIGNAGE, BACKING AND FASTENERS AS APPLICABLE.
4. EXISTING DOOR, HARDWARE, AND FRAMING TO BE REMOVED.
5. EXISTING STOREFRONT WINDOW AND FRAMING TO BE REMOVED.

Owner/Project:

BLUE ON HIGHLAND
882 HIGHLAND AVE
NEEDHAM, MA 02494

Architect:

K R I P P E R S T U D I O
36 BROMFIELD STREET, SUITE 501 BOSTON, MA 02108

Consultant:

PERMIT SET

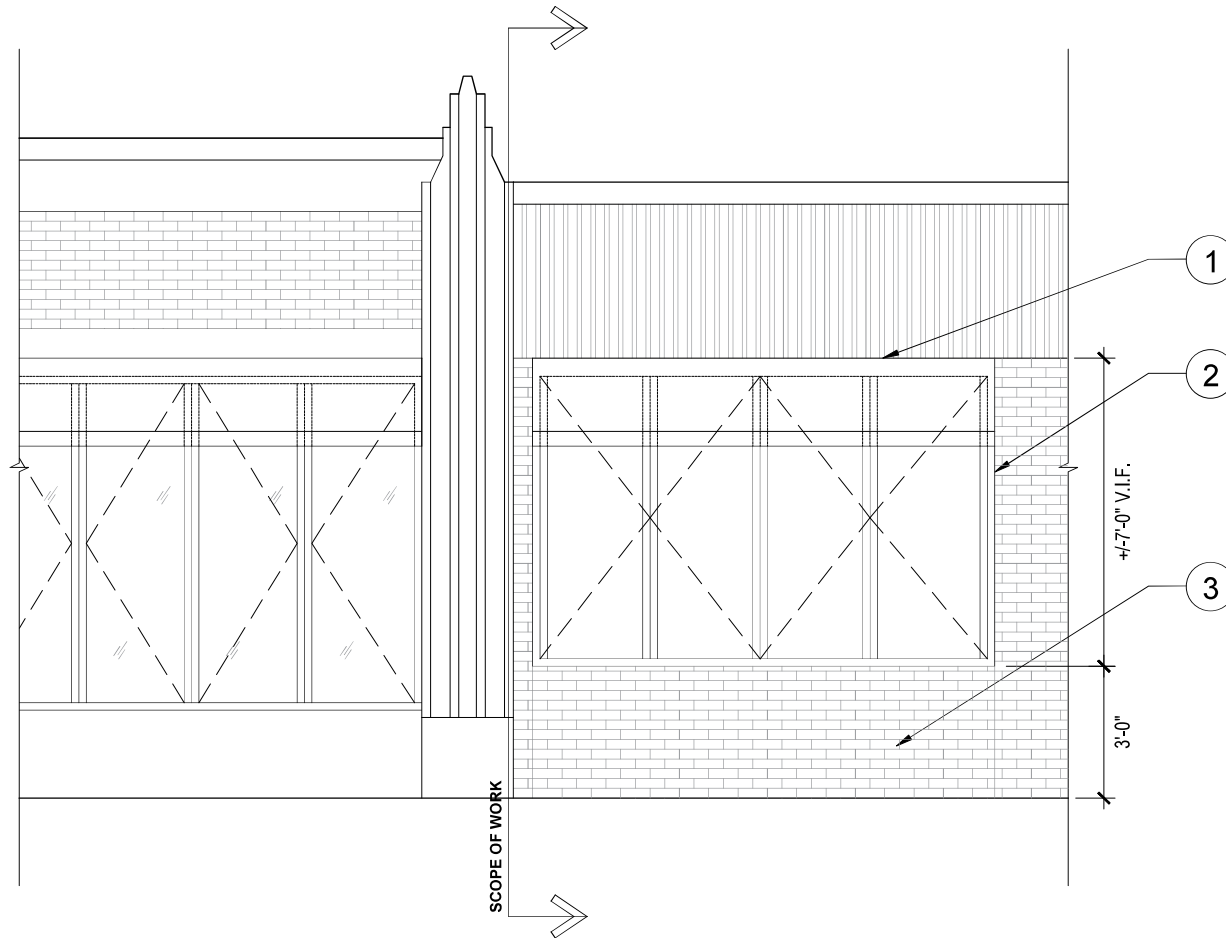


A-6

Sheet Number

Scale: As Noted

Date: 03/04/2024



1

PROPOSED ELEVATION

1/2" = 1'-0"

GENERAL NOTES

1. NEW AWNING TO MATCH EXISTING, OWNER TO CONFIRM.
2. NEW RETRACTABLE WINDOW; BLACK FINISH, OWNER TO CONFIRM.
3. NEW LOW WALL; RED BRICK TO MATCH EXISTING.

Owner/Project:

BLUE ON HIGHLAND
882 HIGHLAND AVE
NEEDHAM, MA 02494

Architect:

K R I P P E R S T U D I O
36 BROMFIELD STREET, SUITE 501 BOSTON, MA 02108

Consultant:

PERMIT SET

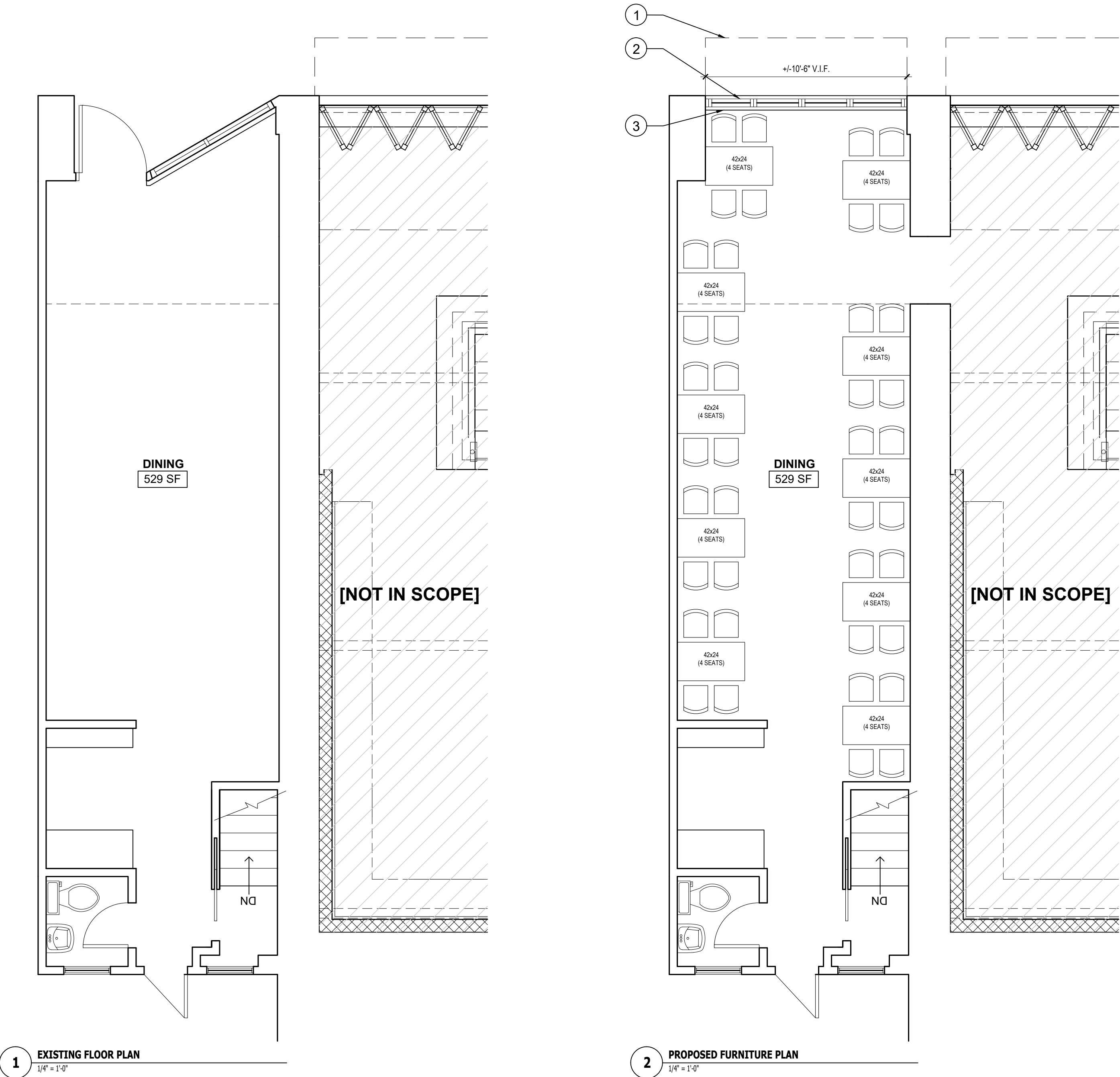


A-7

Sheet Number

Scale: As Noted

Date: 03/04/2024



NOTE: 40 SEATS

- GENERAL NOTES
- 1. NEW AWNING TO MATCH EXISTING, OWNER TO CONFIRM.
 - 2. NEW RETRACTABLE WINDOW; BLACK FINISH, OWNER TO CONFIRM.
 - 3. NEW LOW WALL; RED BRICK TO MATCH EXISTING.

- LEGEND
- EXISTING WALLS TO REMAIN
 - NEW PARTITIONS
 - EXISTING DOORS TO REMAIN