

NEEDHAM PLANNING BOARD

Tuesday, April 25, 2023

7:00 p.m.

Charles River Room

Public Services Administration Building, 500 Dedham Avenue

AND

Virtual Meeting using Zoom

Meeting ID: **880 4672 5264**

(Instructions for accessing below)

To view and participate in this virtual meeting on your phone, download the “Zoom Cloud Meetings” app in any app store or at www.zoom.us. At the above date and time, click on “Join a Meeting” and enter the following Meeting ID: **880 4672 5264**

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US: +1 312 626 6799 or +1 646 558 8656 or +1 301 715 8592 or +1 346 248 7799 or +1 669 900 9128 or +1 253 215 8782 Then enter ID: **880 4672 5264**

Direct Link to meeting: <https://us02web.zoom.us/j/88046725264>

1. Public Hearings:

7:00 p.m. Amendment to Major Project Site Plan Special Permit No. 93-3: Wingate Development, LLC, 63 Kendrick Street, Needham, MA 02494, Petitioner. (Property located at 589 Highland Avenue, Needham, Massachusetts). Regarding request to permit adding a third floor to the building, which would add an additional 22 IL units, for a total of 72 IL units, of which 12.5%, or 9 units, will be affordable.) *Please note: this hearing is continued from the March 7, 2023 meeting of the Planning Board.*

7:30 p.m. Amendment to Major Project Site Plan Special Permit No. 1991-01: Ceed Corp, d/b/a Cook Restaurant, 15 Nell Road, Revere, MA, 02151, Petitioner. (Property located at 101-109 Chapel Street, Needham, Massachusetts). Regarding request for further parking waiver to allow for additional seating (outdoor seats, which will subsequently be reviewed by Select Board).

2. Decision: 920 South Street Definitive Subdivision: Brian Connaughton, 920 South Street, Needham, MA, Petitioner, (Property located at 920 South Street, Needham, MA).

3. Agreement: Scenic Road Act and Public Shade Tree Act: Brian Connaughton, 920 South Street, Needham, MA, Petitioner, (Property located at 920 South Street, Needham, MA).

4. Board of Appeals – April 27, 2023.

5. Zoning Article Assignments for the Annual Town Meeting and further Board discussion on Warrant Articles.

6. Minutes.

7. Set Summer and Fall Schedule.

8. Report from Planning Director and Board members.

9. Correspondence.

(Items for which a specific time has not been assigned may be taken out of order.)

FRIEZE CRAMER ROSEN & HUBER LLP
C O U N S E L L O R S A T L A W

62 WALNUT STREET, SUITE 6, WELLESLEY, MASSACHUSETTS 02481
781-943-4000 • FAX 781-943-4040

April 5, 2023

Via Electronic Mail and Overnight Mail

Members of the
Needham Planning Board

And

Lee Newman
Director of Planning and Community Development
Public Services Administration Building
500 Dedham Ave
Needham, MA 02492

Re: 589 Highland Ave, Needham, Application for Amendment to Special Permit

Dear Planning Board Members and Ms. Newman:

I am writing on behalf of Wingate Development LLC and Wingate at Needham, Inc., with respect to the property at 589 Highland Avenue in Needham, to provide some additional information in connection with the application for amendment to the existing Special Permit. These submissions are intended to address issues that were raised at the last hearing on this application.

Enclosed please find:

1. Floor plans, including a roof plan showing the anticipated location of the rooftop mechanicals.
2. Renderings showing the rooftop mechanicals as seen from ground level. You will note that from ground level, the proposed rooftop mechanicals are barely visible in these renderings.
3. Letter from Wingate to the Planning Board regarding the proposed generator.
4. Letter from Wingate to the Planning Board regarding construction control.
5. Letter from Kelly Engineering to Thomas Ryder regarding stormwater retention analysis, with supporting documents.

Needham Planning Board Members
Lee Newman
April 5, 2023
Page 2

In addition, Kirsten Braun of Ron Muller & Associates, Wingate's Traffic Engineers, spoke with Mr. Ryder regarding an issue that had been raised before the Board at the last hearing, as to whether the applicant's traffic study should include adjacent streets and intersections, as well as the anticipated impacted from the development on the former Muzi site. Mr. Ryder agreed that it is not necessary to analyze any adjacent streets or intersections, since the change in use we are proposing in this application results in a reduction in traffic when compared to the prior, skilled nursing facility use. He also noted to Ms. Braun that the Highland Ave Science Center has already studied the surrounding intersections and that that study has been peer reviewed and mitigation has already been proposed. Therefore, requiring Wingate's traffic engineers to study this area would be redundant. We trust this satisfactorily addresses the concern that was raised on this subject.

Sincerely,

/s/ *Evans Huber*

Evans Huber

Enclosures

Cc: David Feldman

tat

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50 Commandant's Way at Admiral's Hill
Chelsea MA 02150
O 617.889.4402
F 617.884.4329
architecturalteam.com

Consultant:

Revision:

1 4/4/2023 Planning Board Revision

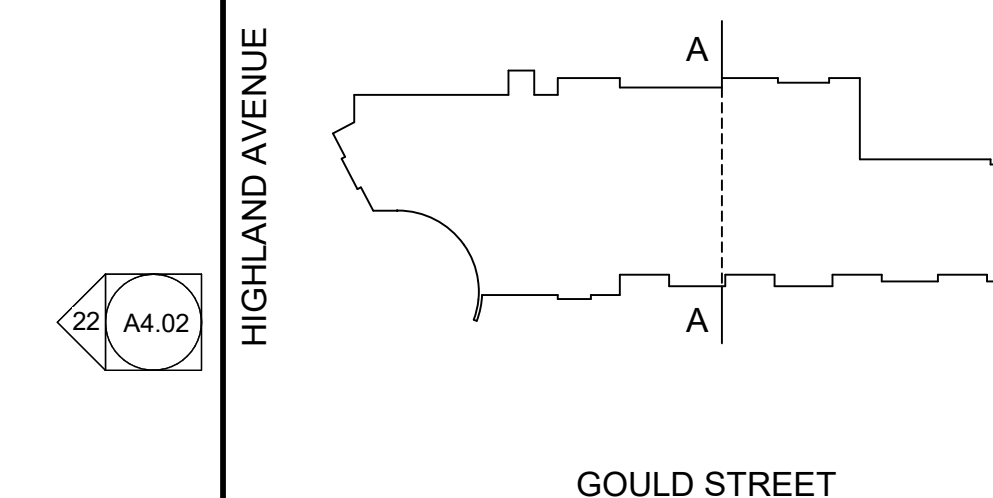
Architect of Record:

Drawn: JS

Checked: AS

Scale: 3/32" = 1'-0"

Key Plan:



Project Name:
**WINGATE AT NEEDHAM
RENOVATION /
EXPANSION**

**589 HIGHLAND AVENUE
NEEDHAM, MA.**

Sheet Name:

**PROPOSED
OVERALL PLAN -
BASEMENT**

Project Number:

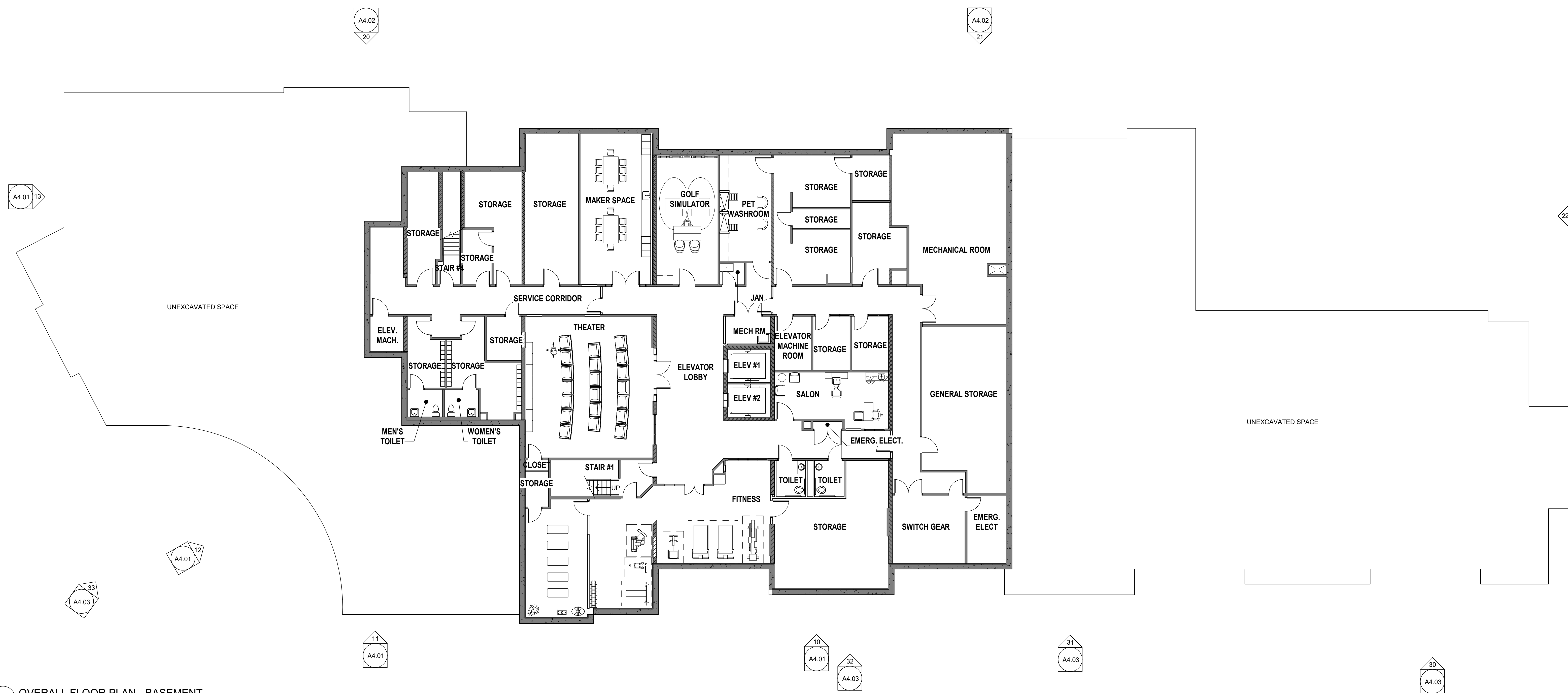
21056

Issue Date:

FEBRUARY 3, 2023

Sheet Number:

A1.00



10 OVERALL FLOOR PLAN - BASEMENT
Scale: 3/32" = 1'-0"

4/4/2023 9:44:23 AM
C:\Users\smith\Documents\21056_R21_Wingate Needham Rehabilitation_3rd floor_smithZGF05.rvt

20 OVERALL FLOOR PLAN - LEVEL 2
Scale: 3/32" = 1'-0"



10 OVERALL FLOOR PLAN - LEVEL 1
Scale: 3/32" = 1'-0"



tat

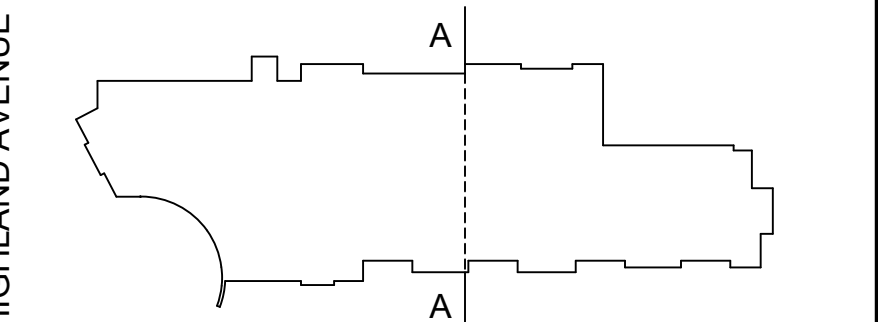
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Consultant:

Revision:
1 4/4/2023 Planning Board Revision

Architect of Record:

Drawn: JS
Checked: AS
Scale: 3/32" = 1'-0"
Key Plan:



Project Name:
WINGATE AT NEEDHAM
RENOVATION /
EXPANSION

589 HIGHLAND AVENUE
NEEDHAM, MA.

Sheet Name:
PROPOSED
OVERALL PLANS
(SCHEMATIC)

Project Number:
21056

Issue Date:
FEBRUARY 3, 2023

Sheet Number:
A1.01



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Revision:

1 4/4/2023 Planning Board Revision

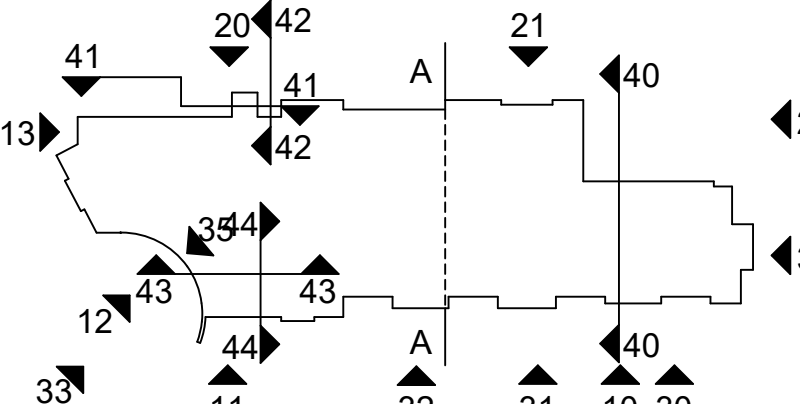
Architect of Record:

Drawn: JS

Checked: AS

Scale: 3/32" = 1'-0"

Key Plan:



Project Name:

WINGATE AT NEEDHAM
RENOVATION /
EXPANSION

589 HIGHLAND AVENUE
NEEDHAM, MA.

Sheet Name:

PROPOSED
OVERALL PLAN
LEVEL 3 & ROOF
(SCHEMATIC)

Project Number:

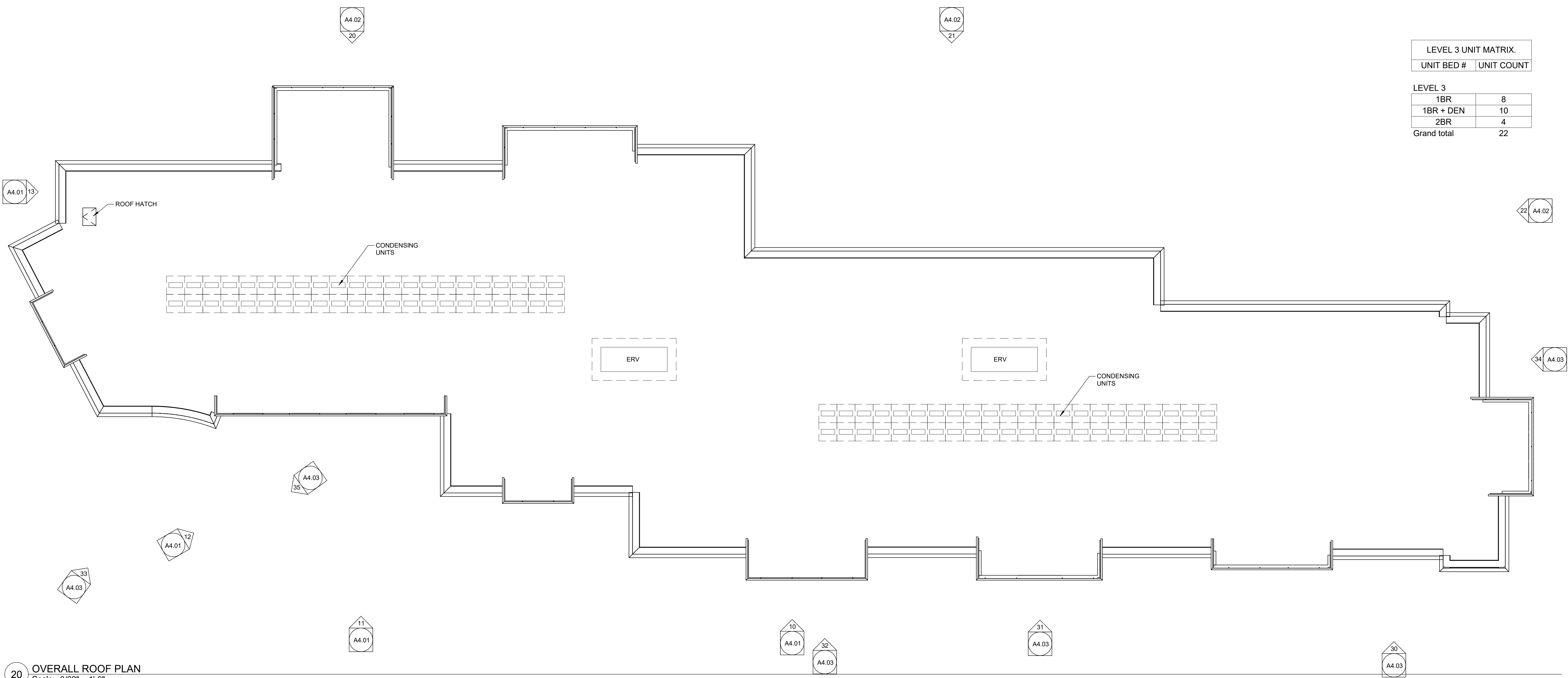
21056

Issue Date:

FEBRUARY 3, 2023

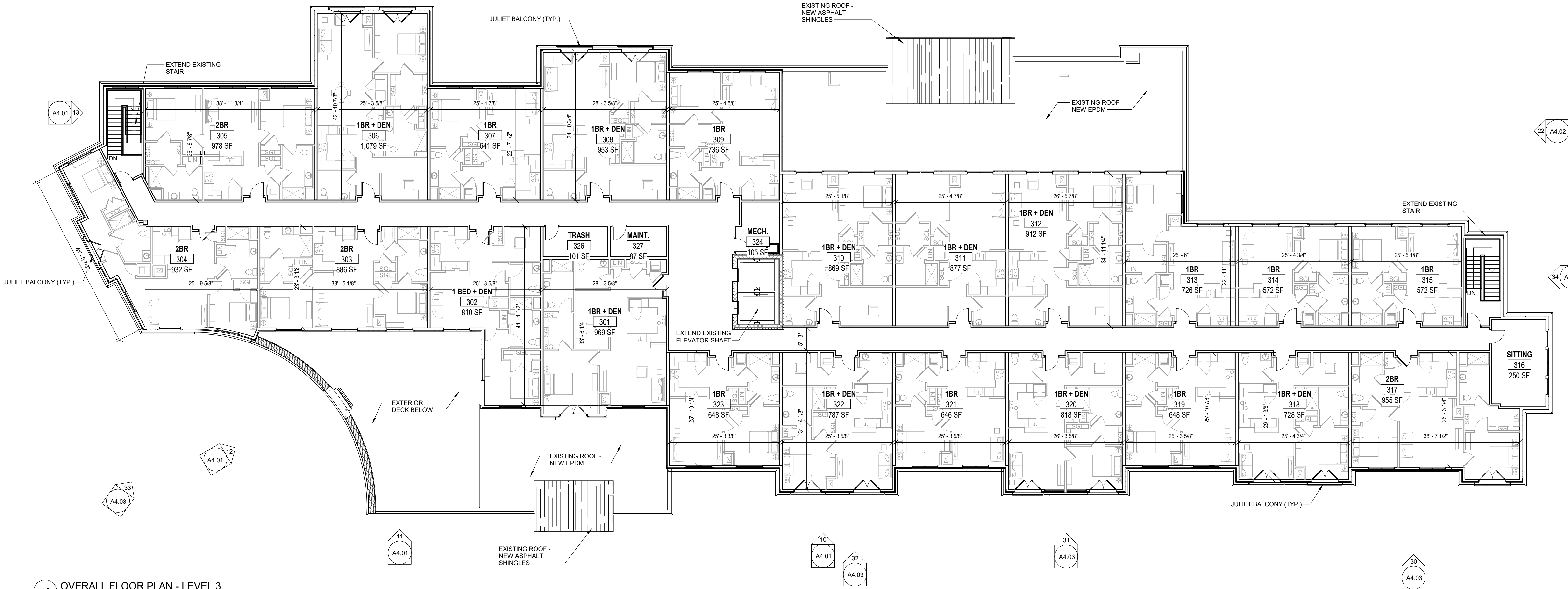
Sheet Number:

A1.02



10 OVERALL ROOF PLAN

Scale: 3/32" = 1'-0"



10 OVERALL FLOOR PLAN - LEVEL 3

Scale: 3/32" = 1'-0"







Wingate at Needham Renovation / Expansion

Needham, MA | March 30, 2023 | 21056 | © The Architectural Team, Inc.

Rendered View from Rear Parking





March 22, 2023

Town of Needham Planning Board
500 Dedham Ave.
Needham MA 02492
Attn: Lee Newman

Cc: David Feldman - Continental Wingate
Tom Ryder – Department of Public Works

Re: **Response to Town Engineer Comments**
Special Permit & Site Plan Review
Wingate at Needham, Inc
589 Highland Avenue
Needham, MA

Dear Members of the Board:

The purpose of this letter is to respond to comments received from the Public Works Department in a letter dated February 27, 2023. Comments are provided in *italics* below.

In accordance with the Town of Needham Stormwater Bylaw, the proposed new construction requires a minimum combined volumetric capacity of 1 inch over the entire impervious area of the property to be recharged. Per discussions with the engineer, they will provide calculations showing that there is at least 1 inch of stormwater over the impervious area for the site. The engineer will also update the Stormwater Operation and Maintenance plan as part of the submittal. The stormwater documents discussed should be provided prior to receiving a building permit.

Attached are the Operations and Maintenance Inspection Checklist, BMP Location Map, Existing Conditions Plan show drainage areas, and Recharge Calculations. Please note that a portion of the site at 589 Highland Ave. shares a drainage system with the adjacent lot to the north at 235 Gould Street. Analyzing those systems as a whole demonstrates that the existing drainage systems for these two adjacent sites provides greater than 1 inch of recharge volume.

If you have any questions or desire any additional information regarding this matter, please do not hesitate to call our office.

Sincerely,

KELLY ENGINEERING GROUP, INC.

Brandon G. Li, P.E.
Senior Engineer

0 Campanelli Drive – Braintree – MA 02184
Phone 781 843 4333 www.kellyengineeringgroup.com

Wingate at Needham, Inc.
Recharge System Calculations
03/07/23

589 Highland Ave. Drainage System

Impervious Area = 38,440 s.f.

Required Dedicated Recharge Volume = $38,440 \text{ s.f.} * 1''/12 = 3,203 \text{ cu.ft}$

Provided Recharge Volume = **3,217 cu.ft.**

The drainage area to the existing subsurface drainage system on 589 Highland Ave. is approximately 38,440 s.f. of impervious area.

The existing drainage system consists of four 48 inch perforated corrugated metal pipes, each of approximately 64 foot length each plus voids in the stone. This provides approximately;

$\#4 * \pi * 2'^2 * 64' = 3,217 \text{ cu.ft.}$ of storage volume plus voids in the stone

This is equivalent to **1 inch** of recharge volume over the impervious drainage area.

235 Gould St. Drainage System

Impervious Area = 3.5 acres = 152,460 s.f.

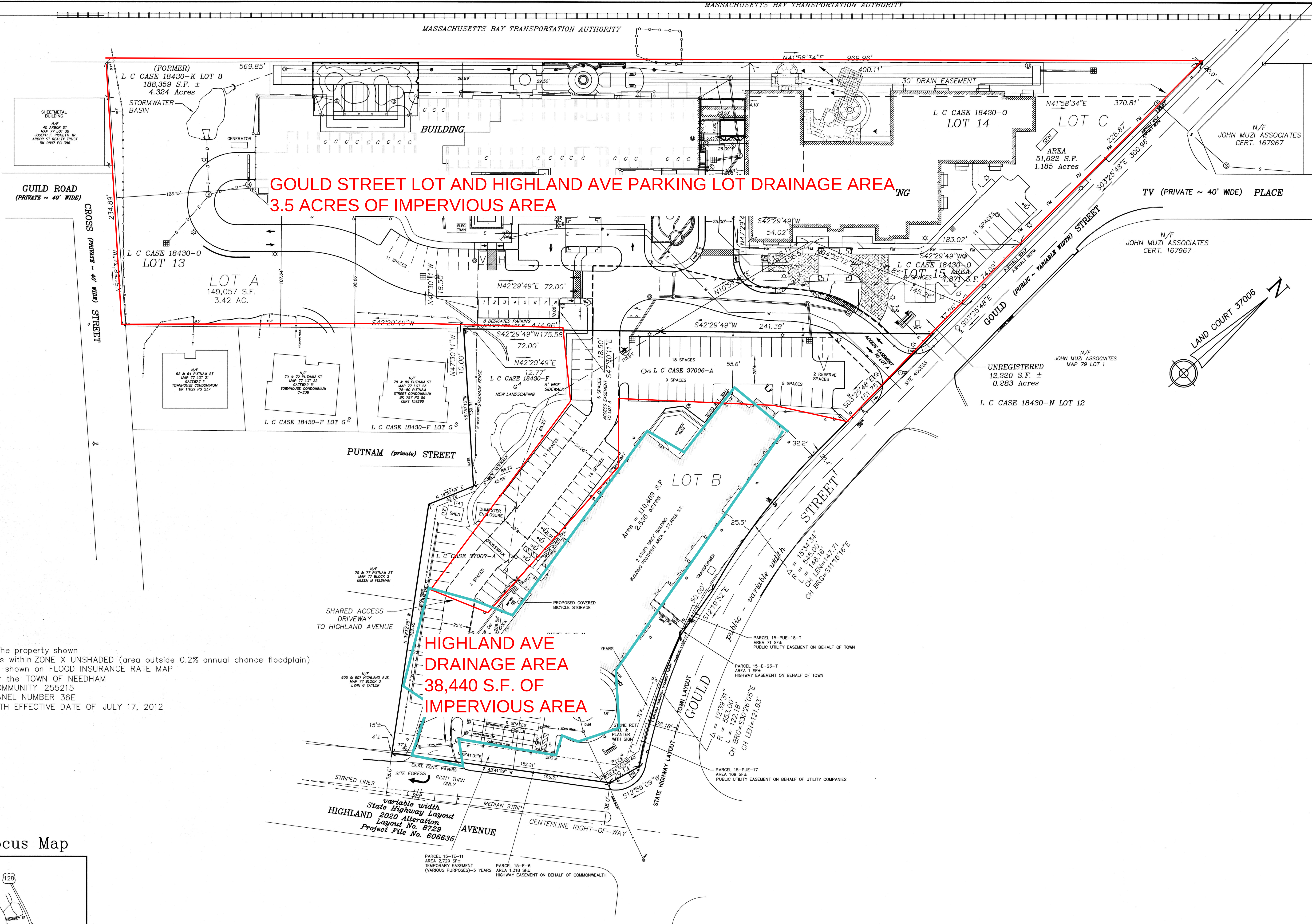
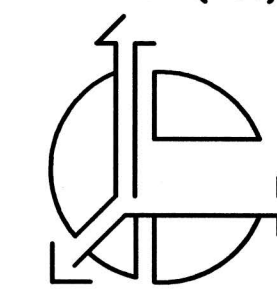
Required Dedicated Recharge Volume = $152,460 \text{ s.f.} * 1''/12 = 12,705 \text{ cu.ft}$

Provided Recharge Volume = **106,055 cu.ft.**

The drainage area to the existing drainage system on 235 Gould St consists of approximately 3.5 acres of impervious area. The existing drainage system contains **106,055 cu.ft.** of storage volume. See Supplemental Stormwater Management Report dated May 28, 2014 by Kelly Engineering Group, Inc. for additional information.

This is equivalent to **8 inches** of storage volume over the impervious area.

Wingate at Needham, Inc.							
PROJECT LOCATION: 589 Highland Ave. Needham, MA							
STORMWATER ANAGEMENT		BEST MANAGEMENT PRACTICES - INSPECTION SCHEDULE AND EVALUATION CHECKLIST					
Best Management Practice	Inspection Frequency (1)	Date I	Inspector	Minimum Maintenance and Key Items to Check (1)	Cleaning/Repair Needed yes__ no__ (list items)	Date of Cleaning /Repair	Perform ed By
Street Sweeping	2x per year			Vacuum sweeper			
Deep Sump and Hooded Catch Basins	2x per year			Remove sediment 1x per year			
Recharge Chambers	4x per year			Inspect after 2.5" rain in 24 hours			
Proprietary Separators	4x per year			Per Manufacturer Requirements			
(1) Refer to the Operation and Maintenance Plan for recommendations regarding frequency of inspections and maintenance of specific BMP's.							
recommendations regarding frequency for inspection and maintenance of specific BMPs.							
Stormwater Control Manager/Environmental Monitor:				Stamp/Signature			



The property shown
lies within ZONE X UNSHADED (area outside 0.2% annual chance floodplain)
as shown on FLOOD INSURANCE RATE MAP
for the TOWN OF NEEDHAM
COMMUNITY 255215
PANEL NUMBER 36E
WITH EFFECTIVE DATE OF JULY 17, 2012

HIGHLAND AVE
DRAINAGE AREA
38,440 S.F. OF
IMPERVIOUS AREA


 SCOTT
 D.
 CAMERON
 #35393
 PROFESSIONAL
 LAND SURVEYOR
 COMMONWEALTH OF MASSACHUSETTS

SCALE:	1"=40'	DATE:	02/03/23
DRAWN BY:	SLS	MATH:	
JOB NUMBER:	3774	CHECKED BY:	
COUNTY:	NORFOLK		
TITLE:			

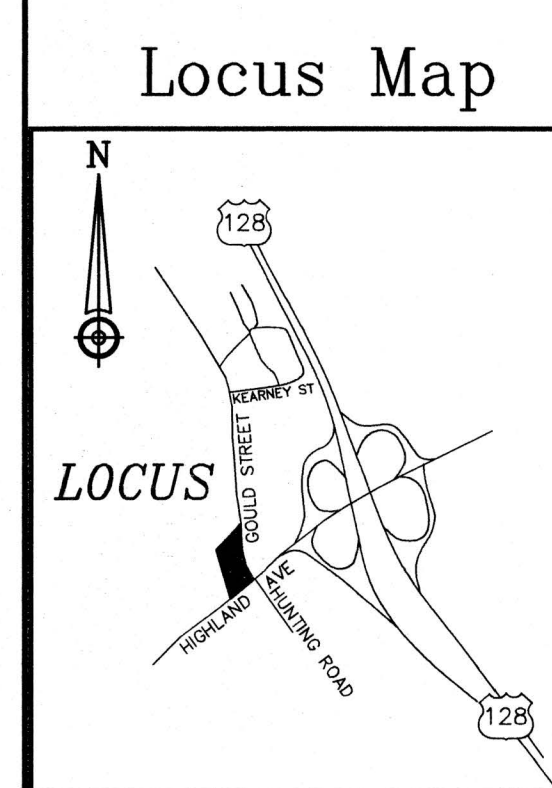
EXISTING CONDITIONS PLAT
589 HIGHLAND AVENUE
WINGATE AT NEEDHAM, INC
NEEDHAM, MASS.

[illegible]

SHEET NUMBER: 2

3774

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0 20 40 80 120 160

1 INCH = 40 FT.

March 21, 2023

Town of Needham Planning Board
Attn: Lee Newman, Planning Director
500 Dedham Avenue
Needham, MA 02492



One Charles River Place
63 Kendrick Street
Needham, MA 02494

781.707.9000 TEL

781.707.9299 FAX

RE: Major Project Site Plan Special Permit No. 93-3
589 Highland Ave- Wingate Development LLC

Dear Planning Board Members,

Enclosed please find the manufacturer specifications, sound limits in decibels (db), a drawing of the sound attenuated enclosure and an installation drawing for the Kohler 350KW liquid cooled diesel engine emergency generator that is being proposed for this project. The location for the generator can be found on the Wingate at Needham layout plan sheet 3 provided by Kelly Engineering dated February 3, 2023, and The Wingate at Needham landscape plans sheets L1, L1.1 and L3 provided by Hawk Design dated February 3, 2023.

The emergency generator to be installed shall be operated in a manner that complies with all applicable Federal, state and local regulations addressing sound attenuation, to protect adjoining properties and the nearest inhabited residence from excessive noise as defined in the regulations. As shown on the Hawk Design landscape plans, the emergency generator shall be screened with plantings to minimize the visibility from the street.

Normal maintenance and testing of the emergency generator shall take place one occurrence per month between the weekday hours of 9:00am and 5:00 pm for a period not to exceed 2 hours as recommended by the manufacturer.

Wingate Development used this same generator and associated sound attenuation package at the 235 Gould St Addition.

Should you have any questions, please feel free to call our office.

Sincerely,

A handwritten signature in blue ink, appearing to read 'David Feldman'.

David Feldman

Senior Vice President of Real Estate and Development

CC Ms. Alexandra Clee
Assistant Town Planner



REAL ESTATE DEVELOPMENT
CONSTRUCTION MANAGEMENT

Model: **350REOZJ**

KOHLER POWER SYSTEMS

208-600 V

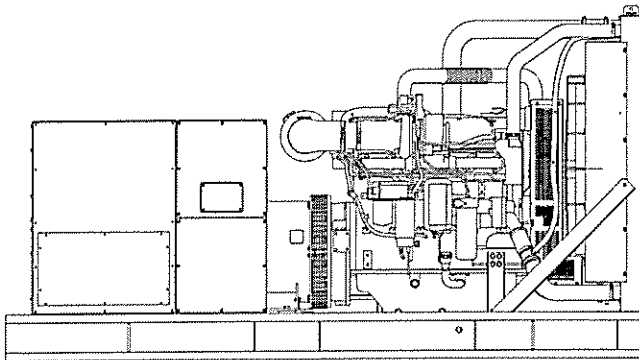
Diesel



**Tier 3 EPA-Certified for
Stationary Emergency
Applications**

Ratings Range

		60 Hz
Standby:	kW	280-350
	kVA	280-438
Prime:	kW	275-320
	kVA	275-400



Standard Features

- Kohler Co. provides one-source responsibility for the generating system and accessories.
- The generator set and its components are prototype-tested, factory-built, and production-tested.
- The 60 Hz generator set offers a UL 2200 listing.
- The generator set accepts rated load in one step.
- The 60 Hz emergency generator set meets NFPA 110, Level 1, when equipped with the necessary accessories and installed per NFPA standards.
- A standard one-year limited warranty covers all systems and components. Two-, five-, and ten-year extended warranties are also available.
- Alternator features:
 - The pilot-excited, permanent magnet (PM) alternator provides superior short-circuit capability.
 - The brushless, rotating-field alternator has broadrange reconnectability.
- Other features:
 - Kohler designed controllers for guaranteed system integration and remote communication. See Controllers on page 3.
 - The low coolant level shutdown prevents overheating (standard on radiator models only).
 - Integral vibration isolation eliminates the need for under-unit vibration spring isolators.
 - An electronic, isochronous governor delivers precise frequency regulation.
 - Multiple circuit breaker configurations.

Generator Set Ratings

Alternator	Voltage	Ph	Hz	150°C Rise Standby Rating		130°C Rise Standby Rating		125°C Rise Prime Rating		105°C Rise Prime Rating	
				kW/kVA	Amps	kW/kVA	Amps	kW/kVA	Amps	kW/kVA	Amps
4M4019	120/208	3	60	350/438	1214	350/438	1214	320/400	1110	320/400	1110
	127/220	3	60	350/438	1148	350/438	1148	320/400	1050	320/400	1050
	139/240	3	60	350/438	1052	350/438	1052	320/400	962	320/400	962
	220/380	3	60	305/381	579	305/381	579	275/344	522	275/344	522
	240/416	3	60	350/438	607	350/438	607	320/400	555	320/400	555
	277/480	3	60	350/438	526	350/438	526	320/400	481	320/400	481
4M4021	120/208	3	60	350/438	1214	350/438	1214	320/400	1110	320/400	1110
	127/220	3	60	350/438	1148	350/438	1148	320/400	1050	320/400	1050
	139/240	3	60	350/438	1052	350/438	1052	320/400	962	320/400	962
	220/380	3	60	315/394	598	315/394	598	285/356	541	285/356	541
	240/416	3	60	350/438	607	350/438	607	320/400	555	320/400	555
	277/480	3	60	350/438	526	350/438	526	320/400	481	320/400	481
5M4027	120/208	3	60	350/438	1214	350/438	1214	320/400	1110	320/400	1110
	127/220	3	60	350/438	1148	350/438	1148	320/400	1050	320/400	1050
	120/240	1	60	305/305	1271	280/280	1167	275/275	1146	275/275	1146
	139/240	3	60	350/438	1052	350/438	1052	320/400	962	320/400	962
	220/380	3	60	350/438	665	350/438	665	320/400	608	320/400	608
	240/416	3	60	350/438	607	350/438	607	320/400	555	320/400	555
4M4266	347/600	3	60	350/438	421	350/438	421	320/400	385	320/400	385
5M4272	347/600	3	60	350/438	421	350/438	421	320/400	385	320/400	385

RATINGS: All three-phase units are rated at 0.8 power factor. **Standby Ratings:** The standby rating is applicable to varying loads for the duration of a power outage. There is no overload capability for this rating. **Prime Power Ratings:** At varying load, the number of generator set operating hours is unlimited. A 10% overload capacity is available for one hour in twelve. Ratings are in accordance with ISO-8528-1 and ISO-3046-1. For limited running time and continuous ratings, consult the factory. Obtain technical information bulletin (TIB-101) for ratings guidelines, complete ratings definitions, and site condition derates. The generator set manufacturer reserves the right to change the design or specifications without notice and without any obligation or liability whatsoever.

Alternator Specifications

Specifications	Alternator
Type	4-Pole, Rotating-Field
Exciter type	Brushless, Permanent-Magnet, Pilot Exciter
Leads: quantity, type	12, Reconnectable
Voltage regulator	Solid State, Volts/Hz
Insulation:	NEMA MG1
Material	Class H, Synthetic, Nonhygroscopic
Temperature rise	130°C, 150°C Standby
Bearing: quantity, type	1, Sealed
Coupling	Flexible Disc
Amortisseur windings	Full
Rotor balancing	125%
Voltage regulation, no-load to full-load	Controller Dependent
One-step load acceptance	100% of Rating
Unbalanced load capability	100% of Rated Standby Current
Peak motor starting kVA:	(35% dip for voltages below)
480 V 4M4019 (12 lead)	1325
480 V 4M4021 (12 lead)	1350
480 V 5M4027 (12 lead)	1550
600 V 4M4266 (4 lead)	1300
600 V 5M4272 (4 lead)	1750

- NEMA MG1, IEEE, and ANSI standards compliance for temperature rise and motor starting.
- Sustained short-circuit current of up to 300% of the rated current for up to 10 seconds.
- Sustained short-circuit current enabling downstream circuit breakers to trip without collapsing the alternator field.
- Self-ventilated and dripproof construction.
- Superior voltage waveform from a two-thirds pitch stator and skewed rotor.
- Brushless alternator with brushless pilot exciter for excellent load response.

Application Data

Engine

Engine Specifications	
Engine manufacturer	John Deere
Engine model	6135HF485
Engine type	4-Cycle, Turbocharged, Charge Air-Cooled
Cylinder arrangement	6, Inline
Displacement, L (cu. in.)	13.5 (824)
Bore and stroke, mm (in.)	132 x 165 (5.2 x 6.5)
Compression ratio	16.0:1
Piston speed, m/min. (ft./min.)	594 (1950)
Main bearings: quantity, type	7, Replaceable Insert
Rated rpm	1800
Max. power at rated rpm, kWm (BHP)	401 (538)
Crankshaft material	Forged Steel
Valve material	
Intake/Exhaust	Nickel-Chromium Head Chromium-Silicone Stem
Governor: type, make/model	JDEC Electronic L15
Frequency regulation, no-load to full-load	Isochronous
Frequency regulation, steady state	±0.25%
Frequency	Fixed
Air cleaner type, all models	Dry

Exhaust

Exhaust System	
Exhaust manifold type	Dry
Exhaust flow at rated kW, m³/min. (cfm)	75 (2649)
Exhaust temperature at rated kW, dry exhaust, °C (°F)	446 (835)
Maximum allowable back pressure, kPa (in. Hg)	Min. 4 (1.2) Max. 10 (3.0)
Engine exhaust outlet size, mm (in.)	See ADV drawing

Engine Electrical

Engine Electrical System	
Battery charging alternator:	
Ground (negative/positive)	Negative
Volts (DC)	24
Ampere rating	60
Starter motor rated voltage (DC)	24
Battery, recommended cold cranking amps (CCA):	
Qty., CCA rating each	Two, 950
Battery voltage (DC)	12

Fuel

Fuel System	
Fuel supply line, min. ID, mm (in.)	13 (0.50)
Fuel return line, min. ID, mm (in.)	10 (0.38)
Max. lift, fuel pump: type, m (ft.)	Electronic 2.1 (6.8)
Max. fuel flow, Lph (gph)	180.6 (47.7)
Fuel prime pump	Electronic
Fuel filter	
Secondary	2 Microns @ 98% Efficiency
Primary	10 Microns
Water Separator	Yes
Recommended fuel	#2 Diesel

Lubrication

Lubricating System	
Type	Full Pressure
Oil pan capacity, L (qt.)	40.0 (42.3)
Oil pan capacity with filter, L (qt.)	42.0 (44.4)
Oil filter: quantity, type	1, Cartridge
Oil cooler	Water-Cooled

Application Data

Cooling

Radiator System	
Ambient temperature, °C (°F)*	50 (122)
Engine jacket water capacity, L (gal.)	18 (4.8)
Radiator system capacity, including engine, L (gal.)	67.2 (17.8)
Engine jacket water flow, Lpm (gpm)	469 (124)
Heat rejected to cooling water at rated kW, dry exhaust, kW (Btu/min.)	194 (11042)
Heat rejected to air charge cooler at rated kW, dry exhaust, kW (Btu/min.)	106 (6033)
Water pump type	Centrifugal
Fan diameter, including blades, mm (in.)	965 (38)
Fan, kWm (HP)	18 (24)
Max. restriction of cooling air, intake and discharge side of radiator, kPa (in. H ₂ O)	0.125 (0.5)

* Enclosure with internal silencer reduces ambient temperature capability by 5°C (9°F).

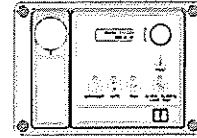
Operation Requirements

Air Requirements	
Radiator-cooled cooling air, m ³ /min. (scfm)†	651 (23000)
Cooling air required for generator set when equipped with city water cooling or remote radiator, based on 14°C (25°F) rise, m ³ /min. (cfm)†	297 (10500)
Combustion air, m ³ /min. (cfm)	33 (1165)
Heat rejected to ambient air:	
Engine, kW (Btu/min.)	83 (4724)
Alternator, kW (Btu/min.)	36.6 (2082)

† Air density = 1.20 kg/m³ (0.075 lbm/ft³)

Fuel Consumption	
Diesel, Lph (gph) at % load	Standby Rating
100%	100.3 (26.5)
75%	73.2 (19.3)
50%	51.9 (13.7)
25%	30.7 (8.1)
Diesel, Lph (gph) at % load	Prime Rating
100%	88.3 (23.3)
75%	66.1 (17.5)
50%	47.6 (12.6)
25%	27.2 (7.2)

Controllers

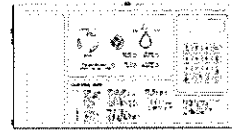


Decision-Maker® 3000 Controller

Provides advanced control, system monitoring, and system diagnostics for optimum performance and compatibility.

- Digital display and menu control provide easy local data access
- Measurements are selectable in metric or English units
- Remote communication thru a PC via network or serial configuration
- Integrated hybrid voltage regulator with ±0.5% regulation
- Built-in alternator thermal overload protection
- NFPA 110 Level 1 capability

Refer to G6-100 for additional controller features and accessories.

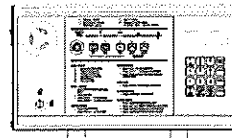


Decision-Maker® 550 Controller

Provides advanced control, system monitoring, and system diagnostics with remote monitoring capabilities.

- Digital display and keypad provide easy local data access
- Measurements are selectable in metric or English units
- Remote communication thru a PC via network or modem configuration
- Controller supports Modbus® protocol
- Integrated voltage regulator with ±0.25% regulation
- Built-in alternator thermal overload protection
- NFPA 110 Level 1 capability

Refer to G6-46 for additional controller features and accessories.



Decision-Maker® 6000 Paralleling Controller

Provides advanced control, system monitoring, and system diagnostics with remote monitoring capabilities for paralleling multiple generator sets.

- Paralleling capability with first-on logic, synchronizer, kW and kVAR load sharing, and protective relays
- Digital display and keypad provide easy local data access
- Measurements are selectable in metric or English units
- Remote communication thru a PC via network or modem configuration
- Controller supports Modbus® protocol
- Integrated voltage regulator with ±0.25% regulation
- Built-in alternator thermal overload protection
- NFPA 110 Level 1 capability

Refer to G6-107 for additional controller features and accessories.

Standard Features

- Alternator Protection
- Battery Rack and Cables
- Customer Connection
(standard with Decision-Maker® 6000 controller only)
- Local Emergency Stop Switch
- Oil Drain Extension
- Operation and Installation Literature

Available Options

Approvals and Listings

- ☐ California OSHPD Approval
- ☐ CSA Approval
- ☐ IBC Seismic Certification
- ☐ UL 2200 Listing

Enclosed Unit

- ☐ Sound Enclosure Level 1 and Subbase Fuel Tank Packages
- ☐ Sound Enclosure Level 2 and Subbase Fuel Tank Packages
- ☐ Weather Enclosure and Subbase Fuel Tank Packages

Open Unit

- ☐ Exhaust Silencer, Critical (kit: PA-354880)
- ☐ Exhaust Silencer, Hospital (kit: PA-354905)
- ☐ Flexible Exhaust Connector, Stainless Steel

Fuel System

- ☐ Auxiliary Fuel Pump
- ☐ Flexible Fuel Lines (Select rubber or stainless steel)

Controller

- ☐ Common Failure Relay
- ☐ Communication Products and PC Software
(Decision-Maker® 550 and 6000 controllers only)
- ☐ Customer Connection (Decision-Maker® 550 controller only)
- ☐ Decision-Maker® Paralleling System (DPS)
(Decision-Maker® 6000 controller only)
- ☐ Dry Contact (isolated alarm)
(Decision-Maker® 550 and 6000 controllers only)
- ☐ Input/Output Module (Decision-Maker® 3000 controller only)
- ☐ Remote Audiovisual Alarm Panel
(Decision-Maker® 550 and 6000 controllers only)
- ☐ Remote Emergency Stop
- ☐ Remote Mounting Cable
- ☐ Remote Serial Annunciator Panel
- ☐ Run Relay

Cooling System

- ☐ Block Heater, 2500 W, 90–120 V, 1 Ph
- ☐ Block Heater, 2500 W, 190–208 V, 1 Ph
- ☐ Block Heater, 2500 W, 210–240 V, 1 Ph
- ☐ Block Heater, 2500 W, 380–480 V, 1 Ph
[recommended for ambient temperatures below 0°C (32°F)]
- ☐ Radiator Duct Flange
- ☐ Remote Radiator Setup

Electrical System

- ☐ Alternator Strip Heater
- ☐ Battery
- ☐ Battery Charger, Equalize/Float Type
- ☐ Battery Heater

- ☐ Line Circuit Breaker (NEMA type 1 enclosure)
- ☐ Line Circuit Breaker with Shunt Trip (NEMA type 1 enclosure)

Paralleling System

- ☐ Manual Speed Adjust
- ☐ Voltage Sensing

Miscellaneous

- ☐ Air Cleaner, Heavy Duty
- ☐ Air Cleaner Restriction Indicator
- ☐ Crankcase Emissions Canister
- ☐ Engine Fluids (oil and coolant) Added
- ☐ Rated Power Factor Testing

Literature

- ☐ General Maintenance
- ☐ NFPA 110
- ☐ Overhaul
- ☐ Production

Warranty

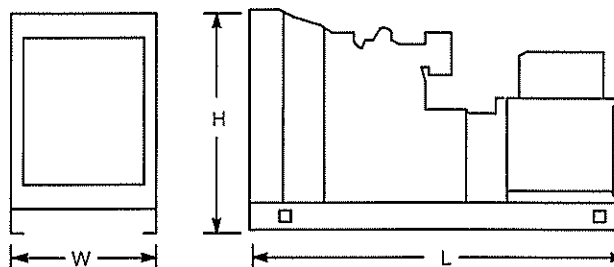
- ☐ 2-Year Basic
- ☐ 5-Year Basic
- ☐ 5-Year Comprehensive
- ☐ 10Year Major Components

Other Options

- ☐ _____
- ☐ _____
- ☐ _____
- ☐ _____
- ☐ _____

Dimensions and Weights

Overall Size, L x W x H, max., mm (in.): 3630 x 1725 x 1993
 (142.9 x 67.9 x 78.5)
 Weight (radiator model), wet, max., kg (lb.): 3901 (8600)



NOTE: This drawing is provided for reference only and should not be used for planning installation. Contact your local distributor for more detailed information.

DISTRIBUTED BY:

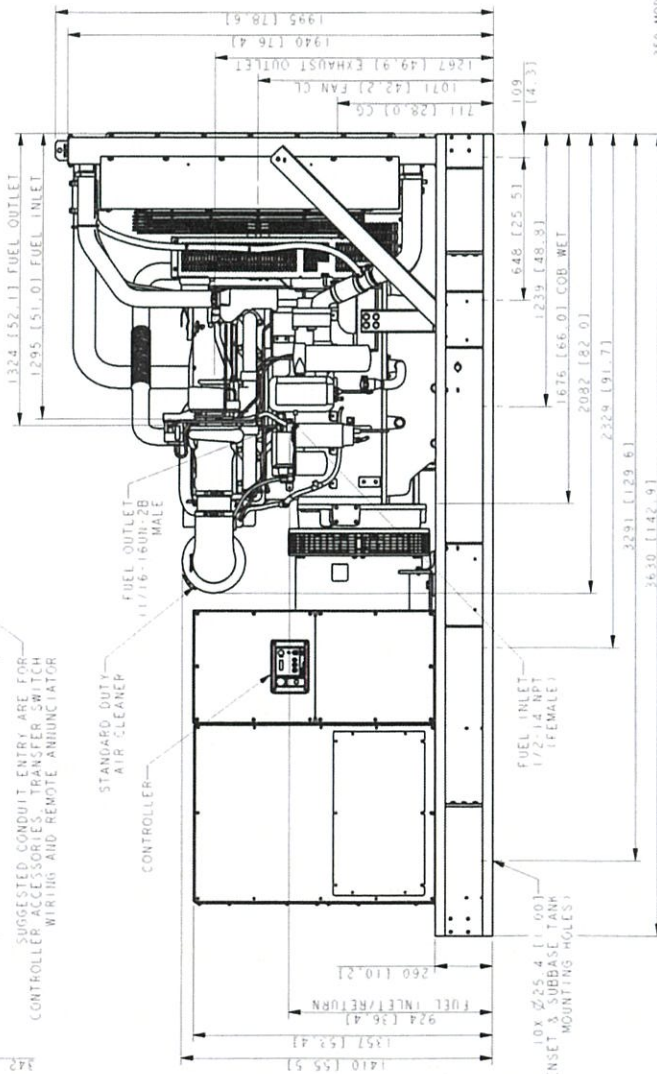


MODEL	A.L.T.	GENSET WEIGHT (WEI)
350	4040.0	3559 KG (7830 LBS)
350/400	4040.2	3570 KG (7855 LBS)
500	5040.2	3729 KG (8220 LBS)
350/400/500	5040.2	3786 KG (8330 LBS)
400/500	5042.8	3852 KG (8450 LBS)
350/400	5042.6	3870 KG (7855 LBS)
500	5042.7	3778 KG (8330 LBS)
350/400/500	5042.7	3901 KG (8610 LBS)

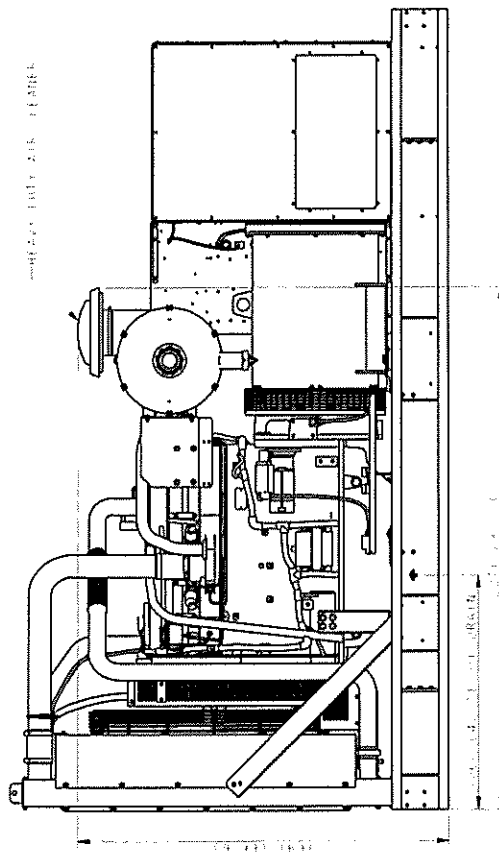
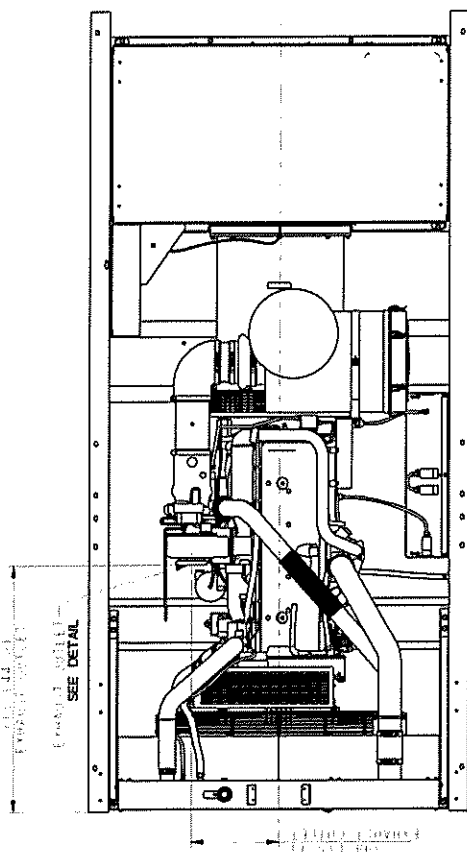
NOTES:
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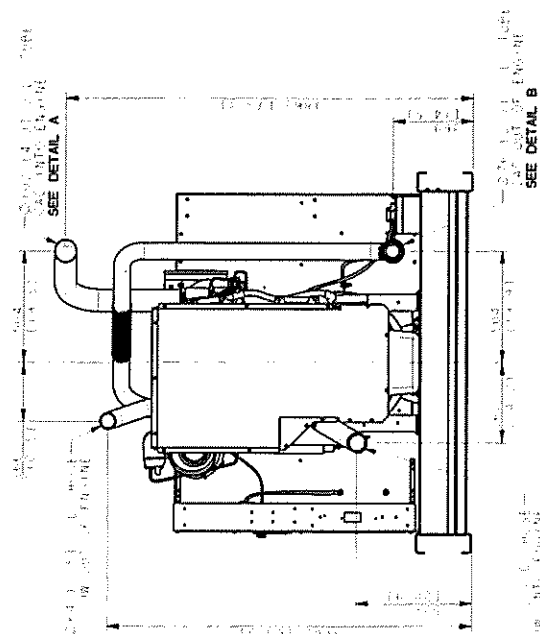
2) IF AN ENCLOSURE IS USED THE FUEL LINE MUST BE STUBBED UP FROM DIRECTLY UNDER THE UNIT. REFER TO ENCLOSURE ADV.

3) IF IBC CERTIFICATION IS REQUIRED SEE SEISMIC ADV FOR INSTALLATION INSTRUCTIONS.

[illegible]

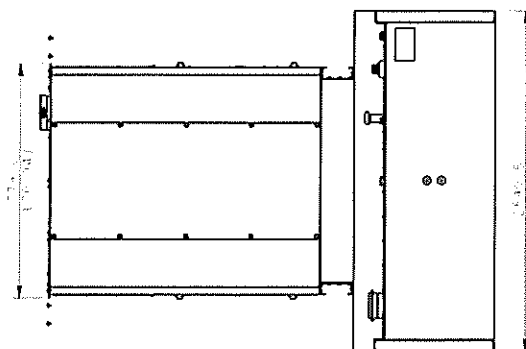
ADV-7916

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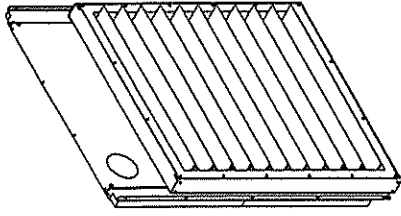


REMOTE RADIATOR

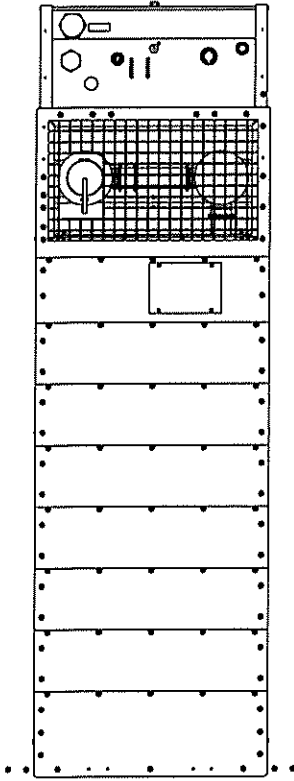
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350-500KW REOZJ
STEEL & ALUMINUM ENCL
SOUND L2



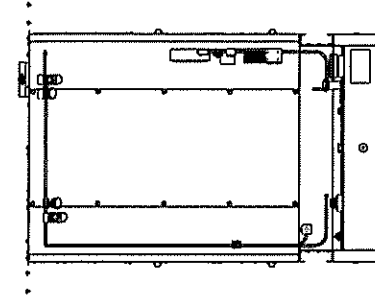
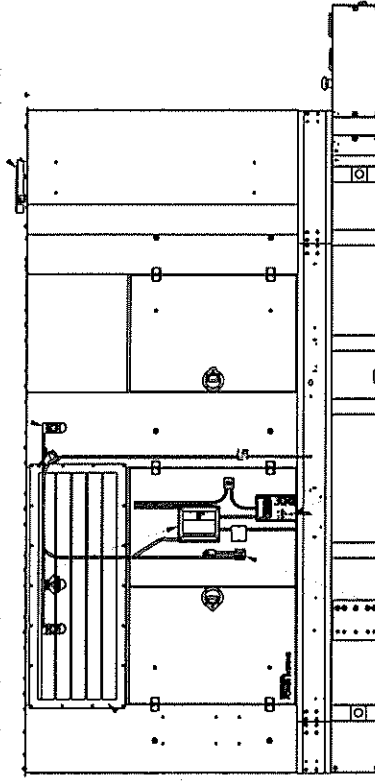
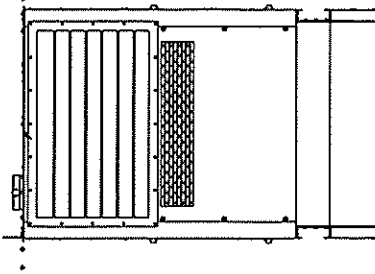
OPTIONAL EXHAUST FAN
MOUNTED ON THE EXHAUST DUCT



EXHAUST FAN
MOUNTED ON THE EXHAUST DUCT

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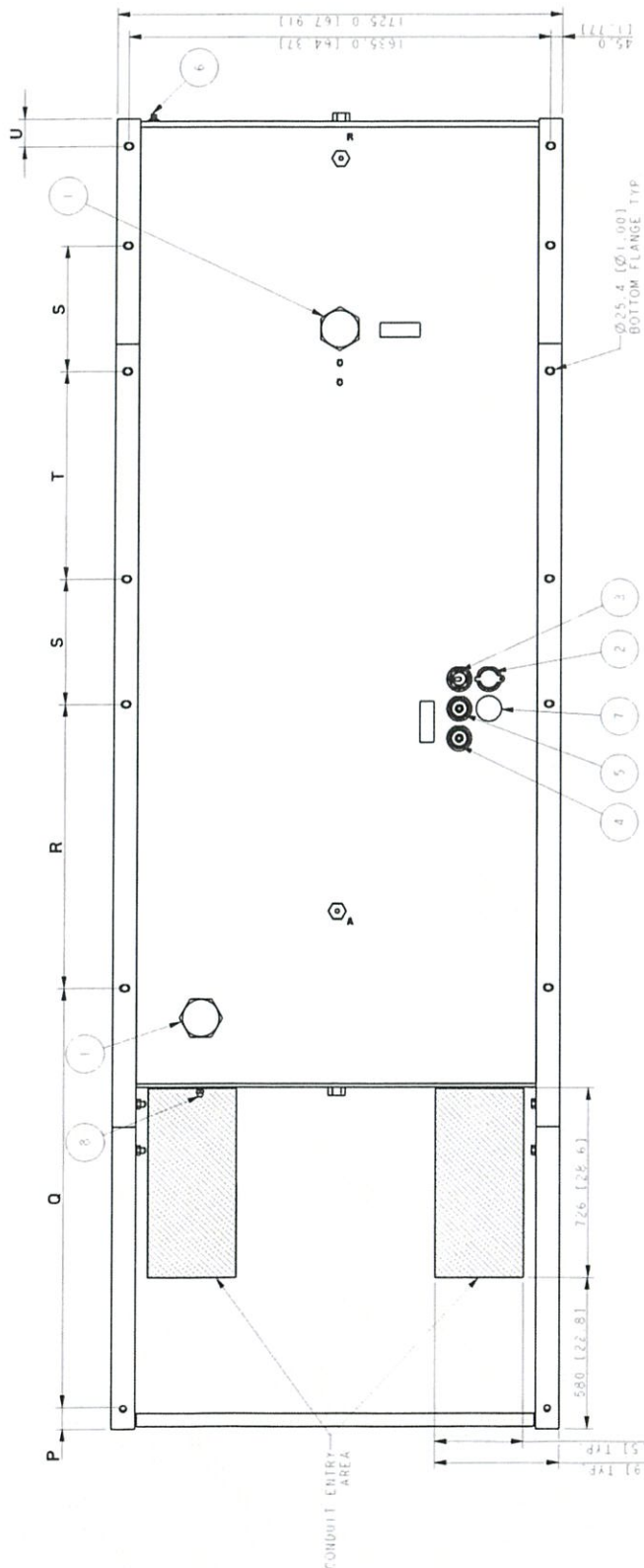
EXHAUST FAN
MOUNTED ON THE EXHAUST DUCT

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ADV-7990

D

STANDARD TANK



1508 1398 GAL 12 HOUR TANK SHOWN

ITEM	DESCRIPTION
8	SWITCH, FUEL IN BASIN
7	VENT, NORMAL
6	DRAIN, 1 1/2" NPT
5	RETURN, FUEL 1 1/2" NPT
4	SUPPLY, FUEL 1 1/2" NPT
3	GAUGE, FUEL LEVEL, W/ SENDER
2	FILL CAP, 2" LOCKABLE W/ PIPE RISER
1	CAP, EMERGENCY VENT

12 - 48 HOUR
150-500 W/ STD TANK
W/ SOUND L2 HOUSE

REV	DATE	ON COMPOSITE PROJ. SEE PART NO. FOR SECTION LEVEL	BY	DESCRIPTION	DATE	REV	DATE	ON COMPOSITE PROJ. SEE PART NO. FOR SECTION LEVEL	BY	DESCRIPTION
1	3-1-11	NEW DRAWING 150447-221	JB	150-500 W/ STD TANK	3-1-11	1	3-1-11	NEW DRAWING 150447-221	JB	150-500 W/ STD TANK
2	8-13-11	12-77-450W RISES FROM GEN'L COLUMN 1514.0	JB	150-500 W/ STD TANK	8-13-11	2	8-13-11	12-77-450W RISES FROM GEN'L COLUMN 1514.0	JB	150-500 W/ STD TANK
3	12-29-11	SEE SHEET 5.8.6 (1514.0) 1511	JB	150-500 W/ STD TANK	12-29-11	3	12-29-11	SEE SHEET 5.8.6 (1514.0) 1511	JB	150-500 W/ STD TANK
4	2-6-13	SEE SHEET 5.8.6 (1514.0) 1511	JB	150-500 W/ STD TANK	2-6-13	4	2-6-13	SEE SHEET 5.8.6 (1514.0) 1511	JB	150-500 W/ STD TANK
5	2-20-13	SEE SHEET 5.8.6 (1514.0) 1511	JB	150-500 W/ STD TANK	2-20-13	5	2-20-13	SEE SHEET 5.8.6 (1514.0) 1511	JB	150-500 W/ STD TANK
6	5-21-13	VIEW'S UPDATED FROM 1511 (1514.0)	JB	150-500 W/ STD TANK	5-21-13	6	5-21-13	VIEW'S UPDATED FROM 1511 (1514.0)	JB	150-500 W/ STD TANK
7	3-3-11		JB	150-500 W/ STD TANK	3-3-11	7	3-3-11		JB	150-500 W/ STD TANK
8	3-3-11		JB	150-500 W/ STD TANK	3-3-11	8	3-3-11		JB	150-500 W/ STD TANK

TANK INFORMATION

LETTERS (GALLONS) MIN. HOURS	GENSETS	P	G	R	S	T	U
150W (150W) 12 HOURS	350-400W						
132W (132W) 12 HOURS	350W						
124W (124W) 12 HOURS	350W						
116W (116W) 12 HOURS	350W						
108W (108W) 12 HOURS	350W						
100W (100W) 12 HOURS	350W						
92W (92W) 12 HOURS	350W						
84W (84W) 12 HOURS	350W						
76W (76W) 12 HOURS	350W						
68W (68W) 12 HOURS	350W						
60W (60W) 12 HOURS	350W						
52W (52W) 12 HOURS	350W						
44W (44W) 12 HOURS	350W						
36W (36W) 12 HOURS	350W						
28W (28W) 12 HOURS	350W						
20W (20W) 12 HOURS	350W						
12W (12W) 12 HOURS	350W						
4W (4W) 12 HOURS	350W						

ADV-7990

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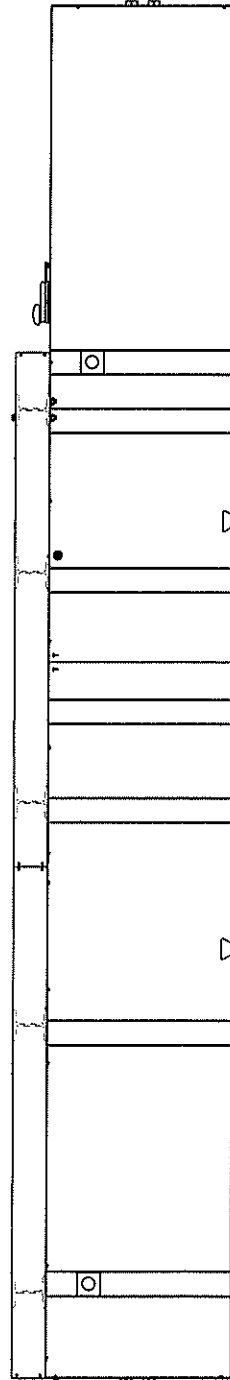
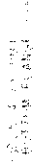
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100

No.	Name	Age	Sex	Religion	Marital Status	Occupation	Education	Income	Assets	Liabilities	Net Worth	Comments	Financial Data	
													Assets	Liabilities
1	John Doe	35	M	Catholic	Married	Teacher	High School	\$12,000	\$50,000	\$10,000	\$40,000		\$50,000	\$10,000
2	Jane Smith	28	F	Protestant	Single	Nurse	College	\$15,000	\$30,000	\$5,000	\$25,000		\$30,000	\$5,000
3	Robert Johnson	45	M	Jewish	Married	Engineer	University	\$18,000	\$60,000	\$15,000	\$45,000		\$60,000	\$15,000
4	Mary White	52	F	Muslim	Widowed	Homemaker	High School	\$8,000	\$20,000	\$2,000	\$18,000		\$20,000	\$2,000
5	David Brown	30	M	Buddhist	Single	Software Developer	College	\$20,000	\$40,000	\$8,000	\$32,000		\$40,000	\$8,000
6	Elizabeth Green	40	F	Hindu	Married	Accountant	University	\$14,000	\$35,000	\$6,000	\$29,000		\$35,000	\$6,000
7	Michael Black	25	M	Sikh	Single	Student	High School	\$5,000	\$10,000	\$1,000	\$9,000		\$10,000	\$1,000
8	Sarah Lee	38	F	Christian	Married	Manager	College	\$16,000	\$45,000	\$7,000	\$38,000		\$45,000	\$7,000
9	James Kim	42	M	Daoist	Married	Doctor	University	\$22,000	\$70,000	\$18,000	\$52,000		\$70,000	\$18,000
10	Patricia Hall	55	F	Orthodox	Widowed	Retired	High School	\$9,000	\$25,000	\$3,000	\$22,000		\$25,000	\$3,000
11	Christopher Young	33	M	Shinto	Single	Artist	College	\$11,000	\$30,000	\$4,000	\$26,000		\$30,000	\$4,000
12	Angela Davis	29	F	Voodoo	Married	Teacher	High School	\$10,000	\$28,000	\$5,000	\$23,000		\$28,000	\$5,000
13	Benjamin Wilson	48	M	Wicca	Married	Engineer	University	\$17,000	\$55,000	\$12,000	\$43,000		\$55,000	\$12,000
14	Victoria Taylor	37	F	Islam	Single	Nurse	College	\$13,000	\$38,000	\$6,000	\$32,000		\$38,000	\$6,000
15	Gregory Scott	50	M	Judaism	Married	Manager	University	\$19,000	\$65,000	\$16,000	\$49,000		\$65,000	\$16,000
16	Michelle Adams	27	F	Christianity	Single	Student	High School	\$6,000	\$15,000	\$2,000	\$13,000		\$15,000	\$2,000
17	Kevin Baker	44	M	Buddhism	Married	Engineer	University	\$16,000	\$50,000	\$11,000	\$39,000		\$50,000	\$11,000
18	Olivia Carter	32	F	Hinduism	Single	Teacher	College	\$12,000	\$32,000	\$5,000	\$27,000		\$32,000	\$5,000
19	Nathan Evans	41	M	Sikhism	Married	Doctor	University	\$21,000	\$68,000	\$17,000	\$51,000		\$68,000	\$17,000
20	Stephanie Foster	36	F	Orthodoxy	Married	Manager	College	\$15,000	\$42,000	\$7,000	\$35,000		\$42,000	\$7,000
21	Jonathan Garcia	26	M	Shintoism	Single	Student	High School	\$7,000	\$18,000	\$2,000	\$16,000		\$18,000	\$2,000
22	Rebecca Hill	43	F	Voodooism	Married	Nurse	College	\$14,000	\$39,000	\$6,000	\$33,000		\$39,000	\$6,000
23	Samuel King	51	M	Wicca	Married	Engineer	University	\$18,000	\$58,000	\$13,000	\$45,000		\$58,000	\$13,000
24	Christina Lopez	31	F	Islam	Single	Teacher	High School	\$11,000	\$31,000	\$4,000	\$27,000		\$31,000	\$4,000
25	Timothy Miller	46	M	Judaism	Married	Manager	University	\$20,000	\$62,000	\$15,000	\$47,000		\$62,000	\$15,000
26	Deborah Moore	28	F	Christianity	Single	Student	High School	\$8,000	\$22,000	\$3,000	\$19,000		\$22,000	\$3,000
27	Eric Parker	39	M	Buddhism	Married	Engineer	University	\$17,000	\$52,000	\$12,000	\$40,000		\$52,000	\$12,000
28	Francesca Reed	34	F	Hinduism	Single	Teacher	College	\$13,000	\$36,000	\$5,000	\$31,000		\$36,000	\$5,000
29	Isaac Turner	47	M	Sikhism	Married	Doctor	University	\$23,000	\$72,000	\$19,000	\$53,000		\$72,000	\$19,000
30	Julia Walker	35	F	Orthodoxy	Married	Manager	College	\$16,000	\$44,000	\$8,000	\$36,000		\$44,000	\$8,000
31	Kyle Young	29	M	Shintoism	Single	Student	High School	\$9,000	\$24,000	\$3,000	\$21,000		\$24,000	\$3,000
32	Laura Zane	40	F	Voodooism	Married	Nurse	College	\$15,000	\$40,000	\$7,000	\$33,000		\$40,000	\$7,000
33	Matthew Bell	53	M	Wicca	Married	Engineer	University	\$19,000	\$60,000	\$14,000	\$46,000		\$60,000	\$14,000

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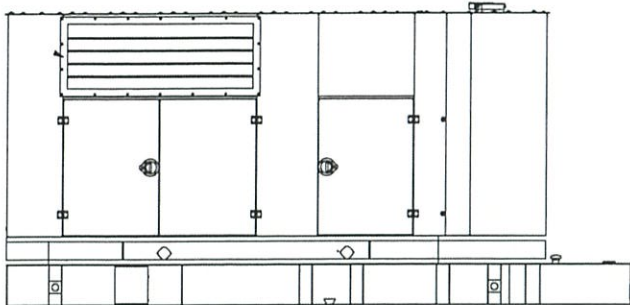
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1. 1990年1月1日以前に作成されたもの
 2. 1990年1月1日以後に作成されたもの

Year	1971	1972	1973	1974	1975	1976	1977	1978	1979	1980	1981	1982	1983	1984	1985	1986	1987	1988	1989	1990	1991	1992	1993	1994	1995	1996	1997	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	2100
1971	1972	1973	1974	1975	1976	1977	1978	1979	1980	1981	1982	1983	1984	1985	1986	1987	1988	1989	1990	1991	1992	1993	1994	1995	1996	1997	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	2100	



All Generator Set, Enclosure, and Fuel Tank Options are UL 2200 Certified.



**Applicable to the following:
350-500REOZJ**

Weather Enclosure Standard Features

- Internal silencer, flexible exhaust connector and rain cap.
- Mounts to generator set skid. Aluminum or steel construction with hinged and removable doors.
- Fade-, scratch-, and corrosion-resistant Kohler® Power Armor™ cream beige automotive-grade textured finish.
- Enclosure has six large access doors which allow for easy maintenance.
- Lockable, flush-mounted door latches.
- Air inlet louvers reduce rain entry.
- High wind bracing, 241 kph (150 mph).

Sound Enclosures Standard Features

- Includes all of the weather enclosure features with the addition of acoustic insulation material.
- Internal vertical discharge plenum directs air up to reduce noise.
- Acoustic insulation that meets UL 94 HF1 flammability classification.
- Sound enclosure offering level 1 or level 2 sound reduction using acoustic insulation. See specification at the back of this document for sound pressure dB(A) at 7 m (23 ft.).

Subbase Fuel Tank Features

- The fuel tank has a Power Armor Plus™ textured epoxy-based rubberized coating.
- The above-ground rectangular secondary containment tank mounts directly to the generator set, below the generator set skid (subbase).
- Both the inner and outer tanks have emergency relief vents.
- Flexible fuel lines are provided with subbase fuel tank selection. Stainless steel fuel lines are an available option.
- The secondary containment tank's construction protects against fuel leaks or ruptures. The inner (primary) tank is sealed inside the outer (secondary) tank. The outer tank contains the fuel if the inner tank leaks or ruptures.
- State tanks with varying capacities are an available option.

Enclosure and Subbase Fuel Tank Combinations

There are three enclosure configurations available with the subbase fuel tanks.

Weather Enclosure with Internal Silencer

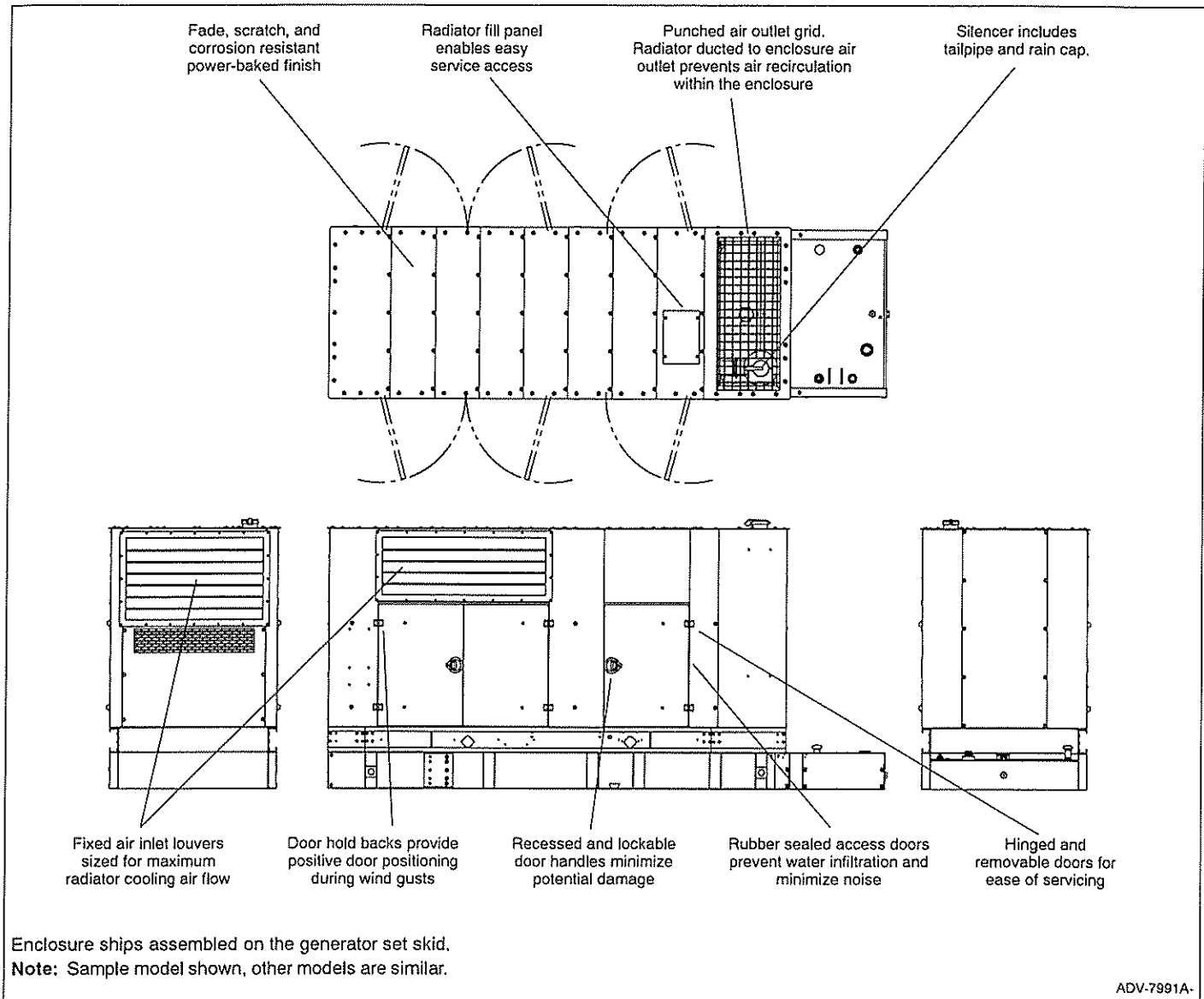
Sound Enclosure Level 1 with Internal Silencer

Sound Enclosure Level 2 with Internal Dual Silencers
(connected in series)

Available Approvals and Listings

- ☐ UL 2200 Listing
- ☐ CSA Approval
- ☐ IBC Seismic Certification
- ☐ California OSHPD Approval
- ☐ cUL Listing (fuel tanks only)

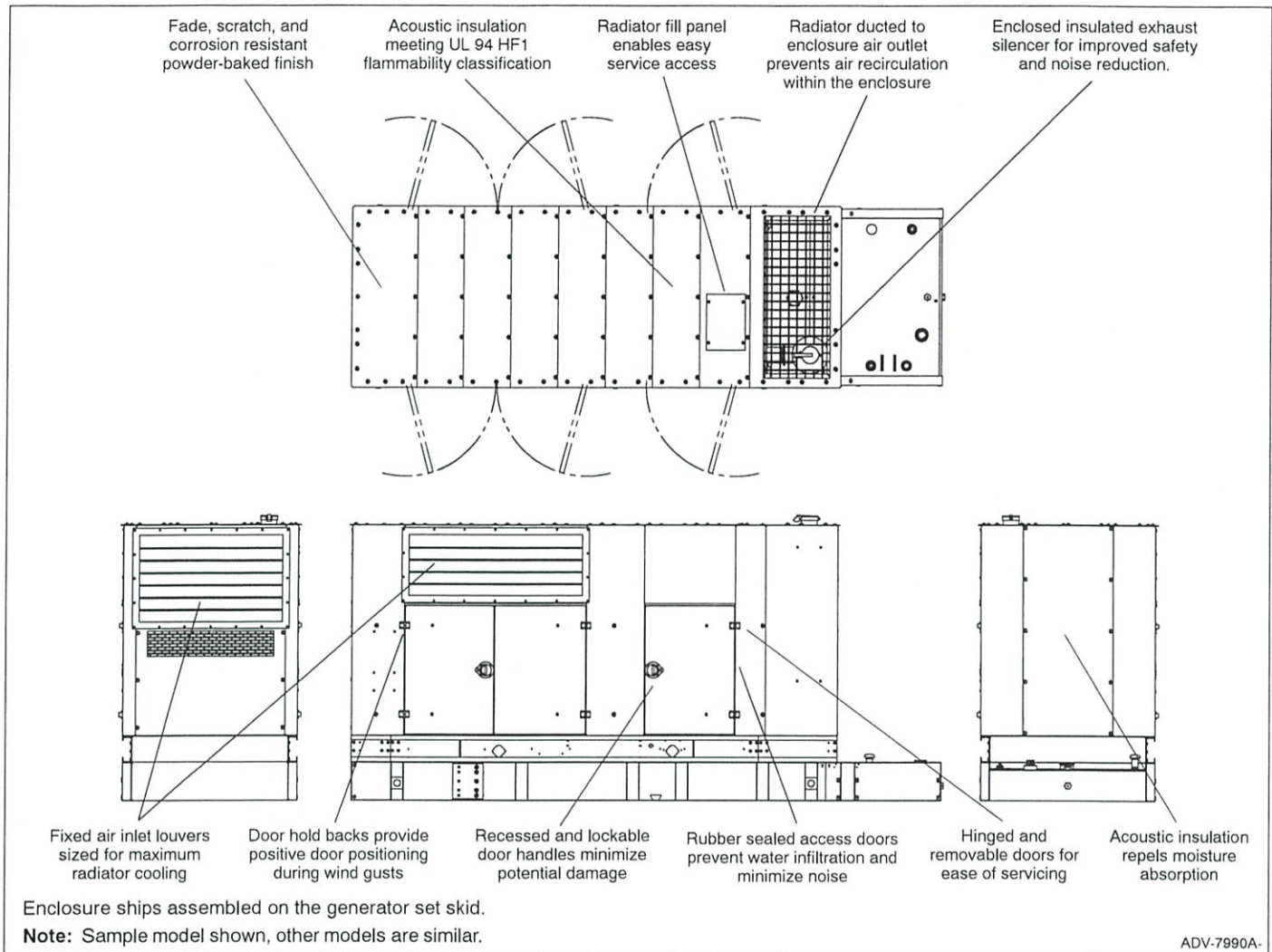
Weather Enclosure



Weather Enclosure Features

- Heavy-duty formed panels, solid construction. Preassembled package offering corrosion resistant, dent resilient structure mounting directly to the generator set skid. Available in 3 mm (0.125 in.) aluminum or 14 gauge steel.
- Power Armor™ automotive-grade finish resulting in advanced corrosion and abrasion protection as well as enhanced edge coverage and color retention.
- Internal exhaust silencer. Offers maximum component life, operator safety, and includes rain shield and cap.
NOTE: Installing an additional length of exhaust tail pipe may increase backpressure levels. Please refer to the generator set spec sheet for the maximum backpressure value.
- Service access. Multi-personnel doors for easy access to generator set control and servicing of the fuel fill, fuel gauge, oil fill, and battery.
- Interchangeable modular panel construction allows design flexibility without compromising building standards.
- Bolted panels facilitate service, future modification upgrades, or field replacement.
- Cooling/combustion air intake. Weather protective designs using fixed air inlet louvers. Sized for maximum cooling airflow.
- Cooling air discharge. Weather protective design featuring vertical air discharge. Exhausts air through a punched air outlet grille.

Level 1 and Level 2 Sound Enclosure



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Level 1 and Level 2 Sound Enclosure Features

- Heavy-duty formed panels, solid construction. Pre-assembled package offering corrosion resistant, dent resilient structure mounting directly to the generator set skid. Available in 3 mm (0.125 in.) aluminum or 14 gauge steel.
- Power Armor™ automotive-grade finish resulting in advanced corrosion and abrasion protection as well as enhanced edge coverage and color retention.
- Internal exhaust silencer offering maximum component life and operator safety.
- Bolted panels facilitate service, future modification upgrades, or field replacement.
- Cooling/combustion air intake. Weather protective designs using fixed air inlet louvers. Sized for maximum cooling airflow.
- Cooling air discharge. Attenuated models offering an internal vertical discharge scoop that redirects cooling air up and above the enclosure to reduce noise.

NOTE: Installing an additional length of exhaust tail pipe may increase backpressure levels. Please refer to the generator set spec sheet for the maximum backpressure value.

- Service access. Multi-personnel doors for easy access to generator set control and servicing of the fuel fill, fuel gauge, oil fill, and battery.
- Interchangeable modular panel construction. Allows complete serviceability or replacement without compromising enclosure design.

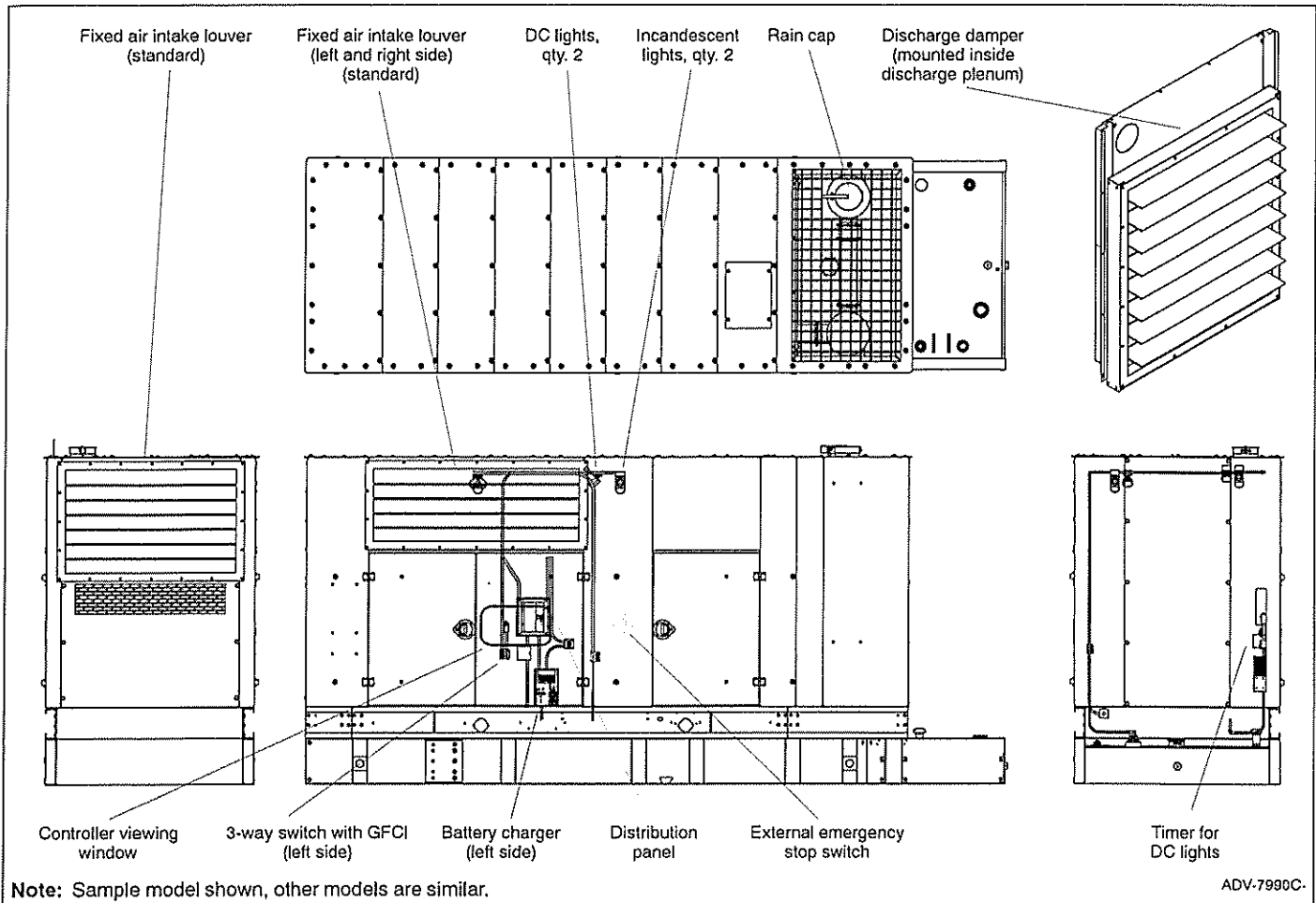
Level 1 Sound Enclosure Features

- Attenuated design using a silencer and acoustic insulation UL 94 HF1 listed for flame resistance.

Level 2 Sound Enclosure Features

- Attenuated design using dual silencers connected in series and acoustic insulation UL 94 HF1 listed for flame resistance.

Weather and Sound Enclosure Options



Enclosure Material

- ☐ Aluminum Enclosure
- ☐ Steel Enclosure

Enclosure Silencer Options

- ☐ Internal Silencer, weather enclosure
- ☐ Internal Silencer, sound enclosure, level 1
- ☐ Internal Silencer, sound enclosure, level 2

Basic Electrical Package (BEP)

- ☐ **Distribution Panel/Load Center.** Prewired AC power distribution of all factory-installed features including two GFCI-protected internal 120-volt service receptacles, two AC incandescent lights, and commercial grade wall switch. The single-phase load center powered by building source power and protected by a main circuit breaker, rated for 100 amps with capacity and circuit positions for future expansion. AC power distribution installed in accordance with NEC and all wiring within EMT thin wall conduit. Incandescent AC lights located within UL-listed fixtures designed for wet locations.

DC Light Package

- ☐ **DC Light Package (DLP).** Prewired qty. 2, internal DC light package offering an economical alternative light source within the enclosure, as a complement to the BEP or a source of light when AC power is not available. Battery drain limited with fuse protection and controlled through a 0-60 minute, spring-wound, no-hold timer.

Miscellaneous Enclosure Options

Controller Viewing Window. Control panel viewing window.

- ☐ Aluminum construction
- ☐ Steel construction

- ☐ **Skid Extensions.** Steel construction (for aluminum or steel enclosures)

- ☐ **Gravity Discharge.** Aluminum construction (for aluminum or steel enclosures)

- ☐ **Battery Charger, Mounted.** Mounting and prewiring of DC output and AC input when optional BEP is selected. Battery charger located inside the enclosure and accessible through an access door.

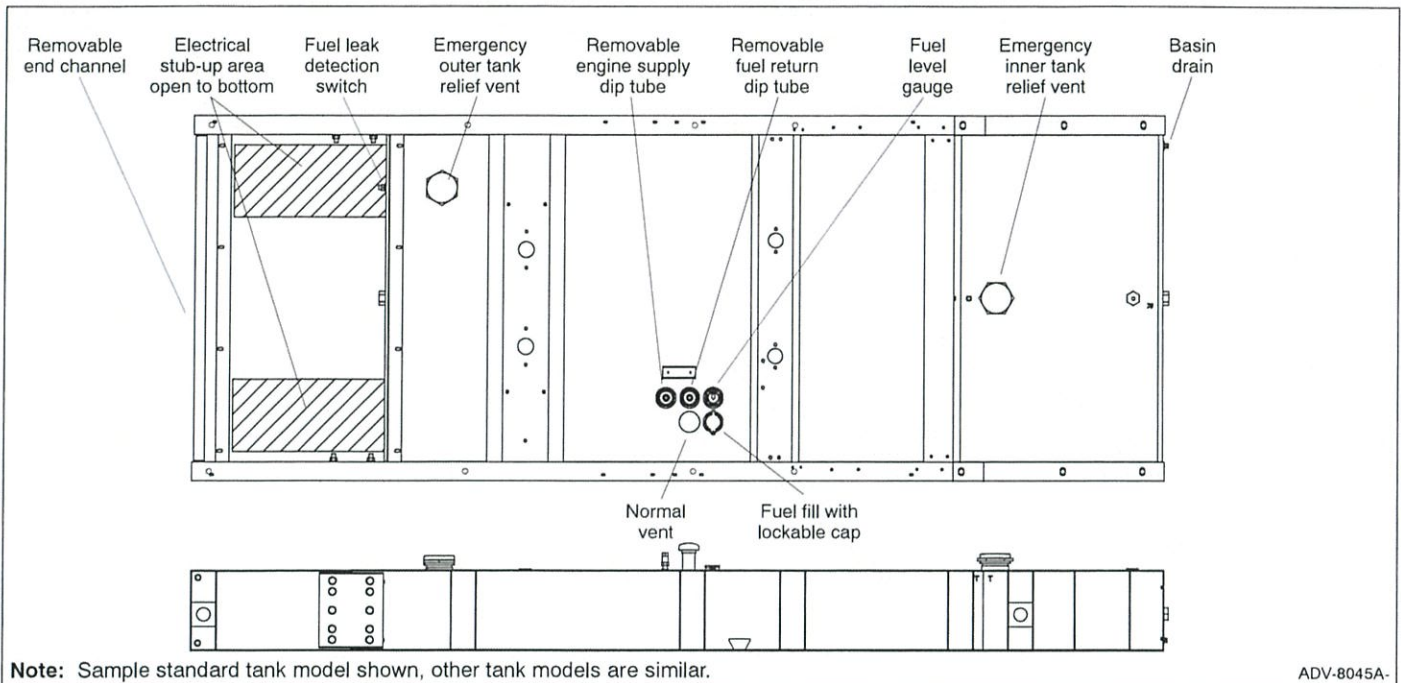
- ☐ **Battery Charger with Alarms.** Mounted and wired.

Block Heater Wiring. Prewiring of AC input when optional BEP is selected.

- ☐ Heater available in single phase 90-120 VAC
- ☐ Heater available in single phase 208-240 VAC

- ☐ **Remote Emergency Stop Switch.** Externally mounted, recessed emergency stop switch.

Subbase Fuel Tank



Standard Subbase Fuel Tank Features

- Extended operation. Optional tank capacities for multiple hour requirements.
- Power Armor Plus™ textured epoxy-based rubberized coating that creates an ultra-thick barrier between the tank and harsh environmental conditions like humidity, saltwater, and extreme temperatures, and provides advanced corrosion and abrasion protection.
- UL listed. Secondary containment generator set base tank meeting UL 142 requirements.
- NFPA compliant. Designed to comply with the installation standards of NFPA 30 and NFPA 37.
- Integral external lift lugs. Enables crane with spreader-bar lifting of the complete package (empty tank, mounted generator set, and enclosure) to ensure safety.
- Emergency pressure relief vents. Vents ensure adequate venting of inner and outer tank under extreme pressure and/or emergency conditions.
- Normal vent with cap. Vent is raised above lockable fuel fill.
- Fuel level sender with fuel level and low and high fuel warning annunciated through the generator set controller.
- Leak detection switch. Annunciates a contained primary tank fuel leak condition at generator set control.
- Electrical stub-up area.

State Subbase Fuel Tank Options

Bottom Clearance/Coating

- ☐ I-beams, provides 106 mm (4.2 in.) of ground clearance

Fuel in Basin Options

- ☐ Fuel in basin switch, Florida Dept. of Environmental Protection (FDEP) File No. EQ-456 approved

Fuel Fill Options

- ☐ Fill pipe extension to within 152 mm (6 in.) of bottom of fuel tank
- ☐ 18.9 L (5 gallon) spill containment with 95% shutoff

- ☐ 18.9 L (5 gallon) spill containment
- ☐ 18.9 L (5 gallon) spill containment fill to within 152 mm (6 in.) of bottom of fuel tank
- ☐ 28.4 L (7.5 gallon) spill containment, Florida Dept. of Environmental Protection (FDEP) File No. EQ-567 approved
- ☐ 28.4 L (7.5 gallon) spill containment with 95% shutoff, Florida Dept. of Environmental Protection (FDEP) File No. EQ-567 approved

Fuel Supply Options

- ☐ Fire safety valve (installed on fuel supply line)
- ☐ Ball valve (installed on fuel supply line)

High Fuel Level Switch

- ☐ High fuel level switch, Florida Dept. of Environmental Protection (FDEP) File No. EQ-456 approved
- ☐ Three-alarm fuel tank panel
- ☐ Three-alarm fuel tank panel, Florida Dept. of Environmental Protection (FDEP) File No. EQ-456 approved

Normal Vent Options

- ☐ 3.7 m (12 ft.) above grade (without spill containment)
- ☐ 3.7 m (12 ft.) above grade (with spill containment)

Tank Marking Options

- ☐ Decal, Combustible Liquids - Keep Fire Away (qty. 2)
- ☐ Decal, NFPA 704 identification (qty. 2)
- ☐ Decal, tank number and safe fuel fill height (qty. 2)
- ☐ Decal, tank number and safe fuel fill height, NFPA 704 identification

Freestanding Stairs

- ☐ Stairs only
- ☐ Stairs with platform
- ☐ Stairs with catwalk

Fuel Tank Capacity, L (gal.)	Est. Fuel Supply Hours at 60 Hz with Full Load	350REOZJ					Fuel Tank Height, mm (in.)	Sound Pressure with Full Load at 7 m (23 ft.), dB(A)
		Max. Dimensions, mm (in.)			Max. Weight, kg (lb.) *			
		Length	Width	Height	With Steel Enclosure	With Aluminum Enclosure		

Weather Enclosure and Standard Subbase Fuel Tank

No Tank	0	4801 (189)	1779 (70)	2423 (95)	5077 (11193)	4524 (9974)	0 (0)	92
1508 (398)	12	5030 (198)		2804 (110)	6147 (13635)	5594 (12416)	381 (15)	
2905 (767)	24			3083 (121)	6450 (14221)	5897 (13002)	660 (26)	
4298 (1135)	36			3337 (131)	6697 (14764)	6144 (13545)	914 (36)	
4975 (1314)	48	5627 (222)			6904 (15222)	6351 (14003)		

Weather Enclosure and State Subbase Fuel Tank

1532 (404)	12	5830 (230)	1779 (70)	2804 (110)	6303 (13896)	5750 (12677)	381 (15)	92
2930 (774)	24			3007 (118)	6579 (14504)	6026 (13285)	584 (23)	
4395 (1161)	36			3083 (121)	7103 (15659)	6550 (14440)	660 (26)	
5046 (1333)	48			3134 (123)	7187 (15845)	6634 (14626)	711 (28)	
10009 (2644)	72	6731 (265)	2591 (102)	3499 (138)	8576 (18906)	8023 (17687)	914 (36)	

Sound Enclosure (Level 1) and Standard Subbase Fuel Tank

No Tank	0	4801 (189)	1779 (70)	2423 (95)	5113 (11273)	4561 (10054)	0 (0)	81
1508 (398)	12	5030 (198)		2804 (110)	6183 (13715)	5631 (12496)	381 (15)	
2905 (767)	24			3083 (121)	6486 (14301)	5934 (13082)	660 (26)	
4298 (1135)	36			3337 (131)	6733 (14844)	6181 (13625)	914 (36)	
4975 (1314)	48	5627 (222)			6940 (15302)	6388 (14083)		

Sound Enclosure (Level 1) and State Subbase Fuel Tank

1532 (404)	12	5830 (230)	1779 (70)	2804 (110)	6339 (13976)	5787 (12757)	381 (15)	81
2930 (774)	24			3007 (118)	6615 (14584)	6063 (13365)	584 (23)	
4395 (1161)	36			3083 (121)	7139 (15739)	6587 (14520)	660 (26)	
5046 (1333)	48			3134 (123)	7223 (15925)	6671 (14706)	711 (28)	
10009 (2644)	72	6731 (265)	2591 (102)	3499 (138)	8612 (18986)	8060 (17767)	914 (36)	

Sound Enclosure (Level 2) and Standard Subbase Fuel Tank

No Tank	0	5029 (198)	1779 (70)	2423 (95)	5227 (11523)	4669 (10294)	0 (0)	74
1508 (398)	12	5030 (198)		2804 (110)	6297 (13965)	5739 (12736)	381 (15)	
2905 (767)	24			3083 (121)	6600 (14551)	6042 (13322)	660 (26)	
4298 (1135)	36			3337 (131)	6847 (15094)	6289 (13865)	914 (36)	
4975 (1314)	48	5627 (222)			7054 (15552)	6496 (14323)		

Sound Enclosure (Level 2) and State Subbase Fuel Tank

1532 (404)	12	5830 (230)	1779 (70)	2804 (110)	6453 (14226)	5895 (12997)	381 (15)	74
2930 (774)	24			3007 (118)	6729 (14834)	6171 (13605)	584 (23)	
4395 (1161)	36			3083 (121)	7253 (15989)	6695 (14760)	660 (26)	
5046 (1333)	48			3134 (123)	7337 (16175)	6779 (14946)	711 (28)	
10009 (2644)	72	6731 (265)	2591 (102)	3499 (138)	8726 (19236)	8168 (18007)	914 (36)	

Note: Data in table is for reference only, refer to the respective ADV drawings for details.

Note: Refer to TIB-114 for generator set sound data.

* Max. weight includes the generator set (wet) with largest alternator option, enclosure, silencer, and tank (no fuel).

Fuel Tank Capacity, L (gal.)	Est. Fuel Supply Hours at 60 Hz with Full Load	400REOZJ					Fuel Tank Height, mm (in.)	Sound Pressure with Full Load at 7 m (23 ft.), dB(A)
		Max. Dimensions, mm (in.)			Max. Weight, kg (lb.) *			
		Length	Width	Height	With Steel Enclosure	With Aluminum Enclosure		

Weather Enclosure and Standard Subbase Fuel Tank

No Tank	0	4801 (189)	1779 (70)	2423 (95)	5077 (11193)	4524 (9974)	0 (0)	92
1508 (398)	12	5030 (198)		2804 (110)	6147 (13635)	5594 (12416)	381 (15)	
2905 (767)	24			3083 (121)	6450 (14221)	5897 (13002)	660 (26)	
4298 (1135)	36			3337 (131)	6697 (14764)	6144 (13545)	914 (36)	
5767 (1523)	48	6237 (246)			7081 (15612)	6528 (14393)		

Weather Enclosure and State Subbase Fuel Tank

1532 (404)	12	5830 (230)	1779 (70)	2804 (110)	6303 (13896)	5750 (12677)	381 (15)	92
2930 (774)	24			3007 (118)	6579 (14504)	6026 (13285)	584 (23)	
4395 (1161)	36			3083 (121)	7103 (15659)	6550 (14440)	660 (26)	
5767 (1523)	48	7634 (301)		3236 (127)	7303 (16104)	6750 (14885)	813 (32)	
10009 (2644)	72	6731 (265)	2591 (102)	3499 (138)	8576 (18906)	8023 (17687)	914 (36)	

Sound Enclosure (Level 1) and Standard Subbase Fuel Tank

No Tank	0	4801 (189)	1779 (70)	2423 (95)	5113 (11273)	4561 (10054)	0 (0)	82
1508 (398)	12	5030 (198)		2804 (110)	6183 (13715)	5631 (12496)	381 (15)	
2905 (767)	24			3083 (121)	6486 (14301)	5934 (13082)	660 (26)	
4298 (1135)	36			3337 (131)	6733 (14844)	6181 (13625)	914 (36)	
5767 (1523)	48	6237 (246)			7117 (15692)	6565 (14473)		

Sound Enclosure (Level 1) and State Subbase Fuel Tank

1532 (404)	12	5830 (230)	1779 (70)	2804 (110)	6339 (13976)	5787 (12757)	381 (15)	82
2930 (774)	24			3007 (118)	6615 (14584)	6063 (13365)	584 (23)	
4395 (1161)	36			3083 (121)	7139 (15739)	6587 (14520)	660 (26)	
5767 (1523)	48	7634 (301)		3236 (127)	7339 (16184)	6787 (14965)	813 (32)	
10009 (2644)	72	6731 (265)	2591 (102)	3499 (138)	8612 (18986)	8060 (17767)	914 (36)	

Sound Enclosure (Level 2) and Standard Subbase Fuel Tank

No Tank	0	5029 (198)	1779 (70)	2423 (95)	5227 (11523)	4669 (10294)	0 (0)	75
1508 (398)	12	5030 (198)		2804 (110)	6297 (13965)	5739 (12736)	381 (15)	
2905 (767)	24			3083 (121)	6600 (14551)	6042 (13322)	660 (26)	
4298 (1135)	36			3337 (131)	6847 (15094)	6289 (13865)	914 (36)	
5767 (1523)	48	6237 (246)			7231 (15942)	6673 (14713)		

Sound Enclosure (Level 2) and State Subbase Fuel Tank

1532 (404)	12	5830 (230)	1779 (70)	2804 (110)	6453 (14226)	5895 (12997)	381 (15)	75
2930 (774)	24			3007 (118)	6729 (14834)	6171 (13605)	584 (23)	
4395 (1161)	36			3083 (121)	7253 (15989)	6695 (14760)	660 (26)	
5767 (1523)	48	7634 (301)		3236 (127)	7453 (16434)	6895 (15205)	813 (32)	
10009 (2644)	72	6731 (265)	2591 (102)	3499 (138)	8726 (19236)	8168 (18007)	914 (36)	

Note: Data in table is for reference only, refer to the respective ADV drawings for details.

Note: Refer to TIB-114 for generator set sound data.

* Max. weight includes the generator set (wet) with largest alternator option, enclosure, silencer, and tank (no fuel).

Fuel Tank Capacity, L (gal.)	Est. Fuel Supply Hours at 60 Hz with Full Load	500REOZJ					Fuel Tank Height, mm (in.)	Sound Pressure with Full Load at 7 m (23 ft.), dB(A)
		Max. Dimensions, mm (in.)			Max. Weight, kg (lb.) *			
		Length	Width	Height	With Steel Enclosure	With Aluminum Enclosure		

Weather Enclosure and Standard Subbase Fuel Tank

No Tank	0	4801 (189)	1779 (70)	2423 (95)	5077 (11193)	4524 (9974)	0 (0)	92
1734 (458)	12	5030 (198)		2855 (112)	6231 (13736)	5678 (12517)	432 (17)	
3347 (884)	24			3210 (126)	6554 (14450)	6001 (13231)	787 (31)	
5767 (1523)	36			3337 (131)	7081 (15612)	6529 (14393)	914 (36)	
6659 (1759)	48				7323 (16144)	6770 (14925)		

Weather Enclosure and State Subbase Fuel Tank

1771 (468)	12	5830 (230)	1779 (70)	2804 (110)	6378 (14062)	5825 (12843)	381 (15)	92
3385 (894)	24			3083 (121)	6657 (14676)	6104 (13457)	660 (26)	
5767 (1523)	36			3236 (127)	7305 (16104)	6752 (14885)	813 (32)	
6675 (1763)	48				7438 (16397)	6885 (15178)	914 (36)	
10009 (2644)	72	6731 (265)	2591 (102)	3337 (131)	8576 (18906)	8023 (17687)		

Sound Enclosure (Level 1) and Standard Subbase Fuel Tank

No Tank	0	4801 (189)	1779 (70)	2423 (95)	5113 (11273)	4560 (10054)	0 (0)	84
1734 (458)	12	5030 (198)		2855 (112)	6267 (13816)	5714 (12597)	432 (17)	
3347 (884)	24			3210 (126)	6591 (14530)	6038 (13311)	787 (31)	
5767 (1523)	36			3337 (131)	7118 (15692)	6565 (14473)	914 (36)	
6659 (1759)	48	6923 (273)			7359 (16224)	6806 (15005)		

Sound Enclosure (Level 1) and State Subbase Fuel Tank

1771 (468)	12	5830 (230)	1779 (70)	2804 (110)	6415 (14142)	5862 (12923)	381 (15)	84
3385 (894)	24			3083 (121)	6693 (14756)	6140 (13537)	660 (26)	
5767 (1523)	36			3236 (127)	7341 (16184)	6788 (14965)	813 (32)	
6675 (1763)	48			3337 (131)	7474 (16477)	6921 (15258)	914 (36)	
10009 (2644)	72	6731 (265)	2591 (102)		8612 (18986)	8059 (17767)		

Sound Enclosure (Level 2) and Standard Subbase Fuel Tank

No Tank	0	5029 (198)	1779 (70)	2423 (95)	5227 (11523)	4669 (10294)	0 (0)	76
1734 (458)	12	5030 (198)		2855 (112)	6380 (14066)	5823 (12837)	432 (17)	
3347 (884)	24			3210 (126)	6704 (14780)	6147 (13551)	787 (31)	
5767 (1523)	36			3337 (131)	7231 (15942)	6674 (14713)	914 (36)	
6659 (1759)	48	6923 (273)			7472 (16474)	6915 (15245)		

Sound Enclosure (Level 2) and State Subbase Fuel Tank

1771 (468)	12	5830 (230)	1779 (70)	2894 (110)	6528 (14392)	5971 (13163)	381 (15)	76	
3385 (894)	24			3083 (121)	6807 (15006)	6249 (13777)	660 (26)		
5767 (1523)	36			7634 (301)	3236 (127)	7454 (16434)	6897 (15205)		813 (32)
6675 (1763)	48				3337 (131)	7587 (16727)	7030 (15498)		914 (36)
10009 (2644)	72	6731 (265)	2591 (102)	8725 (19236)		8168 (18007)			

Note: Data in table is for reference only, refer to the respective ADV drawings for details.

Note: Refer to TIB-114 for generator set sound data.

* Max. weight includes the generator set (wet) with largest alternator option, enclosure, silencer, and tank (no fuel).

DISTRIBUTED BY:

Availability is subject to change without notice. Kohler Co. reserves the right to change the design or specifications without notice and without any obligation or liability whatsoever. Contact your local Kohler® generator set distributor for availability.

March 21, 2023



One Charles River Place
63 Kendrick Street
Needham, MA 02494

781.707.9000 TEL

781.707.9299 FAX

Town of Needham Planning Board
Attn: Lee Newman, Planning Director
500 Dedham Avenue
Needham, MA 02492

RE: Major Project Site Plan Special Permit No. 93-3
589 Highland Ave- Wingate Development LLC

Dear Planning Board Members,

In response to a question(s) regarding actual construction, limits and trash removal, Wingate offers the following:

- 1) All construction staging shall be on site. All construction parking will be available on site. There will be no need for off-site parking. As the Board is aware, there are currently 98 parking spaces on site, and there will be 81 on-site parking spaces even after the proposed conversion of 17 spaces to landscaped space. This will be more than enough for construction equipment, parking and unloading of delivery vehicles, and parking vehicles for Wingate staff and contractor personnel.
- 2) The hours of construction shall be between 7:00 am and 5:00 pm Monday through Saturday, consistent with the Town of Needham Bylaws.
- 3) Wingate Development and the General Contractor shall designate a person who will be responsible for the construction process. That person will be identified to the Needham Police Department, the Department of Public Works and the Building Inspector and shall be contacted if a problem(s) arises during construction. The person responsible shall also ensure that truck traffic and the delivery of construction materials does not interfere with or disrupt traffic flow on Highland Ave and Gould St.
- 4) A construction staging and management plan will be submitted to the Police Chief and Building Inspector for their review and approval as part of the building permit application.

Once the building is occupied all deliveries and trash/dumpster pick up shall occur only between the hours of 8:00 am and 6:00 pm Monday through Saturday. No trash/dumpster pickup shall occur on Sundays or Holidays. The trash/dumpster will be picked up a minimum of 2 times per week. The dumpster will be screened with a



REAL ESTATE DEVELOPMENT
CONSTRUCTION MANAGEMENT

wooden fence to conceal the dumpster. The trash/dumpster shall be emptied, cleaned and maintained to meet the Needham Board of Health Standards.

Should you have any questions, please feel free to call our office.

Sincerely,

A handwritten signature in black ink, appearing to read 'David Feldman', with a long horizontal flourish extending to the right.

David Feldman

Senior Vice President of Real Estate and Development

CC Ms. Alexandra Clee

Assistant Town Planner



TOWN OF NEEDHAM

**TOWN HALL
1471 Highland Avenue
Needham, MA 02492-2669**

Design Review Board

February 28, 2023
Amended April 10, 2023

Memo: Amended Site Plan Review, 589 Highland Avenue, Wingate at Needham

The Board reviewed the documents for site modifications and the addition of a third floor on the existing building.

The applicant described the changes being proposed to the project. The existing 2 story building is a red and yellow brick structure. It has projected sections with gable roof structures on those sections. They will be painting the yellow brick grey. Existing windows will be replaced with black vinyl windows, which will also be used in the addition. A new third floor will be added. It is finished with a mix of Hardiplank clapboards and Hardiboard paneling with aluminum channels at panel joints. The third floor area is smaller than the second floor and is inset from the lower floors along Gould Street. The addition volumes vary in height, with the paneled sections slightly taller than the clapboard areas. There are large double hung windows with transoms. Accent railings are installed on some windows creating "Juliette" balconies, those windows are slightly larger.

The DRB thinks it is a well-designed addition and develops a more contemporary aesthetic to the building. The materials chosen are used well and work well with the existing brick walls below. The varied heights on the third floor walls complement the existing buildings massing elements. Most of the existing gable roof sections are removed. There are two that remain. The Board suggested reducing the size of the gable on the parking lot side to allow more distance to the windows on the unit behind the gable.

There was an illustration showing some rooftop mechanical systems. The applicant stated that they do not know at this time the exact quantity and location of the equipment. They plan to locate any equipment closer to the parking lot side, away from Highland and Gould views. There was a discussion of screening, which would be beneficial depending on the equipment size and quantity, but the Board did not consider it needed to be a requirement given the description by the applicant.

The proposal removes paved areas of the parking lot and creates a more developed outdoor amenity in a recessed concrete plaza on the parking side of the building. Existing parking adjacent to that area is being removed and the area will be converted to a grass area. Additional shade trees will be added to this area. The existing loading dock will be filled in and additional lawn area and shade and flowering trees installed, as well as shrubs along the building. The Board believe these to be strong improvements.

The existing circular drive on the corner of Highland and Gould will be removed and a landscape amenity installed, with plantings, paving, wall/bench, and pergola will be installed. Planting beds will be extended out beyond the existing sign. They are removing some grass area and replacing it with the planting beds. The Board approves of these upgrades to a very visible corner. They suggested that the applicant extend the planting beds at the corner and replace more of the grass if feasible.

In general, the Board approved the plant list proposed, but did discuss whether more native New England plants might be included. The applicant will review the issue. In addition, the Board suggested, in lawn areas not really used for activity, that ground covers and planting beds be installed in order to conserve water.

Overall, the Board strongly approves of the building addition and landscape plan improvements to Wingate Needham.

End of notes

April 10, 2023

The applicant submitted revised drawings which were reviewed by the Board's landscape design member. The addition of more native species is an improvement to the planting list. As noted in our original memo, expansion of planting beds instead of lawn areas can save water and maintenance in the long run. The Board suggests an alternative grass seed mix which contains more native species, Northeast Native Grass seed mixture is an appropriate seed mix where lawn areas are being maintained.

From: [Tara Gurge](#)
To: [Alexandra Clee](#); [Elisa Litchman](#); [Lee Newman](#)
Subject: FW: Request for comment - Wingate Amndmnt *additional/revised materials*
Date: Wednesday, April 19, 2023 11:24:51 AM
Attachments: [LTR TO LEE NEWMAN & PLANNING BOARD 4-5-23.pdf](#)
[Wingate Needham - TAT Renderings 03-30-2023.pdf](#)
[Wingate - TAT Overall Floor Plans - 04-04-2023.pdf](#)
[Wingate Planning Board Letter Re Construction Control.pdf](#)
[Wingate Planning Board Letter Re Generator.pdf](#)
[Wingate - Kelly Engineering letter to Ryder with attachments.pdf](#)
[image002.png](#)
[image003.png](#)

Hello Alex, Elisa, Lee—

Here are the Public Health Division comments for the proposed amendments at Wingate in Needham. See below:

- Any additional retail/food establishments proposed in the new layout plan for the addition of this third floor would need an online Food Establishment Permit Plan Review application completed, along with proposed food establishment design plans, which will need to be submitted and reviewed and approved by the Public Health Division prior to start of construction. Here is the direct link to the online Food Establishment Permit Plan Review application - <https://needhamma.viewpointcloud.com/categories/1073/record-types/1006516> .
- Any changes on site to the existing permitted kitchen/food service area, including an increase in the number of seats, must be approved by the Public Health Division, via the above-mentioned food permit plan review process.
- Please keep in mind, if a food establishment plan review is approved for a newly proposed food establishment, as part of this new third floor addition, sufficient space must be made available in the parking lot for a shared solid waste (trash) dumpster and a separate recycling dumpster, to accommodate a new food establishment, along with waste oil/grease containment (if applicable.) These dumpsters must be placed in an easily accessible area outside the facility, preferably close to the kitchen/food service area, if possible.
- In reference to the newly proposed rooftop diesel generator, please ensure that proper noise buffering materials/enclosure are installed to ensure that this new generator does not cause a public health nuisance concern with any excessive noise or odor concerns when the generator is running.

Please let us know if you need additional information or have any follow-up questions on those requirements.

Thanks,



TARA E. GURGE, R.S., C.E.H.T., M.S. (she/her/hers)
ASSISTANT PUBLIC HEALTH DIRECTOR
Needham Public Health Division
Health and Human Services Department
178 Rosemary Street

From: [John Schlittler](#)
To: [Alexandra Clee](#)
Subject: RE: Request for comment - Wingate Amndmnt *additional/revised materials*
Date: Thursday, April 6, 2023 5:30:32 PM

Police dept has no issues

From: Alexandra Clee <aclee@needhamma.gov>
Sent: Thursday, April 6, 2023 4:50 PM
To: David Roche <droche@needhamma.gov>; Thomas Ryder <tryder@needhamma.gov>; John Schlittler <JSchlittler@needhamma.gov>; Tom Conroy <TConroy@needhamma.gov>; Tara Gurge <TGurge@needhamma.gov>; Timothy McDonald <tmcDonald@needhamma.gov>; Justin Savignano <jsavignano@needhamma.gov>; Carys Lustig <clustig@needhamma.gov>
Cc: Lee Newman <LNewman@needhamma.gov>; Elisa Litchman <elitchman@needhamma.gov>; Donald Anastasi <DAnastasi@needhamma.gov>; Jay Steeves <steevesj@needhamma.gov>; Ronnie Gavel <rgavel@needhamma.gov>
Subject: Request for comment - Wingate Amndmnt *additional/revised materials*

Dear all,

We have received additional/revised materials for the proposed Amendment at Wingate.

The Planning Board has scheduled this continued hearing for April 25, 2023. Please send your comments by Wednesday Aril 19, 2023 at the latest.

The documents attached for your review are as follows:

1. Letter from Attorney Evans Huber, dated April 5, 2023.
2. Renderings, entitled "Wingate at Needham Renovation / Expansion," prepared by The Architectural Team, Inc., 50 Commander's Way at Admiral's Hill, Chelsea, MA 02150, consisting of 4 sheets: Sheet 1 entitled "Rendered View from Intersection of Gould Street and Highland Avenue," dated March 30, 2023; Sheet 2, entitled "Rendered View from Gould Street Looking South," dated March 30, 2023; Sheet 3, entitled "Rendered View from Rear parking," dated March 30, 2023; Sheet 4, entitled "Rendered View from Side Entrance," dated March 30, 2023.
3. Architectural Plans, entitled "Wingate at Needham Renovation / Expansion," prepared by The Architectural Team, Inc., 50 Commander's Way at Admiral's Hill, Chelsea, MA 02150, consisting of 3 sheets: Sheet 1, Sheet A1.00, entitled "Proposed Overall Plan – Basement," dated February 3, 2023, revised April 4, 2023; Sheet 2, Sheet A1.01, entitled "Proposed Overall Plans (Schematic)," dated February 3, 2023, revised April 4, 2023; Sheet 3, Sheet A1.02, entitled "Proposed Overall Plan Level 3 & Roof (Schematic)," dated February 3, 2023, revised April 4, 2023.
4. Letter from David Feldman, Senior Vice President of Real Estate and Development,

Continental Wingate Development, dated March 21, 2023. (re: Construction Control)

5. Letter from David Feldman, Senior Vice President of Real Estate and Development, Continental Wingate Development, dated March 21, 2023. (re: Generator).
6. Letter from Brandon Li, Kelly Engineering, dated March 22, 2023 with attachments.

Alexandra Clee
Assistant Town Planner
Needham, MA
www.needhamma.gov

From: Alexandra Clee

Sent: Thursday, February 9, 2023 1:18 PM

To: David Roche <droche@needhamma.gov>; Thomas Ryder <tryder@needhamma.gov>; John Schlittler <JSchlittler@needhamma.gov>; Tom Conroy <TConroy@needhamma.gov>; Tara Gurge <TGurge@needhamma.gov>; Timothy McDonald <tmcdonald@needhamma.gov>; Justin Savignano <jsavignano@needhamma.gov>; Carys Lustig <clustig@needhamma.gov>

Cc: Lee Newman <LNewman@needhamma.gov>; Elisa Litchman <elitchman@needhamma.gov>

Subject: Request for comment - Wingate Amendment

Dear all,

We have received application materials for the proposal for Wingate to add a third story at 589 Highland.

More information can be found in the application, which is attached.

The Planning Board has scheduled this matter for March 7, 2023. Please send your comments by Wednesday March 1, 2023 at the latest.

The documents attached for your review are as follows:

1. Application for an Amendment to the Major Project Special Permit No. 93-3.
2. Two Letters from Attorney Evans Huber to the Needham planning Board and Lee Newman, both dated February 3, 2023.
3. Memo from Kristen Braun, Ron Muller & Associates regarding site traffic generation, dated January 25, 2023, with attached trip generation worksheets.
4. Architectural Plans, entitled "Wingate at Needham Renovation / Expansion," prepared by The Architectural Team, Inc., 50 Commander's Way at Admiral's Hill, Chelsea, MA 02150, consisting of 10 sheets: Sheet 1, Sheet T0.01, entitled "Project Cover," dated February 3,

2023; Sheet 2, Sheet D1.00, entitled “Existing/Demolition overall Plan – Basement,” dated February 3, 2023; Sheet 3, Sheet D1.01, entitled “Existing/Demolition Overall Plans (Schematic),” dated February 3, 2023; Sheet 4, Sheet A1.00, entitled “Proposed Overall Plan – Basement,” dated February 3, 2023; Sheet 5, Sheet A1.01, entitled “proposed Overall Plans (Schematic),” dated February 3, 2023; Sheet 6, Sheet A1.02, entitled “Proposed Overall Plan Level 3 & Roof (Schematic),” dated February 3, 2023; Sheet 7, Sheet A4.01, “Exterior Elevations,” dated February 3, 2023; Sheet 8, Sheet A4.02, entitled “Exterior Elevations,” dated February 3, 2023; Sheet 9, Sheet A4.03, entitled “Exterior Elevations,” dated February 3, 2023; Sheet 10, Sheet A5.01, entitled “Wall Sections,” dated February 3, 2023.

5. Renderings, entitled “Wingate at Needham Renovation / Expansion,” prepared by The Architectural Team, Inc., 50 Commander’s Way at Admiral’s Hill, Chelsea, MA 02150, consisting of 4 sheets: Sheet 1 entitled “Rendered View from intersection of Gould Street and highland Avenue,” dated February 1, 2023; Sheet 2, entitled “Rendered View from Gould Street Looking South,” dated February 1, 2023; Sheet 3, entitled “Rendered View from Rear parking,” dated February 1, 2023; Sheet 4, entitled “Rendered View from Side Entrance,” dated February 1, 2023.
6. Materials Sheet, dated February 2, 2023 and Existing Photos Sheet, dated February 3, 2023.
7. Landscape Plans, entitled “Wingate at Needham Renovation / Expansion,” prepared by Hawk Design Inc., Sagamore, MA, consisting of 7 sheets: Sheet 1, Cover Sheet, dated February 3, 2023; Sheet 2, Sheet L1, entitled “Site Landscaping Plan,” dated February 3, 2023; Sheet 3, Sheet L1.1, entitled “Illustrative Site Plan Rendering,” dated February 3, 2023; Sheet 4, Sheet L2, entitled “Entry Landscape Plan,” dated February 3, 2023; Sheet 5, Sheet L3, entitled “Parking / Plan Landscape Plan,” dated February 3, 2023; Sheet 6, Sheet D1, entitled “Planting Details,” dated February 3, 2023; Sheet 7, Sheet D2, entitled “Planting Notes,” dated February 3, 2023.
8. Plans entitled “Site Development Plans for Wingate at Needham, inc., 589 Highland Avenue, Needham, MA,” prepared by Kelly Engineering Group, Inc., 0 Campanelli Drive, Braintree, MA 02062, R.E. Cameron & Associates, Inc., 681 Washington Street, Norwood MA, consisting of 3 sheets: Sheet 1, Cover 1, dated February 3, 2023; Sheet 2, entitled “Existing Conditions Plan,” dated February 3, 2023; Sheet 3, entitled “Layout Plan,” dated February 3, 2023.
9. Stormwater Management Report, prepared by Kelly Engineering Group, Inc., 0 Campanelli Drive, Braintree, MA 02062, dated February 3, 2023.

Thank you, alex.

Alexandra Clee
Assistant Town Planner
Needham, MA

781-455-7550 ext. 271

www.needhamma.gov



**TOWN OF NEEDHAM, MASSACHUSETTS
PUBLIC WORKS DEPARTMENT
500 Dedham Avenue, Needham, MA 02492
Telephone (781) 455-7550 FAX (781) 449-9023**

April 18, 2023

Needham Planning Board
Needham Public Service Administration Building
Needham, MA 02492

RE: Major Project Site Plan Special Permit No. 93-3
589 Highland Avenue- Wingate Development LLC

Dear Members of the Board,

The Department of Public Works has completed its review of the above referenced request for a Major Project Site Plan Special Permit. The applicant has submitted additional materials for review as part of their application to add a third floor to the building increasing the independent Living spaces by 22-units for a total of 72-units; 9-units will be affordable. No proposed changes to the footprint of the building are proposed.

The review was conducted in accordance with the Planning Board's regulations and standard engineering practice. The additional/revised documents submitted for review are as follows:

1. Letter from Attorney Evans Huber, dated April 5, 2023.
2. Renderings, entitled "Wingate at Needham Renovation / Expansion," prepared by The Architectural Team, Inc., 50 Commander's Way at Admiral's Hill, Chelsea, MA 02150, consisting of 4 sheets: Sheet 1 entitled "Rendered View from Intersection of Gould Street and Highland Avenue," dated March 30, 2023; Sheet 2, entitled "Rendered View from Gould Street Looking South," dated March 30, 2023; Sheet 3, entitled "Rendered View from Rear parking," dated March 30, 2023; Sheet 4, entitled "Rendered View from Side Entrance," dated March 30, 2023.
3. Architectural Plans, entitled "Wingate at Needham Renovation / Expansion," prepared by The Architectural Team, Inc., 50 Commander's Way at Admiral's Hill, Chelsea, MA 02150, consisting of 3 sheets: Sheet 1, Sheet A1.00, entitled "Proposed Overall Plan – Basement," dated February 3, 2023, revised April 4, 2023; Sheet 2, Sheet A1.01, entitled "Proposed Overall Plans (Schematic)," dated February 3, 2023, revised April 4, 2023; Sheet 3, Sheet A1.02, entitled "Proposed Overall Plan Level 3 & Roof (Schematic)," dated February 3, 2023, revised April 4, 2023.
4. Letter from David Feldman, Senior Vice President of Real Estate and Development, Continental Wingate Development, dated March 21, 2023. (re: Construction Control)

April 25, 2023

5. Letter from David Feldman, Senior Vice President of Real Estate and Development, Continental Wingate Development, dated March 21, 2023. (re: Generator).
6. Letter from Brandon Li, Kelly Engineering, dated March 22, 2023 with attachments.

Our comments and recommendations are as follows:

- We have no further comment or objection to the proposed application.

If you have any questions regarding the above, please contact our office at 781-455-7538.

Truly yours,

Thomas Ryder
Town Engineer

From: noreply@civicplus.com
To: [Alexandra Clee](#); [Lee Newman](#); [Elisa Litchman](#)
Subject: Online Form Submittal: Contact Planning Board
Date: Saturday, March 11, 2023 11:49:51 AM

The following form was submitted via your website: Contact Planning Board

Full Name:: Teresa Combs

Email Address:: tcombs2@verizon.net

Address:: 7 UTICA RD

City/Town:: NEEDHAM

State:: MA

Zip Code:: 02494

Telephone Number:: 7816080053

Comments / Questions: Wingate Development, LLC special permit amendment to permit expansion by adding a third floor to the building. I was on the zoom town hall meeting 3/7/23. As a LTC resident across the street from this property I am concerned that they want to reduce the parking footprint as well as the size of this building. Overflow parking iover flow from wingate the nursing home would result with visitors or guest parking on Utica Rd and walking across the street to the nursing home. Reducing the parking will increase this restarting. Adding a 3rd f will involve new construction to an already congested area. Especially with the Muzi [roject to start. The size of this building will tower over the other buildings /homes in our area. Its one thing to have the Muzi project be as big as its going to be at least this is separated more from direct property owners. Wingate is not. The idea that 22 more units will help with our housing shortage is only correct for the wealthy in our town. Those units will rent for more than new rentals units have come on the market at 2nd ave. As a social worker this does not address the need for more housing for middle income Needham residents who are left with the only option of adding a ADU if they can.

The ADU issue: I am in favor for allowing homeowners to add an ADU by right. And for a rental term of 30 days at a time. Requiring a lease for 12 months excludes relatives who may need to move in for a short period of time to care for me in the future. Requiring a 12 month lease will rule out options. In this current labor market when it is almost impossible to find live in help to care for seniors this is not the time to put into place such a restriction. Expanding who I can rent an ADU to is imperative to my future to remain in Needham. I look forward to attending future meetings

Additional Information:

Form submitted on: 3/11/2023 11:49:43 AM

Submitted from IP Address: 172.58.223.72

Referrer Page: https://linkprotect.cudasvc.com/url?a=https%3a%2f%2fwww.needhamma.gov%2f1114%2fPlanning-Board&c=E.1.QHgp4bXsmockeuKXeTyI3v8BHM0Y294Egx_J00oW6okH9F6IMP_dyhoGkbIWOCb2XHw0he8Auo8WCy558z9bZ6oY_szCIWHf27o9oSRGnA._&typo=1

Form Address: https://linkprotect.cudasvc.com/url?a=http%3a%2f%2fwww.needhamma.gov%2fForms.aspx%3fFID%3d229&c=E.1.ZboZAbFbpazJaVlxehqsjRiNA43XrtKRFBVXdqk4IVmRNqkq8wMI4jfGZh5BdOwOtZQ-TrH_DPikBfvN4Gzj37grmUZqcyrmPZle9LW8e-swsUn6smA8vpRfln8.&typo=1

From: Terence Ryan <terence.e.ryan@gmail.com>

Sent: Monday, April 24, 2023 11:57:27 AM

To: Alexandra Clee <aclee@needhamma.gov>; Planning <planning@needhamma.gov>

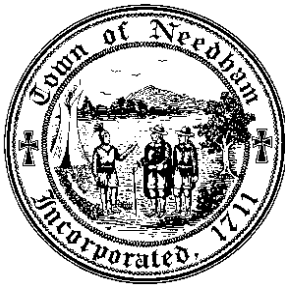
Subject: Amendment to Major Project Site Plan Special Permit No. 93-3: Wingate (Traffic)

Planning Board and Alex,

I'm writing to the Planning Board to please include some language that all construction related activities take place within the Wingate property. Since Gould St and Highland Ave are very busy streets, it will be critical to keep them open. Over the next several years, there will be construction related to Wingate, the Bulfinch properties along Gould St, the MWRA Metropolitan Water Tunnel Program and Highland Ave/Needham St MassDOT work. This will have an impact on the residents around Gould St and Highland Ave.

I'm in favor of the project providing more housing for seniors in Needham. I appreciate the affordable housing units in the plan. Dave Feldman has been a good neighbor to work with over the years.

Thank you,
Terry Ryan
79 Evelyn Rd



PLANNING & COMMUNITY DEVELOPMENT
PLANNING DIVISION

LEGAL NOTICE
Planning Board
TOWN OF NEEDHAM
NOTICE OF HEARING

In accordance with the provisions of M.G.L., Chapter 40A, S.11; the Needham Zoning By-Laws, Sections 7.4, 5.1.1.6, 5.1.2 and 5.1.3, and Section 4.2 of Decision 91-1, dated June 11, 1991, the Needham Planning Board will hold a public hearing on Tuesday, April 25, 2023 at 7:30 p.m. in the Charles River Room, Needham Public Services Administration Building, 500 Dedham Avenue, Needham, MA, as well as by Zoom Web ID Number 880 4672 5264 (further instructions for accessing are below), regarding the application of the Ceed Corp, Edison Gutierrez, President, d/b/a Cook Restaurant, 15 Nell Road, Revere, MA, 02151.

The subject property is located at 101-109 Chapel Street (previously 101-105 Chapel Street), Needham, Massachusetts, shown on Assessor's Map No. 51, Parcel 9 containing 7,761 square feet in the Center Business District. The requested Major Project Site Plan Special Permit would, if granted, permit an amendment of Major Project Site Plan Special Permit No. 1991-1 dated June 11, 1991 and subsequently transferred to Needham Restaurant Project Limited Corporation d/b/a Not Your Average Joe's on March 11, 1997, amended on December 13, 2005, and subsequently transferred to TDRG Inc., Paul Turano, President, d/b/a Cook Needham on June 13, 2017, and subsequently transferred to Ceed Corp, Edison Gutierrez, President, d/b/a Cook Restaurant on December 19, 2022.

The parking requirement for a 132-seat restaurant with one take-out station is 54 parking spaces. The Petitioner secured a waiver to reduce the number of required on-site parking spaces for the 132-seat restaurant use from 54 spaces to 0 spaces under the Original Major Project Site Plan Special Permit Decision No. 91-1, dated June 11, 1991, amended March 11, 1997. The requested amendment would permit a further parking waiver of 3 additional parking spaces (total 57 spaces), to allow the Petitioner to then proceed to the Select Board for permission to add 52 outdoor seats in the public parking lot between the months of April through November.

In accordance with the Zoning By-Law, Section 5.1.1.6, a Special Permit is required to waive strict adherence with the requirements of Sections 5.1.2 (Required Parking) and 5.1.3 (Parking Plan and Design Requirement) of the Zoning By-Law. In accordance with the Zoning By-Law, Section 7.4, and Section 4.2 of Decision 91-1, dated June 11, 1991, a Major Project Site Plan Review Amendment is required.

To view and participate in this virtual meeting on your phone, download the "Zoom Cloud Meetings" app in any app store or at www.zoom.us. At the above date and time, click on "Join a Meeting" and enter the following Meeting ID: 880 4672 5264

To view and participate in this virtual meeting on your computer, at the above date and time, go to www.zoom.us click "Join a Meeting" and enter the following ID: 880 4672 5264

Or to Listen by Telephone: Dial (for higher quality, dial a number based on your current location): US: +1 312 626 6799 or +1 646 558 8656 or +1 301 715 8592 or +1 346 248 7799 or +1 669 900 9128 or +1 253 215 8782 Then enter ID: 880 4672 5264

Direct Link to meeting: <https://us02web.zoom.us/j/88046725264>

The application may be viewed at this link:

<https://www.needhamma.gov/Archive.aspx?AMID=146&Type=&ADID=> . Interested persons are encouraged to attend the public hearing and make their views known to the Planning Board. This legal notice is also posted on the Massachusetts Newspaper Publishers Association's (MNPA) website at (<http://masspublicnotices.org/>).

NEEDHAM PLANNING BOARD)

Needham Times, April 6, 2023 and April 13, 2023.

RECEIVED TOWN CLERK
NEEDHAM, MA 02492

TOWN OF NEEDHAM 2023 MAR 24 AM 11:30
MASSACHUSETTS



500 Dedham Avenue
Needham, MA 02492
781-455-7550

PLANNING BOARD

APPLICATION FOR SITE PLAN REVIEW

Amendment

Project Determination: (circle one) Major Project Minor Project

This application must be completed, signed, and submitted with the filing fee by the applicant or his representative in accordance with the Planning Board's Rules as adopted under its jurisdiction as a Special Permit Granting Authority. Section 7.4 of the By-Laws.

Location of Property

Name of Applicant

Applicant's Address

Phone Number

(101-109)
109 Chapel St Needham MA 02492
Edison Gutierrez
109 Chapel St Needham MA 02492
8572505132

Applicant is: Owner _____

Agent/Attorney _____

Tenant ☒

Purchaser _____

Property Owner's Name

Property Owner's Address

Telephone Number

Duma Realty Trust
125 Pearl St PO Box 85051 Braintree MA 02185
6176530779

Characteristics of Property:

Lot Area _____

Present Use _____

Map # _____

Parcel # _____

Zoning District _____

Description of Project for Site Plan Review under Section 7.4 of the Zoning By-Law:

Modify existing outdoor dining permit to 52 seats.
With few decorations and new furniture.

Signature of Applicant (or representative)

Address if not applicant

Telephone #

Owner's permission if other than applicant

15 N Hill Rd Braintree MA 01915

8572505132

Edison Gutierrez Trustee

SUMMARY OF PLANNING BOARD ACTION

Received by Planning Board

Date

3/23/23

Hearing Date

Parties of Interest Notified of Public Hearing

Decision Required by

Decision/Notices of Decision sent

Granted

Denied

Withdrawn

Fee Paid

Fee Waived

NOTE: Reports on Minor Projects must be issued within 35 days of filing date.

Edison Gutierrez
15 Nell Rd
Revere MA 02151

March 15th 2023

Lee Newman
Director of Planning
Town of Needham
1471 Highland Ave
Needham, MA 02492

Dear Mrs. Newman,

I am writing to request an amendment of the site plan special permit 91-1 which was transferred to Ceed Corp DBA Cook Restaurant on December 5th, 2022, that currently has an approved seating capacity of 126 seats inside at tables, with an additional 6 seats in the waiting area, for a total of 132 approved indoors. The parking requirement for a 132-seat restaurant with one take-out station is 54 parking spaces (1 parking space per 3 seats = 44, plus 10 parking spaces per takeout station). The Petitioner secured a waiver to reduce the number of required on-site parking spaces for the 132-seat restaurant use from 54 spaces to 0 spaces under the Original Major Project Site Plan Special Permit Decision No. 91-1, dated June 11, 1991, amended March 11, 1997.

We are proposing 52 seats outside which exceeds the 30% of the indoor number which is why we are requesting the amendment and the associated parking waiver as further outlined below.

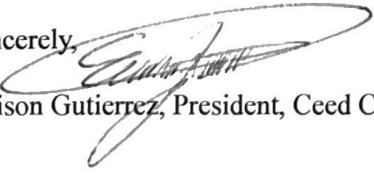
Section 6.9 of the Zoning By-Law permits up to 30% of the approved indoor seating to be utilized outdoors without authorization from the Special Permit Granting Authority and the provision of additional parking. 30% of 132 seats is 44 seats. As we are requesting 52 outdoor seats, the request is more than 30% of the approved indoor seats and we are therefore requesting approval for such, as allowed by Section 6.9, as well as an additional parking waiver under Section 5.1.1.6. Forty-four (44) seats are permitted through Section 6.9; therefore, we are applying for a parking waiver with respect to the remaining 8 seats, which is a waiver of 3 additional parking spaces.

Our proposed seasonal seating would run between the months April-November. Our hours of operation are not proposed to change. Our maximum total number of employees on site at any given time is 14.

After the approval of the amendment and parking waiver from the Planning Board, we will proceed to ask the Select Board for the permission to have the outdoor dining seats on public property.

If you have any questions, comments, or concerns please let me know at your earliest convenience.

Sincerely,


Edison Gutierrez, President, Ceed Corp

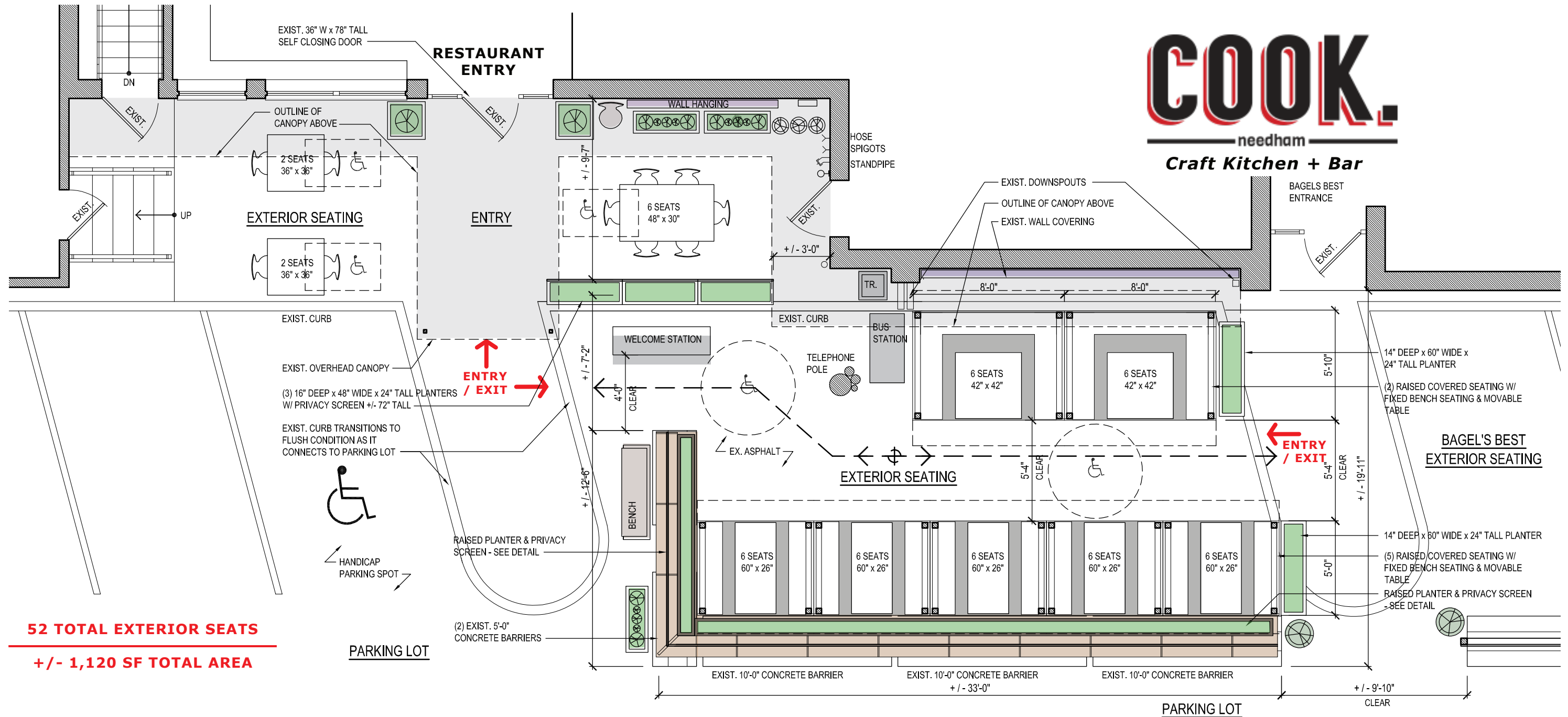
EXTERIOR SEATING

COOK. Craft Kitchen + Bar

NEEDHAM MA
21 FEBRUARY 2023

Prepared for:
COOK. Craft Kitchen + Bar
109 Chapel Street
Needham, MA 02492

Architect:
Scott Melching AIA, LEED GRP
116 Arch Street
Needham MA 02492
www.scottmelchingarchitect.com



INTERNATIONAL BUILDING CODE

TOTAL SEAT COUNT

EXTERIOR SEATS = 52 SEATS
INTERIOR SEATS = 96 SEATS

TOTAL = 148 SEATS

ACCESSIBLE SEATING

PER IBC 1108.2.9.1 DINING SURFACES
5% OF SEATING IS REQUIRED TO BE ACCESSIBLE

52 EXT. SEATS * 5% = 2.6 ACCESSIBLE SEATS REQ'D

3 ACCESSIBLE SEATS ARE PROVIDED.

3 > 2.6 COMPLIANT

PLUMBING FIXTURE REQUIREMENT - CMR 248

PER 10.10 TABLE 1 :
MINIMUM FACILITIES FOR BUILDING OCCUPANCY

A-3 RESTAURANTS

- WATER CLOSETS - 1 PER 30 (WOMEN)
- 1 PER 60 (MEN)
- 50% (MEN)
- URINALS
- LAVATORY - 1 PER 200

CURRENT LAVATORY COUNT AT COOK:

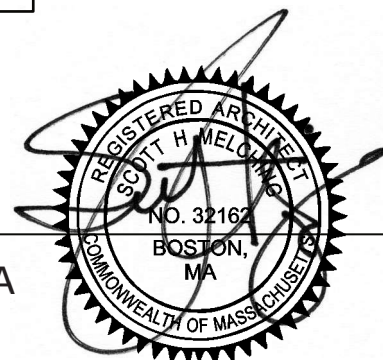
- 1 UNISEX RESTROOM WITH ONE WATER CLOSET & ONE SINK (ACCESSIBLE)
- 1 MEN'S ROOM WITH ONE WATER CLOSET, ONE URINAL, AND ONE SINK
- 1 WOMEN'S ROOM WITH ONE WATER CLOSET, AND ONE SINK. (ACCESSIBLE)

TOTAL OF 4 WATER CLOSETS & 3 LAVATORIES.

4 = 4 REQUIRED WATER CLOSETS

**150 OCCUPANTS MAXIMUM
W/ 3 WATER CLOSETS + URINAL**

3 > 1 REQUIRED LAVATORIES

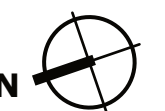


2 | EXTERIOR SEATING PLAN

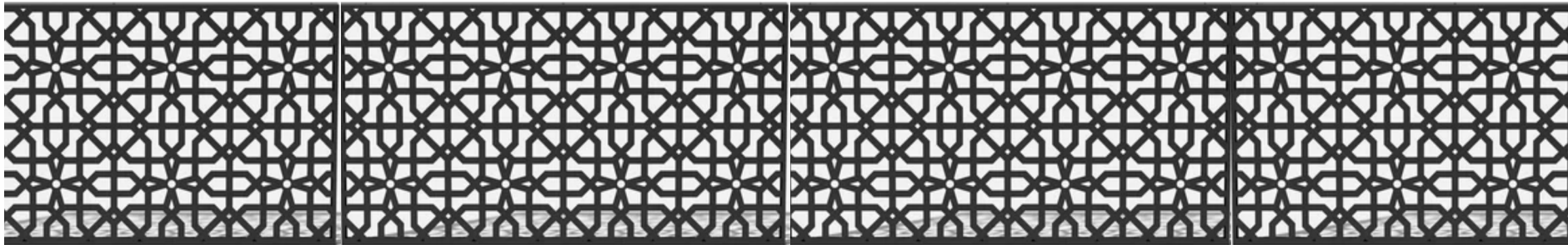
COOK. CRAFT KITCHEN + BAR | NEEDHAM MA

SCOTT MELCHING ARCHITECT
AIA . LEED . GRP

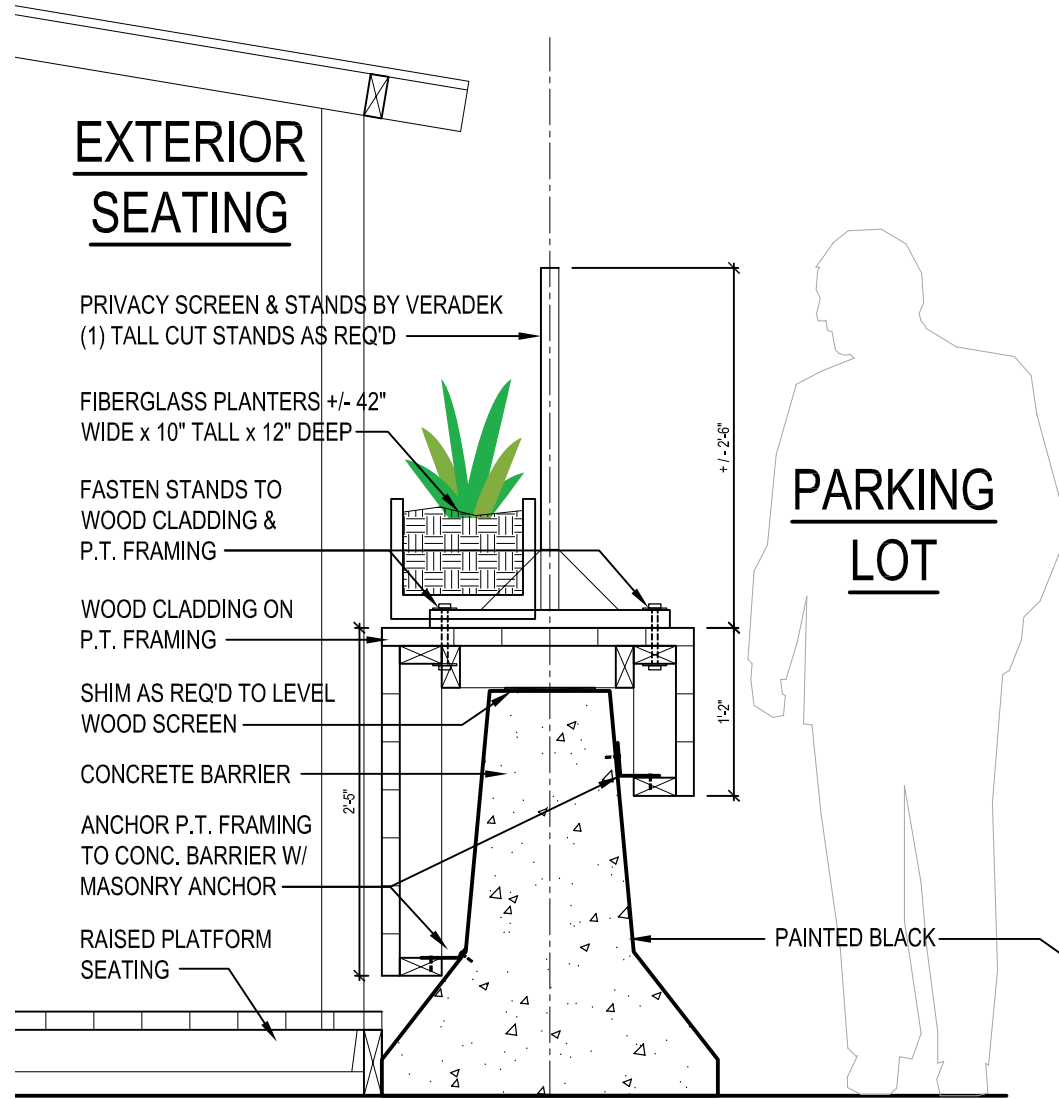
SCALE : 3/16" = 1'-0"
21 FEBRUARY 2023



VERADECK SCREEN - PARILLA



VERADECK SCREEN - WEB



SECTION DETAIL

INTERIOR ELEVATION

Edison Gutierrez
15 Nell Rd
Revere MA 02151

April 24th, 2023

Lee Newman
Director of Planning
Town of Needham
1471 Highland Ave
Needham, MA 02492

Dear Mrs. Newman,

I am writing to revise my prior request for the amendment based on my interior floor plan.

The existing special permit 91-1 which was transferred to Ceed Corp DBA Cook Restaurant on December 5th, 2022 currently has an approved seating capacity of 126 seats inside at tables, with an additional 6 seats in the waiting area, for a total of 132 approved indoors. The parking requirement for a 132-seat restaurant with one take-out station is 54 parking spaces (1 parking space per 3 seats = 44, plus 10 parking spaces per takeout station). The Petitioner secured a waiver to reduce the number of required on-site parking spaces for the 132-seat restaurant use from 54 spaces to 0 spaces under the Original Major Project Site Plan Special Permit Decision No. 91-1, dated June 11, 1991, amended March 11, 1997.

However, there are only 96 existing seats indoors, as shown on the Interior Seating Plan dated April 12, 2023. The parking requirement for a 96-seat restaurant with one take-out station is 42 parking spaces (1 parking space per 3 seats = 32, plus 10 parking spaces per takeout station).

We are proposing 52 seats outside which exceeds the 30% of the indoor number which is why we are requesting the amendment and the associated parking waiver as further outlined below.

Section 6.9 of the Zoning By-Law permits up to 30% of the approved indoor seating to be utilized outdoors without authorization from the Special Permit Granting Authority and the provision of additional parking. 30% of 132 seats is 44. As we are requesting 52 outdoor seats, the request is more than 30% of the approved indoor seats and we are therefore requesting approval for such, as allowed by Section 6.9, as well as an additional parking waiver under Section 5.1.1.6. Forty-four (44) seats are permitted through Section 6.9; therefore, we are applying for a parking waiver with respect to the remaining 8 seats, which is a waiver of 3 additional parking spaces.

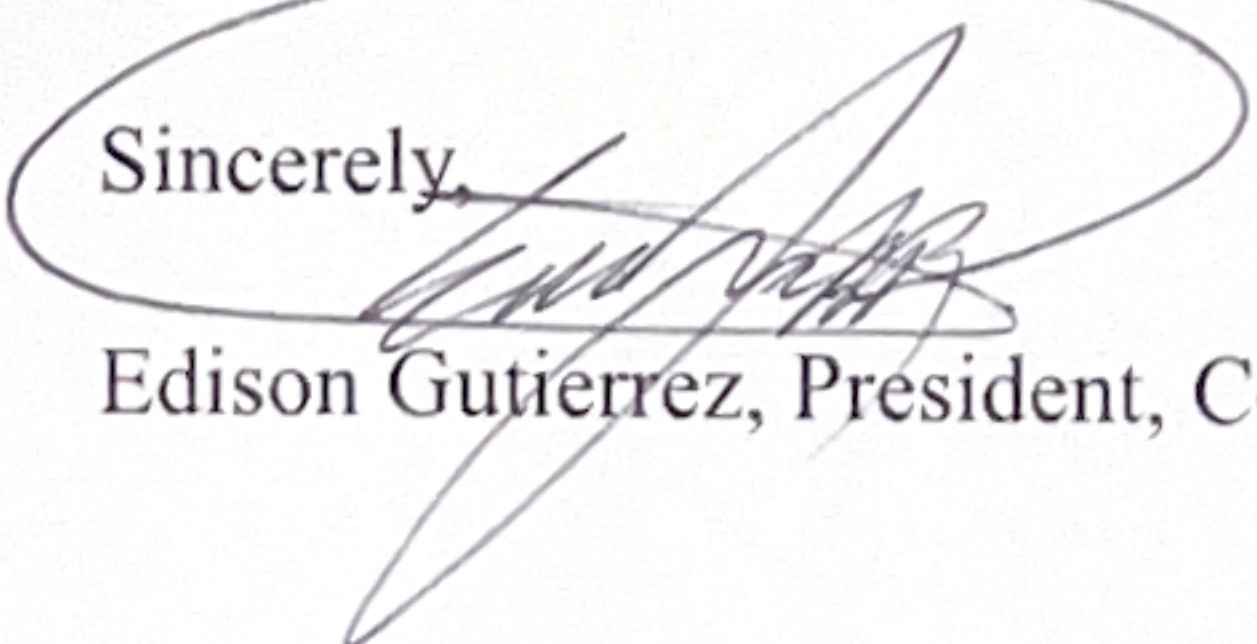
Additionally, we are requesting that the Interior Floor Plan dated April 12, 2023 supersede the interior prior floor plan, and we acknowledge that with this substitution, we now will be approved for only 96 interior seats, and seasonally 52 outdoor seats, for a total of 148 seats.

Our proposed seasonal seating would run between the months April-November. Our hours of operation are not proposed to change. Our maximum total number of employees on site at any given time is 14.

After the approval of the amendment and parking waiver from the Planning Board, we will proceed to ask the Select Board for permission to have the outdoor dining seats on public property.

If you have any questions, comments, or concerns please let me know at your earliest convenience.

Sincerely,


Edison Gutierrez, President, Ceed Corp



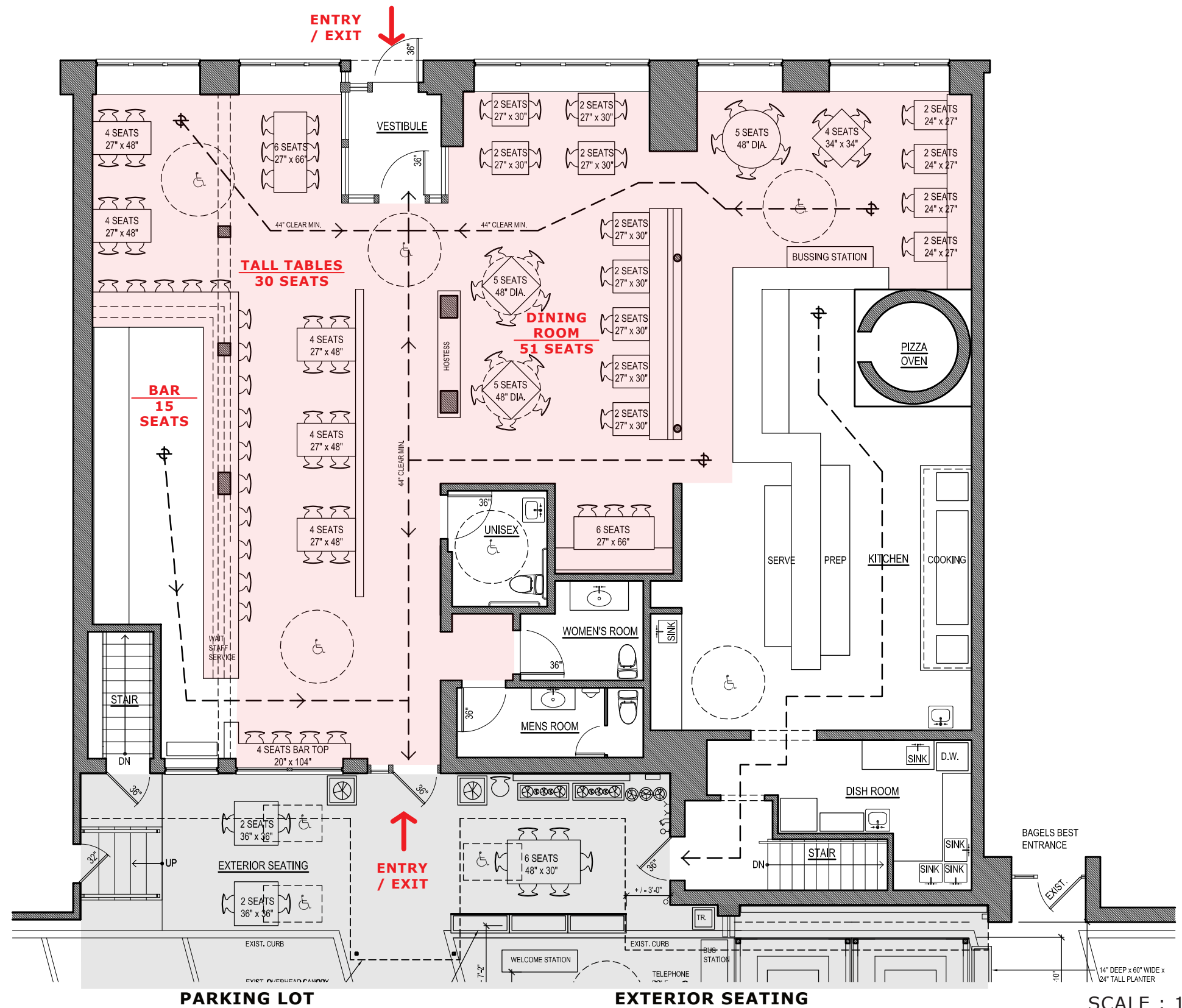
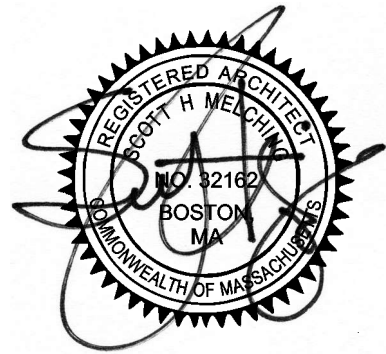
Craft Kitchen + Bar

96 TOTAL INTERIOR SEATS

+/- 1,515 SF TOTAL AREA
(RED TONE)

PLAN PROVIDED TO VERIFY CURRENT
RESTAURANT INTERIOR SEATING LAYOUT
AND ACCESS TO EXTERIOR SEATING AREA.

TABLE SIZES AND CHAIR LOCATIONS
SHOWN AS SURVEYED ON 11 APRIL 2023.





TOWN OF NEEDHAM

DESIGN REVIEW BOARD

Public Service Administration Building
500 Dedham Avenue
Needham, MA 02492
Application and Report

Property Location: 109 Chapel St Needham MA 02492 Date: 3-22-2023

Owner: Poma Realty Trust

Address: 125 Pearl St P.O. Box 850551 Bainbridge MA 02185
Street City State Zip

Telephone: 617 653 6779

Applicant: CEED Corp (DBA) Cook Restaurant Elison Gutierrez PRESIDENT

Address: 169 Chapel St Needham MA 02194
Street City State Zip

Telephone: 781 400 5927

Designer/Installer: Huse Carpentry Corp

Address: 58 Oliver St #2 Roslindale MA 02149
Street City State Zip

Telephone: 781 615 9876

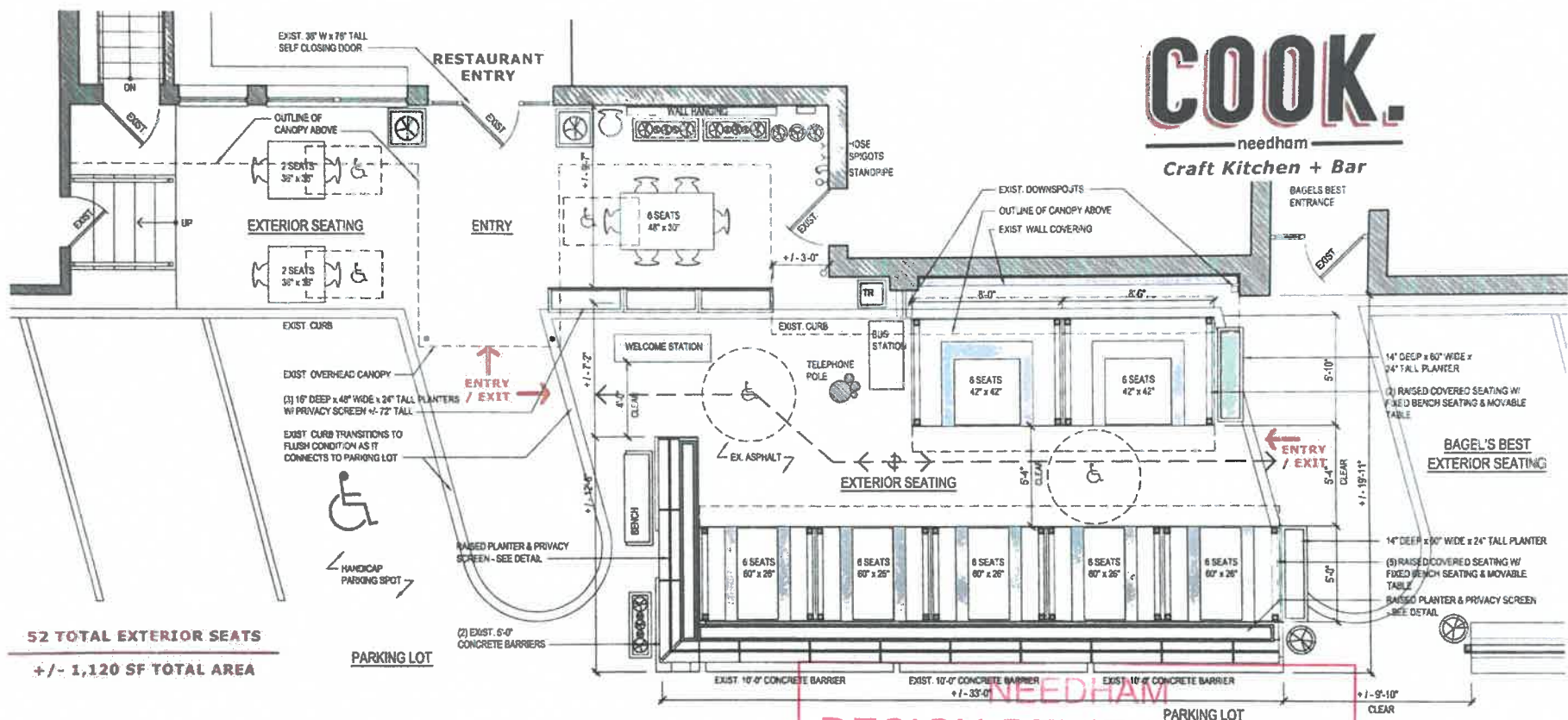
Type of Application
☐ Sign
☒ Minor Project
☒ Exterior Alterations
Major Project (Site Plan Review)
☐ - preliminary
☐ - final
☐ Flexible Subdivision
☐ Planned Residential Development
☐ Residential Compound

NEEDHAM
DESIGN REVIEW BOARD
• RECOMMENDED ACTION •
APPROVAL: [Signature]
APPROVAL WITH CONDITIONS:
DISAPPROVAL:
DATE: 4.10.23

Brief description of sign or project:

Add a total of 52 outdoor seats with new iron tables
and chairs, same lighting fixture, propane heaters and verudack
screens for privacy and few planters surrounding.

Please email completed application to elitchman@needhamma.gov



52 TOTAL EXTERIOR SEATS
+/- 1,120 SF TOTAL AREA

INTERNATIONAL BUILDING CODE

TOTAL SEAT COUNT

EXTERIOR SEATS	=	52 SEATS
INTERIOR SEATS	=	96 SEATS
TOTAL	=	148 SEATS

ACCESSIBLE SEATING
 PER IBC 1108.2.9.1 DINING SURFACES
 5% OF SEATING IS REQUIRED TO BE ACCESSIBLE
 52 EXT. SEATS * 5% = 2.6 ACCESSIBLE SEATS REQ'D
 3 ACCESSIBLE SEATS ARE PROVIDED.
3 > 2.6 COMPLIANT

PLUMBING FIXTURE REQUIREMENT - CHR 248
 PER 10.10 TABLE 1:
 MINIMUM FACILITIES FOR BUILDING OCCUPANCY
 A-3 RESTAURANTS
 - WATER CLOSETS
 - URINALS
 - LAVATORY

RECOMMENDED ACTION
APPROVAL: *McGowan*
AT LOCAL WITH COMMENTS

CURRENT LAVATORY COUNT AT COOK:
 - 1 UNISEX RESTROOM WITH ONE WATER CLOSET & ONE SINK (ACCESSIBLE)
 - 1 MEN'S ROOM WITH ONE WATER CLOSET, ONE URINAL, AND ONE SINK
 - 1 WOMEN'S ROOM WITH ONE WATER CLOSET, AND ONE SINK. (ACCESSIBLE)
TOTAL OF 4 WATER CLOSETS & LAVATORIES.
4 = 4 REQUIRED WATER CLOSETS
150 OCCUPANTS MAXIMUM W/ 3 WATER CLOSETS + URINAL
3 > 1 REQUIRED LAVATORIES



2 | EXTERIOR SEATING PLAN
COOK. CRAFT KITCHEN + BAR | NEEDHAM MA

DISAPPROVAL:
DATE: *4.10.23*

SCOTT MELCHING ARCHITECT
 AIA LEED GRP

SCALE : 3/16" = 1'-0"
 21 FEBRUARY 2023



NEEDHAM DESIGN REVIEW BOARD

• RECOMMENDED ACTION •

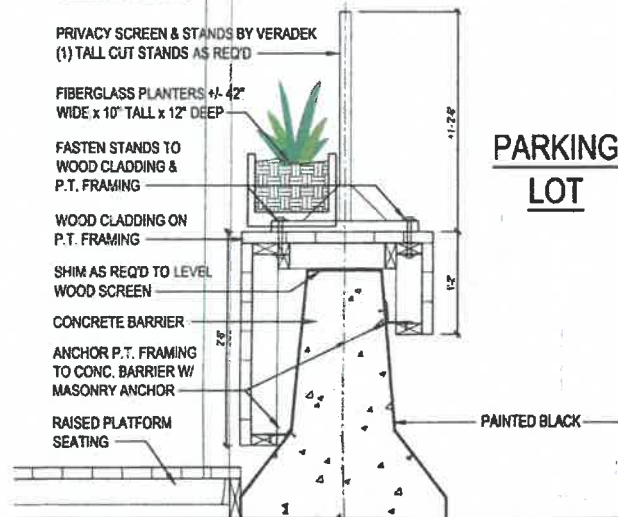
APPROVAL: *H. Gwary*

APPROVAL WITH CONDITIONS: _____

DISAPPROVAL: _____

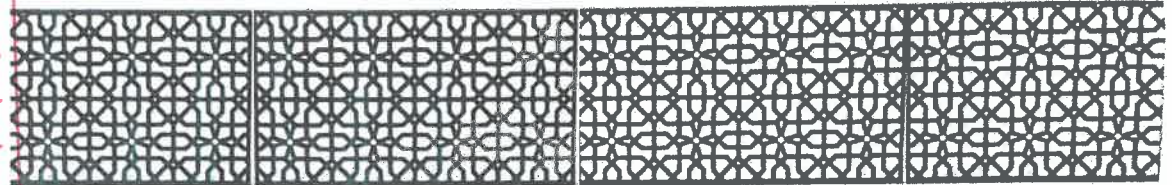
EXTERIOR
SEATING

4.10.23

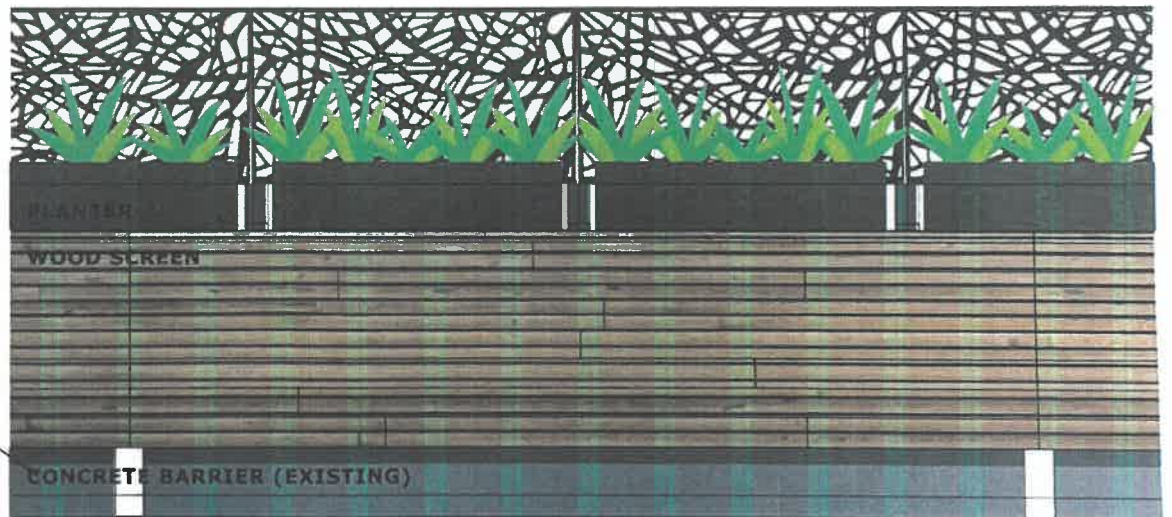


SECTION DETAIL

VERADECK SCREEN - PARILLA



VERADECK SCREEN - WEB



INTERIOR ELEVATION

3 | EXTERIOR SEATING - SCREEN DETAIL AT JERSEY BARRIER

COOK. CRAFT KITCHEN + BAR | NEEDHAM MA

SCALE : 3/4" = 1'-0"
21 FEBRUARY 2023

SCOTT MELCHING ARCHITECT
AIA LEED GRP

NEEDHAM DESIGN REVIEW BOARD

• RECOMMENDATION

APPROVAL: *M. Gwong*

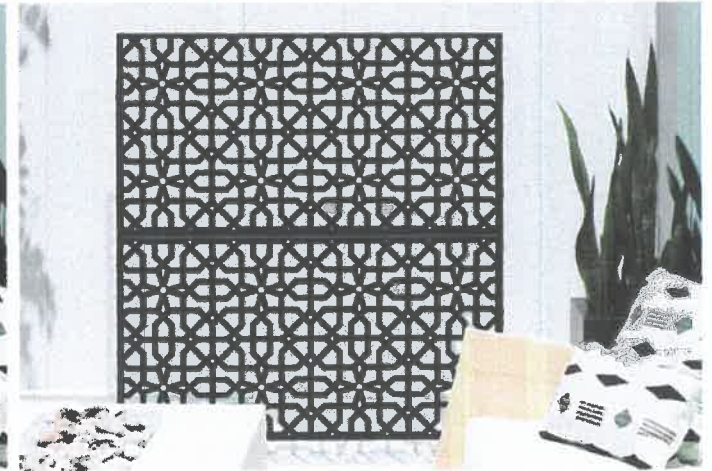
APPROVAL WITH CONDITIONS:



REJUVENATION FIBERSTONE PLANTER



VERADEK METAL SCREEN



7 | DESIGN INSPIRATION PHOTOS FOR PLANTER & SCREEN WALL

17 AUGUST 2022

COOK, CRAFT KITCHEN + BAR | NEEDHAM MA

SCOTT MELCHING ARCHITECT
AIA . LEED . GRP

From: [Tara Gurge](#)
To: [Alexandra Clee](#); [Elisa Litchman](#); [Lee Newman](#)
Subject: FW: Request for comment - Cook Outdoor dining/ Public Health Division comments
Date: Wednesday, April 19, 2023 9:27:45 AM
Attachments: [image002.png](#)
[image003.png](#)

Alex, Elisa, Lee -

The Public Health Division reviewed the request for this increase in outdoor seating for Cook Restaurant. Here are our comments noted below –

- Due to the increased amount of proposed additional seating that is requested, there may be an increase in their food establishment permit fee since that permit is currently based on the number of total seats. (The food establishment permit fee for any restaurant >150 seats, is \$275.00/year.)
- Per the Building Dept. previous comment noted below, due to the increase in the number of seats, since the site can only accommodate a maximum of 150 occupants based on the existing plumbing fixture count, an additional bathroom will need to be installed on site. Will Cook be able to accommodate this requirement?
- Cook must continue to maintain the exterior area in a **clean and sanitary condition**, as not to attract the risk of pests. All outdoor seating areas must be kept clean and maintained, and areas under the tables must be swept of and all food and/or trash debris removed after each customer, and debris must not be allowed to accumulate that may pose a risk of attracting pests.
- Cook must continue to maintain a clean and sanitary trash/dumpster area (both trash and recycling) and maintain their routine trash and recycling pick-up/service schedules and increase those schedules if any overflow issues are observed. The exterior spent grease barrel storage area must also be kept clean and maintained and serviced on a routine schedule and must not pose a risk of attracting pests.
- Cook must continue to have a routine **interior and exterior** certified pest control service schedule and be willing to increase the frequency of this pest control service schedule if any increase in pest issues arise.
- For any exterior trash containers that are present, they must be on a frequent routine service schedule and all trash debris removed and must not pose a risk of attracting pests.
- Any sunshades and/or umbrellas that are installed in this outdoor seating area must be properly secured at all times, and all umbrellas must be closed/taken in at the time of closing (or during the day) to ensure that they do not topple over in high winds, etc., and potentially cause a public health and safety concern.

All additional items noted below, as stated in the approved Select Board policy, must also be followed.

Outdoor Dining Licenses Select Board policy, specific to Public Health:

7. All entrances and exit doors through the kitchen used by food service personnel and customers must be screened and provided with air curtains meeting National Sanitation Foundation standards. All windows or openings through the kitchen used for the transfer

of food must also be screened and provided with air curtains. (If your entrance and exit or service opening to the outdoor seating area is through the kitchen, you must get Health Department approval.)

8. All food must be prepared inside the facility's kitchen and kept inside until served. No food may be prepared outside.
9. A system for washing down the outside seating area must be provided.
10. Food service personnel may not serve patrons beyond the outdoor seating area as shown on the plan approved by the licensing authority.
11. Food service personnel must constantly police the outdoor seating area for wastepaper, garbage, and other trash. Covered trash receptacles should be provided and must be emptied as needed to prevent overflowing. They must also be emptied at the end of each evening's service.
12. If dumpsters are located near these proposed seating areas, need to ensure that areas around dumpsters are clean and sanitary, and no public health nuisance issues with odors or attraction of pests exist.
13. During the operating hours and thereafter, strict clean-up practices must be adhered to. Food service personnel must clear up after each patron and remove all trash and dirty dishes.
14. Outside food handlers must have easy access to handwash sinks and cleaning cloths. Facilities for preparation and disposal of sanitizing solutions must be accessible.
15. Outdoor seating areas shall be considered as part of the restaurant and shall comply with Board of Health regulations, including a prohibition of smoking in seasonal outdoor dining areas and only service animals being allowed in those same areas.
16. Pets not allowed in outdoor seating areas. Only service animals are permitted.

Once Cook restaurant is approved to expand their outdoor seating area, we ask that copies of their routine pest control reports be submitted to the Public Health Division on an on-going basis, so we can verify that pest activity is being monitored. We recommend that the owner bring the reinstatement of the outdoor dining, once approved, to their pest control's attention so they're aware and can also service the exterior of their food service establishment accordingly.

Please feel free to reach out with any follow-up questions on these requirements.

Thanks,



TARA E. GURGE, R.S., C.E.H.T., M.S. (she/her/hers)
ASSISTANT PUBLIC HEALTH DIRECTOR
Needham Public Health Division
Health and Human Services Department
178 Rosemary Street
Needham, MA 02494
Ph- (781) 455-7940; Ext. 211/Fax- (781) 455-7922
Mobile- (781) 883-0127
Email - tgurge@needhamma.gov
Web- www.needhamma.gov/health



please consider the environment before printing this email

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[Follow Needham Public Health on Twitter!](#)

From: David Roche <droche@needhamma.gov>

Sent: Wednesday, April 5, 2023 11:58 AM

To: Alexandra Clee <aclee@needhamma.gov>; Thomas Ryder <tryder@needhamma.gov>; John Schlittler <JSchlittler@needhamma.gov>; Tara Gurge <TGurge@needhamma.gov>; Timothy McDonald <tmcdonald@needhamma.gov>; Tom Conroy <TConroy@needhamma.gov>; Carys Lustig <clustig@needhamma.gov>

Cc: Elisa Litchman <elitchman@needhamma.gov>; Lee Newman <LNewman@needhamma.gov>; Justin Savignano <jsavignano@needhamma.gov>; Donald Anastasi <DAnastasi@needhamma.gov>; Jay Steeves <steevesj@needhamma.gov>; Ronnie Gavel <rgavel@needhamma.gov>; Myles Tucker <mtucker@needhamma.gov>

Subject: RE: Request for comment - Cook Outdoor dining

In looking at the plan the architect has a maximum of 150 occupants based on the existing plumbing fixture count, are they planning on adding an additional bathroom?

Dave

From: Alexandra Clee <aclee@needhamma.gov>

Sent: Wednesday, April 5, 2023 11:25 AM

To: David Roche <droche@needhamma.gov>; Thomas Ryder <tryder@needhamma.gov>; John Schlittler <JSchlittler@needhamma.gov>; Tara Gurge <TGurge@needhamma.gov>; Timothy McDonald <tmcdonald@needhamma.gov>; Tom Conroy <TConroy@needhamma.gov>; Carys Lustig <clustig@needhamma.gov>

Cc: Elisa Litchman <elitchman@needhamma.gov>; Lee Newman <LNewman@needhamma.gov>; Justin Savignano <jsavignano@needhamma.gov>; Donald Anastasi <DAnastasi@needhamma.gov>; Jay Steeves <steevesj@needhamma.gov>; Ronnie Gavel <rgavel@needhamma.gov>; Myles Tucker <mtucker@needhamma.gov>

Subject: Request for comment - Cook Outdoor dining

Dear all,

We have received the attached application materials for the proposal to outdoor seating behind Cook Restaurant. Specifically, the Planning Board is being asked to Amend the prior permit on the property to allow for the additional parking waiver; the actual outdoor seating will subsequently be reviewed by the Select Board, as the seating is proposed on public property.

More information can be found in the attachments.

The Planning Board has scheduled this matter for April 25, 2023. Please send your comments by Wednesday April 19, 2023 at the latest.

The documents attached for your review are as follows:

1. Application for the Amendment to Major Project Special Permit No. 91-1.
2. Letter from Ceed Corp, Edison Gutierrez, President, dated March 15, 2023.
3. Plan entitled "Exterior Seating. COOK. Craft Kitchen and Bar," prepared by Scott Melching Architect, consisting of 3 sheets: Sheet 1, Cover Sheet, dated February 21, 2023; Sheet 2, entitled "Exterior Seating Plan," dated February 21, 2023; Sheet 3, entitled "Exterior Seating – Screen Detail at Jersey Barrier," dated February 21, 2023.

Thank you, alex.

Alexandra Clee
Assistant Town Planner
Needham, MA
781-455-7550 ext. 271
www.needhamma.gov

From: [Tara Gurge](#)
To: [Alexandra Clee](#); [Elisa Litchman](#); [Lee Newman](#)
Subject: Request for comment - Cook Outdoor dining/ Public Health Division comments
Date: Tuesday, April 25, 2023 11:10:30 AM
Attachments: [image002.png](#)
[image003.png](#)

Alex, Elisa, Lee -

The Public Health Division reviewed the request for this increase in outdoor seating for Cook Restaurant. Here are our comments noted below –

- Cook must continue to maintain the exterior area in a **clean and sanitary condition**, as not to attract the risk of pests. All outdoor seating areas must be kept clean and maintained, and areas under the tables must be swept of and all food and/or trash debris removed after each customer, and debris must not be allowed to accumulate that may pose a risk of attracting pests.
- Cook must continue to maintain a clean and sanitary trash/dumpster area (both trash and recycling) and maintain their routine trash and recycling pick-up/service schedules and increase those schedules if any overflow issues are observed. The exterior spent grease barrel storage area must also be kept clean and maintained and serviced on a routine schedule and must not pose a risk of attracting pests.
- Cook must continue to have a routine **interior and exterior** certified pest control service schedule and be willing to increase the frequency of this pest control service schedule if any increase in pest issues arise.
- For any exterior trash containers that are present, they must be on a frequent routine service schedule and all trash debris removed and must not post a risk of attracting pests.
- Any sunshades and/or umbrellas that are installed in this outdoor seating area must be properly secured at all times, and all umbrellas must be closed/taken in at the time of closing (or during the day) to ensure that they do not topple over in high winds, etc., and potentially cause a public health and safety concern. Proper permits for tents, if proposed, must be approved and issued by the Building/Fire Depts.

All additional items noted below, as stated in the approved Select Board policy, must also be followed.

Outdoor Dining Licenses Select Board policy, specific to Public Health:

7. All entrances and exit doors through the kitchen used by food service personnel and customers must be screened and provided with air curtains meeting National Sanitation Foundation standards. All windows or openings through the kitchen used for the transfer of food must also be screened and provided with air curtains. (If your entrance and exit or service opening to the outdoor seating area is through the kitchen, you must get Health Department approval.)
8. All food must be prepared inside the facility's kitchen and kept inside until served. No food may be prepared outside.
9. A system for washing down the outside seating area must be provided.
10. Food service personnel may not serve patrons beyond the outdoor seating area as shown

on the plan approved by the licensing authority.

11. Food service personnel must constantly police the outdoor seating area for wastepaper, garbage, and other trash. Covered trash receptacles should be provided and must be emptied as needed to prevent overflowing. They must also be emptied at the end of each evening's service.

12. If dumpsters are located near these proposed seating areas, need to ensure that areas around dumpsters are clean and sanitary, and no public health nuisance issues with odors or attraction of pests exist.

13. During the operating hours and thereafter, strict clean-up practices must be adhered to. Food service personnel must clear up after each patron and remove all trash and dirty dishes.

14. Outside food handlers must have easy access to handwash sinks and cleaning cloths. Facilities for preparation and disposal of sanitizing solutions must be accessible.

15. Outdoor seating areas shall be considered as part of the restaurant and shall comply with Board of Health regulations, including a prohibition of smoking in seasonal outdoor dining areas and only service animals being allowed in those same areas.

16. Pets not allowed in outdoor seating areas. Only service animals are permitted.

Once Cook restaurant is approved to expand their outdoor seating area, we ask that copies of their routine pest control reports be submitted to the Public Health Division on an on-going basis, so we can verify that pest activity is being monitored. We recommend that the owner bring the reinstatement of the outdoor dining, once approved, to their pest control's attention so they're aware and can also service the exterior of their food service establishment accordingly.

Please feel free to reach out with any follow-up questions on these requirements.

Thanks,



TARA E. GURGE, R.S., C.E.H.T., M.S. (she/her/hers)

ASSISTANT PUBLIC HEALTH DIRECTOR

Needham Public Health Division

Health and Human Services Department

178 Rosemary Street

Needham, MA 02494

Ph- (781) 455-7940; Ext. 211/Fax- (781) 455-7922

Mobile- (781) 883-0127

Email - tgurge@needhamma.gov

Web- www.needhamma.gov/health



please consider the environment before printing this email

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[Follow Needham Public Health on Twitter!](#)

From: David Roche <droche@needhamma.gov>

Sent: Wednesday, April 5, 2023 11:58 AM

To: Alexandra Clee <aclee@needhamma.gov>; Thomas Ryder <tryder@needhamma.gov>; John Schlittler <JSchlittler@needhamma.gov>; Tara Gurge <TGurge@needhamma.gov>; Timothy McDonald <tmcdonald@needhamma.gov>; Tom Conroy <TConroy@needhamma.gov>; Carys Lustig <clustig@needhamma.gov>

Cc: Elisa Litchman <elitchman@needhamma.gov>; Lee Newman <LNewman@needhamma.gov>; Justin Savignano <jsavignano@needhamma.gov>; Donald Anastasi <DAnastasi@needhamma.gov>; Jay Steeves <steevesj@needhamma.gov>; Ronnie Gavel <rgavel@needhamma.gov>; Myles Tucker <mtucker@needhamma.gov>

Subject: RE: Request for comment - Cook Outdoor dining

In looking at the plan the architect has a maximum of 150 occupants based on the existing plumbing fixture count, are they planning on adding an additional bathroom?

Dave

From: Alexandra Clee <aclee@needhamma.gov>

Sent: Wednesday, April 5, 2023 11:25 AM

To: David Roche <droche@needhamma.gov>; Thomas Ryder <tryder@needhamma.gov>; John Schlittler <JSchlittler@needhamma.gov>; Tara Gurge <TGurge@needhamma.gov>; Timothy McDonald <tmcdonald@needhamma.gov>; Tom Conroy <TConroy@needhamma.gov>; Carys Lustig <clustig@needhamma.gov>

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Subject: Request for comment - Cook Outdoor dining

Dear all,

We have received the attached application materials for the proposal to outdoor seating behind Cook Restaurant. Specifically, the Planning Board is being asked to Amend the prior permit on the property to allow for the additional parking waiver; the actual outdoor seating will subsequently be reviewed by the Select Board, as the seating is proposed on public property.

More information can be found in the attachments.

The Planning Board has scheduled this matter for April 25, 2023. Please send your comments by Wednesday April 19, 2023 at the latest.

The documents attached for your review are as follows:

1. Application for the Amendment to Major Project Special Permit No. 91-1.
2. Letter from Ceed Corp, Edison Gutierrez, President, dated March 15, 2023.
3. Plan entitled "Exterior Seating. COOK. Craft Kitchen and Bar," prepared by Scott Melching Architect, consisting of 3 sheets: Sheet 1, Cover Sheet, dated February 21, 2023; Sheet 2, entitled "Exterior Seating Plan," dated February 21, 2023; Sheet 3, entitled "Exterior Seating – Screen Detail at Jersey Barrier," dated February 21, 2023.

Thank you, alex.

Alexandra Clee
Assistant Town Planner
Needham, MA
781-455-7550 ext. 271
www.needhamma.gov

From: [John Schlittler](#)
To: [Alexandra Clee](#)
Subject: RE: Request for comment - Cook Outdoor dining
Date: Wednesday, April 5, 2023 12:07:17 PM

Police are fine with it if barriers are sufficient in the lot. Thanks

From: Alexandra Clee <aclee@needhamma.gov>
Sent: Wednesday, April 5, 2023 11:25 AM
To: David Roche <droche@needhamma.gov>; Thomas Ryder <tryder@needhamma.gov>; John Schlittler <JSchlittler@needhamma.gov>; Tara Gurge <TGurge@needhamma.gov>; Timothy McDonald <tmcDonald@needhamma.gov>; Tom Conroy <TConroy@needhamma.gov>; Carys Lustig <clustig@needhamma.gov>
Cc: Elisa Litchman <elitchman@needhamma.gov>; Lee Newman <LNewman@needhamma.gov>; Justin Savignano <jsavignano@needhamma.gov>; Donald Anastasi <DAnastasi@needhamma.gov>; Jay Steeves <steevesj@needhamma.gov>; Ronnie Gavel <rgavel@needhamma.gov>; Myles Tucker <mtucker@needhamma.gov>
Subject: Request for comment - Cook Outdoor dining

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Thank you, alex.

Alexandra Clee

Assistant Town Planner
Needham, MA
781-455-7550 ext. 271
www.needhamma.gov



**TOWN OF NEEDHAM, MASSACHUSETTS
PUBLIC WORKS DEPARTMENT
500 Dedham Avenue, Needham, MA 02492
Telephone (781) 455-7550 FAX (781) 449-9023**

April 18, 2023

Needham Planning Board
Needham Public Service Administration Building
Needham, MA 02492

RE: Amendment Major Project Site Plan Special Permit No. 91-1
109 Chapel Street – Creed Corp DBA Cook Restaurant

Dear Members of the Board,

The Department of Public Works has completed its review of the above referenced amendment to the Major Project Site Plan Special Permit. The applicant proposes 52- seasonal outdoor seats and requests a parking waiver of 3-additional parking spaces.

The review was conducted in accordance with the Planning Board's regulations and standard engineering practice. The documents submitted for review are as follows:

1. Application for the Amendment to Major Project Special Permit No. 91-1.
2. Letter from Ceed Corp, Edison Gutierrez, President, dated March 15, 2023.
3. Plan entitled "Exterior Seating. COOK. Craft Kitchen and Bar," prepared by Scott Melching Architect, consisting of 3 sheets: Sheet 1, Cover Sheet, dated February 21, 2023; Sheet 2, entitled "Exterior Seating Plan," dated February 21, 2023; Sheet 3, entitled "Exterior Seating – Screen Detail at Jersey Barrier," dated February 21, 2023.

Our comments and recommendations are as follows:

- We have no general objection to the proposed plans. However, as the seating will be located within the town's municipal parking lot. As noted in their application, a Select Board approval will need to be sought as well.

If you have any questions regarding the above, please contact our office at 781-455-7538.

Truly yours,

Thomas Ryder
Town Engineer

From: [David Roche](#)
To: [Alexandra Clee](#)
Subject: Cook restaurant seating / parking waivers
Date: Tuesday, April 25, 2023 12:18:11 PM

Alex,

I have reviewed the letter submitted by the applicant (Cook Restaurant) including the Indoor and outdoor seating plans, the plans are compliant with the State Access Code, Building Code and Plumbing Code. The maximum total Indoor and Outdoor occupancy for this business is 150, the applicant is proposing 148, which is also compliant.

David A Roche
Building Commissioner
Town of Needham

From: [Ronnie Gavel](#)
To: [Alexandra Clee](#)
Cc: [Tom Conroy](#); [Donald Anastasi](#); [Jay Steeves](#)
Subject: Re: Request for comment - Cook Outdoor dining
Date: Monday, April 24, 2023 2:26:11 PM

Fire has no concerns with the additional seating thx

Sent from my iPhone

On Apr 24, 2023, at 11:40 AM, Alexandra Clee <aclee@needhamma.gov> wrote:

Hi there,

I don't believe I heard from Fire yet on this application. Thanks!

Alexandra Clee
Assistant Town Planner
Needham, MA
781-455-7550 ext. 271
www.needhamma.gov

From: Alexandra Clee
Sent: Wednesday, April 5, 2023 11:25 AM
To: David Roche <droche@needhamma.gov>; Thomas Ryder <tryder@needhamma.gov>; John Schlittler <JSchlittler@needhamma.gov>; Tara Gurge <TGurge@needhamma.gov>; Timothy McDonald <tmcdonald@needhamma.gov>; Tom Conroy <TConroy@needhamma.gov>; Carys Lustig <clustig@needhamma.gov>
Cc: Elisa Litchman <elitchman@needhamma.gov>; Lee Newman <LNewman@needhamma.gov>; Justin Savignano <jsavignano@needhamma.gov>; Donald Anastasi <DAnastasi@needhamma.gov>; Jay Steeves <steevesj@needhamma.gov>; Ronnie Gavel <rgavel@needhamma.gov>; Myles Tucker <mtucker@needhamma.gov>
Subject: Request for comment - Cook Outdoor dining

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More information can be found in the attachments.

The Planning Board has scheduled this matter for April 25, 2023. Please send your comments by Wednesday April 19, 2023 at the latest.

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Thank you, alex.

Alexandra Clee
Assistant Town Planner
Needham, MA
781-455-7550 ext. 271
www.needhamma.gov

<COOK_FULL application for website.pdf>

From: noreply@civicplus.com
To: [Alexandra Cleg](#); [Lee Newman](#); [Elisa Litchman](#)
Subject: Online Form Submittal: Contact Planning Board
Date: Monday, April 24, 2023 4:11:53 PM

The following form was submitted via your website: Contact Planning Board

Full Name:: Timothy Bulger

Email Address:: tsbulger@gmail.com

Address:: 265 Harris Ave

City/Town:: Needham

State:: MA

Zip Code:: 02492

Telephone Number:: 5083080725

Comments / Questions: Planning Board,

I am writing in support of Ceed Corp, d/b/a Cook Restaurant's request for further parking waiver. Waiving parking minimums gives the freedom for business owners to decide what is appropriate for parking. Outdoor dining is a benefit to our community, it improves our streetscape, improves foot traffic in our downtown, allows restaurant's access to additional revenue streams, increased seating capacity and much more. Outdoor Dining is more valuable to our town and our residents than parking. Parking minimums are a barrier for local business and can have a negative impact on our community. Please support removing the parking requirements for Cook and consider removing parking minimums from the by law, per the recent parking study recommendations.

Additional Information:

Form submitted on: 4/24/2023 4:11:46 PM

Submitted from IP Address: 50.204.220.98

Referrer Page: No Referrer - Direct Link

Form Address: <https://linkprotect.cudasvc.com/url?a=http%3a%2f%2fwww.needhamma.gov%2fForms.aspx%3ffID%3d229&c=E.1.saV575pYeN0rVZf2HhR0SDzP1i3O01zT69cRt2RaBdrAmDP3B2wtqwBRkC-KqSDi1BGOCiaTVNBtEuKb-Fy7VnGJm34noQRPPT94aXg4rTC5XgC2v63Rw.,&typo=1>

GEORGE GIUNTA, JR.
ATTORNEY AT LAW*
281 CHESTNUT STREET
NEEDHAM, MASSACHUSETTS 02492
*Also admitted in Maryland

TELEPHONE (781) 449-4520

FAX (781) 465-6095

April 24, 2023

Lee Newman, Planning Director
Town of Needham
1471 Highland Avenue
Needham, MA 02492

Re: 920 South Street
Definitive Subdivision Application
Scenic Road and Public Shade Tree

Dear Lee,

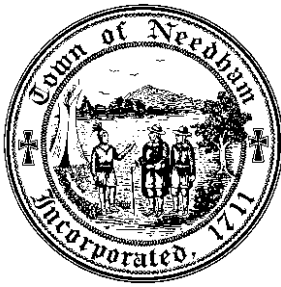
In connection with the pending applications for Definitive Subdivision, Scenic Road Act and Public Shade Tree relative to the property at 920 South Street, Needham, MA, the applicant hereby requests that the new private way be named "River Run Road".

Thank you for your assistance and consideration.

Sincerely,

A handwritten signature in black ink, appearing to read "George Giunta, Jr.", with a stylized, flowing script.

George Giunta, Jr.



PLANNING & COMMUNITY DEVELOPMENT
PLANNING DIVISION

DEFINITIVE SUBDIVISION DECISION

920 South Street

Brian Connaughton

April 25, 2023

DECISION of the Planning Board of the Town of Needham, Massachusetts, (hereinafter together with any entity succeeding to the powers of said Planning Board referred to as the Board) on the petition of Brian Connaughton, 920 South Street, Needham, MA (to be referred to hereinafter as the Petitioner) for property located at and known as 920 South Street, Needham, Norfolk County, Massachusetts. Said property is shown on Assessors Plan No. 205 as Parcel 6, and bounded and described as follows:

Northerly by South Street on two courses, together measuring 177.66 feet; Northeasterly by land now or formerly of Erna Schwartz Place Family Trust, 331.24 feet; Southeasterly again by land now or formerly of Erna Schwartz Place Family Trust, 235.92; Easterly again by land now or formerly of Erna Schwartz Place Family Trust, 621 feet, more or less; Southerly by the Charles River, 264 feet, more or less, Easterly by land now or formerly of Mark Lichtenstein, Trustee and land now or formerly of Philip & Karen B. Silveira, on two courses, together measuring 1,092 feet, more or less.

Said parcel is shown as Lot numbered 16 on a plan drawn by Cheney Engineering Co., Inc., Surveyors, dated March 1987, as approved by the Land Court, filed in the Land Court Registration Office as No. 2417R, a copy of a portion of which is filed with the Norfolk County Registry District of the Land Court with Certificate No. 130654 in Book 654.

The above-described land is subject to the sewer easements as set forth in Document Nos. 6159, 8953, 146331 and shown on said plan as Sewer Easement (30.00 Wide).

The above-described land is also subject to Sewer Easement (20.00 Wide) shown on said plan.

Being the same premises conveyed to Brian Connaughton by deed of VNA Care Hospice, Inc., dated April 8, 2022, filed with the Norfolk County Registry District of the Land Court as Document No. 1501178 and noted on Certificate of Title No. 207299, to which deed reference is made for title.

This decision is in response to an application for approval by the Petitioner of a Definitive Subdivision Plan submitted to the Board on November 8, 2022, under Massachusetts General Laws, Chapter 41, Sections 81-K through 81-GG, inclusive.

If approved, the Plan would create two (2) building lots; all would have frontage and access on the new road.

After causing notice of the time and place of its public hearing and of the subject matter thereof to be published, posted and mailed to the Petitioner, abutters and other parties in interest, as required by law, Adam Block, Chairperson of the Board, called the hearing to order on Monday, December 19, 2022, at 8:00 p.m. in the Charles River Room, first floor, Public Services Administration Building, 500 Dedham Avenue, Needham, Massachusetts, as well as by Zoom Web ID Number 880 4672 526 . The hearing was continued to Tuesday, February 7, 2023 at 7:10 p.m. in the Charles River Room of the Public Services Administration Building, 500 Dedham Avenue, Needham, MA as well as by Zoom Web ID Number 880 4672 5264. The hearing was further continued to Tuesday March 8, 2023 at 7:05 p.m. in the Charles River Room of the Public Services Administration Building, 500 Dedham Avenue, Needham, MA as well as by Zoom Web ID Number 880 4672 5264. The hearing was further continued to Tuesday, April 4, 2023 at 7:10 p.m. in the Charles River Room of the Public Services Administration Building, 500 Dedham Avenue, Needham, Massachusetts as well as by Zoom Web ID Number 880 4672 5264. Board members Adam Block, Jeanne S. McKnight, Paul S. Alpert, Natasha Espada and Artie Crocker were present throughout the proceedings. The deadline for action on the application was extended by the Board upon the request of the Petitioner until May 19, 2023. The record of the proceedings and submissions upon which this approval is based may be referred to in the office of the Town Clerk or the Planning Board Office.

The Board met on April 25, 2023 to deliberate on the proceedings and to consider the evidence. Submitted for their deliberations prior to the close of the public hearing were the following exhibits.

- Exhibit 1 - Application for a Definitive Subdivision, with Exhibit A (List of Waivers) and Exhibit B (Description).
- Exhibit 2 - Letter from Brian Connaughton, dated September 30, 2022.
- Exhibit 3 - Letter directed to Lee Newman, Director of Planning and Community Development, from George Giunta Jr., dated September 30, 2022.
- Exhibit 4 - Plan set consisting of 9 sheets, prepared by Verne T. Porter, 354 Elliot Street, Newton, MA: Sheet 1, Title Sheet, dated September 9, 2022; Sheet 2, entitled "Existing Conditions Site Plan," dated September 9, 2022; Sheet 3, entitled "By Right Subdivision Plan of Land," dated September 9, 2022; Sheet 4, entitled "Proposed Lotting Plan," dated September 9, 2022; Sheet 5, entitled "Proposed Grading Plan," dated September 9, 2022; Sheet 6, entitled "Proposed Utilities Plan," dated September 9, 2022; Sheet 7, entitled "Plan, Profile & Detail Sheet," dated September 9, 2022; Sheet 8, entitled "Detail Sheet," dated September 9, 2022; Sheet 9, entitled "Detail Sheet," dated September 9, 2022.
- Exhibit 5 - Drainage Summary, Proposed Two Lot Residential Subdivision, 920 South Street, Needham, MA, prepared by Verne T. Porter, 354 Elliot Street, Newton, MA, dated September 28, 2022.
- Exhibit 6 - Letter from George Giunta Jr., Attorney, dated March 7, 2023.
- Exhibit 7 - Plan set consisting of 9 sheets, prepared by Verne T. Porter, 354 Elliot Street, Newton, MA: Sheet 1, Title Sheet, dated September 9, 2022, revised January 19, 2023 and February 23, 2023; Sheet 2, entitled "Existing Conditions Site Plan," dated September 9, 2022, revised January 19, 2023 and February 23, 2023; Sheet

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Exhibit 8 - Interdepartmental Communication (IDC) to the Board from Debbie Anderson, Director, Conservation Department, dated December 15, 2022; IDC to the Board from Thomas Ryder, Town Engineer, dated March 23, 2023; IDC to the Board from Tom Conroy, Fire Chief, Needham Fire Department, dated March 29, 2023; IDC to the Board from Chief John Schlittler, Needham Police Department, dated March 29, 2023; and IDC to the Board from Tara Gurge, Assistant Director of Public Health, dated October 20, 2022.

Exhibits 1, 2, 5 and 7 are referred to hereinafter as the Plan.

The Board hereby APPROVES the Subdivision, as shown on the Plan, located in Needham, Norfolk County, Massachusetts, to be recorded herewith, for the reasons and subject to the plan modifications, conditions and waivers herein set forth. The approval herein granted is based on the Plan set consisting of 9 sheets, prepared by Verne T. Porter, 354 Elliot Street, Newton, MA: Sheet 1, Title Sheet, dated September 9, 2022, revised January 19, 2023 and February 23, 2023; Sheet 2, entitled “Existing Conditions Site Plan,” dated September 9, 2022, revised January 19, 2023 and February 23, 2023; Sheet 3, entitled “By Right Subdivision Plan of Land,” dated September 9, 2022, revised January 19, 2023 and February 23, 2023; Sheet 4, entitled “Proposed Lotting Plan,” dated September 9, 2022, revised October 5, 2022, January 19, 2023 and February 23, 2023; Sheet 5, entitled “Proposed Grading Plan,” dated September 9, 2022, revised January 19, 2023 and February 23, 2023; Sheet 6, entitled “Proposed Utilities Plan,” dated September 9, 2022, revised January 19, 2023 and February 23, 2023; Sheet 7, entitled “Plan, Profile & Detail Sheet,” dated September 9, 2022, revised January 19, 2023 and February 23, 2023; Sheet 8, entitled “Detail Sheet,” dated September 9, 2022, revised January 19, 2023 and February 23, 2023; Sheet 9, entitled “Detail Sheet,” dated September 9, 2022, revised January 19, 2023 and February 23, 2023.

1. The Board has waived compliance with the following requirements of the Town of Needham, Subdivision Rules and Procedural Rules of the Planning Board, having found that such action is in the public interest and is not inconsistent with the intent and purposes of the Subdivision Control Law.

a) The Board hereby waives the requirements of Section 3.3.1 of the Town of Needham, Subdivision Rules and Procedural Rules of the Planning Board, which would otherwise require that all streets be laid out to a width of 50 feet and approves instead a 20-foot wide right-of-way, as shown on the Plan, as modified by this decision. The above-named waiver is subject to the provisions of paragraphs 3 through 12 of this decision. The Board found a right-of-way width of 20 feet to be sufficient to accommodate the 2-lot residential

subdivision. In the granting of this waiver, the Board considered the Plan as referred to in Exhibits 1, 3, 5 and 7 hereof.

- b) The Board hereby waives the requirements of Section 3.3.1 of the Town of Needham, Subdivision Rules and Procedural Rules of the Planning Board, which would otherwise require that all streets contain a pavement width of twenty-four feet, and approves instead an 18-foot wide pavement width, as shown on the Plan, as modified by this decision. The above-named waiver is subject to the provisions of paragraphs 3 through 12 of this decision. The Board found a pavement width of 18 feet to be sufficient to accommodate the 2-lot residential subdivision. In the granting of this waiver, the Board considered the Plan as referred to in Exhibits 1, 3, 5 and 7 hereof.
- c) The Board hereby waives the requirements of Section 3.3.5 of the Town of Needham, Subdivision Rules and Procedural Rules of the Planning Board, which would otherwise require that the pavement within the cul-de-sac have a minimum radius of 60 feet and approves instead a radius of 50 feet for the pavement within the cul-de-sac, as shown on the Plan, as modified by this decision. The above-named waiver is subject to the provisions of paragraphs 3 through 12 of this decision. In the granting of this waiver, the Board considered the Plan as referred to in Exhibits 1, 3, 5 and 7 and 8 hereof and the specific goal of minimizing regrading and impervious surface on the site which would otherwise have been required if a 60-foot radius paved circle was to be required.
- d) The Board hereby waives the requirements of Section 3.3.6 of the Town of Needham, Subdivision Rules and Procedural Rules of the Planning Board, which would otherwise require granite or reinforced concrete curbing in accordance with Town specifications at the edge of all streets, and approves instead no curbing, as shown on the Plan, as modified by this decision. The above-named waiver is subject to the provisions of paragraphs 3 through 12 of this decision. In the granting of this waiver, the Board considered the number of homes served by this subdivision, the dead end nature of the proposed street, and the affirmative recommendation of the Town Engineer for this roadway design program.
- e) The Board hereby waives the requirements of Section 3.3.16 of the Town of Needham, Subdivision Rules and Procedural Rules of the Planning Board, which would otherwise require the construction of a sidewalk in accordance with the "Standard Specifications" of the Town of Needham along both sides of the proposed roadway and approves instead no walkways, as shown on the Plan, as modified by this decision. The above-named waiver is subject to the provisions of paragraphs 3 through 12 of this decision. In the granting of this waiver, the Board considered the number of homes served by this subdivision, the projected traffic volume for the new Private Way and the dead end nature of the proposed street.

2. Petitioner shall cause the Plan to be revised to show the following additional or revised information which modifications shall be subject to review and approval of the Board prior to endorsement of the Plan:

- a) The plan shall be revised to show a cul-de-sac landscaping plan.
- b) The plan shall be revised to show a landscaping plan for the 10 foot Raised / Buffer Planting Strip, located along a portion of the westerly boundary, as shown on the plan.

3. The waiver of street construction requirements, as fully set forth in paragraphs 1.a, 1.b, 1.c, 1.d and 1.e is expressly conditioned upon and subject to the restriction that neither the owner nor any successor owner or owners of Lot 1 or Lot 2 as shown on the Plan (hereinafter referred to

individually as a Lot or collectively as the Lots) shall use the Lots for any purpose other than single-family residential use or Lot owner home occupations as allowed under the Zoning By-Law, as shown on the Plan, as approved by the Board and recorded herewith, and there shall be no further division of the Lots as shown thereon without the prior written approval of the Planning Board.

4. Each and every owner or owners of any Lot shall be jointly and severally responsible and liable, and shall fulfill all lot owners' obligations under a Homeowners Trust Agreement, for the costs of the maintenance, repair and reconstruction of the Private Way shown on the Plan and designated thereon and all services, (whether the services are located within the Private Way or in areas shown partially on the Private Way and partially on a Lot), the installation of which are required in connection with this approval, or which may be installed at any time, including, without limitation, maintenance, repair and reconstruction of roadways, water, sewer and drainage facilities and other utilities and related equipment, curbs, monuments, walkways, landscaping and street signs, as and whenever necessary, and including all actions of any kind or nature necessary or appropriate in order to maintain the Private Way in a good, safe and passable condition, including snow plowing, providing access from each Lot to a public way, as shown on the Plan, and providing adequate services to each Lot, all in accordance with these conditions.

5. Each and every owner or owners of any Lot shall be jointly and severally responsible and liable, and shall fulfill all Lot owners' obligations under the Homeowners Trust Agreement, for all maintenance, repairs and reconstruction required for or on the Private Way in compliance with and in conformity with requirements of the Town of Needham and other requirements imposed by law or governmental authority.

6. The Trustees under the Homeowners Trust Agreement and each owner of a Lot shall not use or permit use of the Private Way for any purpose other than ingress and egress from the Lots by the residents of the Lots and their guests and invitees, such use to be limited to pedestrian and private-passenger vehicular traffic, and such other vehicular traffic as is necessary from time to time in cases of emergency, delivery of customary and usual household services and equipment or in connection with the maintenance, repair or reconstruction of the Private Way, the Lot, and any structures thereon and services installed thereon, or hereunder.

7. Neither the Lot owners nor the Trustees under the Homeowners Trust Agreement shall perform, nor shall they permit changes to be made to any Lot, which would impact the functionality or design of the drainage improvements as shown on the Plan.

8. Any and all maintenance, repair or reconstruction work performed on or to the Private Way or in connection with services installed thereon or hereunder by or at the direction of any owner or owners of any Lot or the Trustees under the Homeowners Trust Agreement as provided herein shall be carried out so as to ensure that no fill material nor any products or excavation or erosion resulting from or arising in connection with such work shall be discharged into any storm drainage system, and soil and other material or debris shall be removed from the site only if such removal will not impact the functionality or design of the drainage improvements shown on the Plan, and only to the extent necessary in connection with such work.

9. No Lot owner nor the Trustees under the Homeowners Trust Agreement shall at any time request that the Private Way be laid out or accepted as a public way in the Town of Needham unless such owner or owners or Trustees at its or their sole expense, perform and complete such work as is necessary to cause the Private Way to comply with all standards and regulations of the Town of Needham without waiver, and obtain all permits and approvals required by law in

connection therewith. If the Private Way is accepted by the Town of Needham as a public way at any time, then the provisions hereof applicable to ownership and maintenance of the Private Way shall thereupon terminate.

10. No Lot owner nor the Trustees under the Homeowners Trust Agreement, shall at any time request or petition that any drainage system, water pipes, sewer pipes or related equipment or any other improvement within the subdivision for which design or improvement requirements have been waived by the Board as provided herein, be accepted or maintained by the Town of Needham.

11. The Town of Needham and its designees shall have the right to enter upon the Private Way for all purposes for which public ways are used in the Town of Needham.

12. In any sale or transfer by the owner or any successor owner of any of the Lots, the deed or other instrument shall refer to and incorporate conditions 3 through 11 inclusive and a) any conveyance shall include transfer of a fee interest or the perpetual right and easement to use the Private Way in common with others lawfully entitled thereto for all purposes for which public ways in the Town of Needham may now or hereafter be used consistent with the provisions hereof, and the b) subsurface areas, equipment and facilities used and maintained in connection with the provision of water, sewer, drainage and other utility services provided to the conveyed premises. Any deed or other instrument purporting to transfer or convey any interest in any Lot or Lots which does not expressly refer to and incorporate these conditions shall nevertheless be deemed to contain the same and in all events shall be subject thereto.

13. The Petitioner shall deliver to the Board a Restrictive Covenant incorporating conditions 3 through 11 inclusive of this decision in a form suitable for recording in the Registry of Deeds that shall run with the land and shall be enforceable by the Town. Such restriction shall be referenced on the Plan and shall be recorded therewith. Said covenant shall be enforceable in perpetuity or for the longest period permitted by law and in any event for 100 years.

14. Lots 1 and 2 inclusive as shown on the Plan shall be accessed solely from the new Private Way with no vehicular access for said lots provided directly to South Street. Vehicular access to the new Private Way shall be limited to said Lots 1 and 2 as shown on the Plan.

15. The island in the center of the Private Way cul-de-sac shall be landscaped. The island landscaping shall be maintained by the Lot owners, and each Lot owner shall fulfill all Lot owner obligations relating thereto under the Homeowners Trust Agreement.

16. There shall be no alteration or change to a Lot so as to affect the drainage system for any Lot, or the drainage systems running across a Lot, as shown on the Plan, as modified by this decision, without the prior written approval of the Planning Board or Town Engineer as noted below. Any Lot owner who proposes to make a change from the approved Plan shall first file a copy of a plan depicting the proposed changes with the Needham Town Engineer, with a request for a determination as to whether the changes affect the drainage system. If the Town Engineer determines that the changes affect the drainage system, or if the Town Engineer fails to respond to the request for a determination within 45 days, the Lot owner may file the plan with the Planning Board for its review. In such event, the Lot owner shall file with the Planning Board such information as the Planning Board determines necessary for its review. The Planning Board shall hold a public hearing within 60 days of receiving a complete filing. After said public hearing, the Board may, in its sole discretion, find that the proposed changes do not appear to negatively impact down gradient property owners or interfere with the functioning of the

drainage system(s) of the Lot or subdivision. In such event the Lot owner, only upon receipt of a written decision from the Planning Board, may implement the changes as shown on the new plan.

17. Off-street drainage surety in the amount of \$7,000.00 shall be posted (\$3,500.00 per lot) prior to the release of Lots 1-2 inclusive as shown on the Plan for purposes of building or conveyance. As recommended in the memo of the Board of Health dated October 20, 2023, all lots shall be graded to the limits of construction so as to have no standing water and/or otherwise create a public health nuisance. Grading shall not improperly shed or illegally increase drainage onto adjacent properties. All subsequent developers or builders shall be notified of the off-street drainage bond and the specific off-street drainage requirements. If required by the Board of Health, an as-built certified grading plan(s) of all or any of the lots shall be submitted prior to release of the drainage surety.

18. Each record owner, whether one or more persons or entities, of title to Lots 1 and 2, as shown on the Plan, shall maintain and keep operational their respective roof drainage system in accordance with the Plan, as approved by this decision and as further described in the Drainage Summary, Proposed Two Lot Residential Subdivision, 920 South Street, Needham, MA, prepared by Verne T. Porter, 354 Elliot Street, Newton, MA, dated September 28, 2022.

19. Prior to plan endorsement and in keeping with Phase II NPDES, Town of Needham as filed July 30, 2003, the Petitioner shall select a BMP topic under “Public Education and Outreach” and “Public Participation/Involvement” and shall implement said selected topic prior to the release of the subdivision lots.

20. The following safeguards shall be implemented during construction:

a. The hours of construction and construction related activities shall be limited to 7:30 a.m. to 6:00 p.m. Monday through Saturday.

b. The Petitioner’s contractor shall designate a person who shall be responsible for the construction process. That person shall be identified to the Police Department, the Department of Public Works, the Building Inspector and the abutters and shall be contacted if problems arise during the construction process. The designee shall also be responsible for assuring that truck traffic and the delivery of construction material does not interfere with or endanger traffic flow on South Street. The designee shall supply a phone number where the designee can be reached 24 hours per day.

c. The Petitioner shall take appropriate steps to minimize, to the maximum extent feasible, dust generated by the construction, including, but not limited to, requiring subcontractors to place covers over open trucks transporting construction debris or materials to or from the site and keeping South Street clean of dirt and debris and watering appropriate portions of the construction site from time to time as may be necessary.

21. Prior to site alteration the Petitioner shall mark in the field those trees which the landscape plan indicates will be retained. Such trees identified to be preserved shall be distinguished with appropriate markings, which may include surrounding fences or stakes. Any such trees removed which were identified for retention shall be replaced with trees of similar quality and caliper or as otherwise approved by the Board.

22. A Department of Environmental Protection sewer extension and connection permit may be required to service the subdivision and abutting lots. If required, approval of this subdivision is

subject to the granting by the Select Board and the Department of Environmental Protection of a Sewer Extension and Connection Permit.

23. Any and all special permits required by the Massachusetts Water Resources Authority shall be obtained at the expense of the Petitioner.

24. A special sewer connection permit program fee shall be provided for all lots within the subdivision.

25. Grade adjustment rings are not permitted to adjust gate boxes and/or other castings. The Petitioner shall use appropriately sized castings.

26. All catch basins shall remain functional at all times. Rims shall be set at binder elevation and shall be adjusted to finish course elevation prior to placement of the top course of pavement.

27. If the binder course of pavement is exposed to one winter season, it shall be chipsealed prior to September 1 of the following winter season. If the roadway work is not completed prior to the third winter season, road reconstruction may be required by the Highway Superintendent.

28. No openings in the pavement shall be made after the chipseal has been laid between September 1 and April 1.

29. The construction, operation and maintenance of the subdivision shall be conducted in accordance with the EPA's Memorandum of Understanding signed by the Board of Selectmen.

30. "As-built" construction plans of the sewer, water and drainage utilities shall be submitted to the Department of Public Works and the Board for review and approval prior to release of the respective performance bond amounts.

31. All future sewer tie-ins to properties located outside of this subdivision shall be accomplished in a manner consistent with the "Town of Needham Master Plan of Connection to the MWRA Sewer" dated January 8, 1988, (as revised) and prepared by the Needham Public Works, Sewer Division.

32. Prior to the commencement of any street construction within the subdivision, the location of future street lighting, location of fire alarm circuits and outlets, and the location of underground power to serve these. As applicable, shall be shown on an amended version of the definitive utility plan to be filed with the Board and Public Works Department.

33. The provisions of M.G.L., Chapter 131, Section 40 and 40A and the Needham Wetlands Protection By-Law shall be satisfied.

34. All construction staging and parking shall be on-site. No construction parking shall be permitted on South Street or on any other public street.

35. All areas where utilities are proposed shall be compacted to the satisfaction of the Public Works Department.

36. In the absence of any details or waivers set forth herein, the current Subdivision Regulations and Procedural Rules of the Planning Board shall govern and are hereby made a part of this deci-

sion. All construction details not specifically shown on the approved Plan shall conform to Department of Public Works specifications.

37. The developer is directed to submit the Subdivision Inspection Form during all phases of construction as required, in accordance with Appendix E of the Subdivision Regulations and Procedural Rules of the Planning Board.

38. Notwithstanding the provisions of the Town of Needham, Subdivision Rules and Procedural Rules of the Planning Board, the Petitioner shall have two years from the date of endorsement of the Plan to complete the installation and construction of the new Private Way, and the services provided therein, in accordance with the applicable Subdivision Regulations and Procedural Rules of the Planning Board. Failure to so complete shall automatically rescind approval of the Subdivision Plan.

39. The Petitioner shall enter a written agreement to guarantee completion, once commenced, of the required improvements for all lots in the Subdivision, as shown on the Plan, with such construction and installation to be additionally secured by one of the methods delineated under the provisions of Section 3.5.1. Such agreement shall be subject to review and approval of the Board prior to endorsement of the Plan.

40. The Petitioner shall deliver to the Board for its approval a duly executed easement deed to the Town of Needham granting to the Town the right to pass on foot or by vehicle over the Private Way and access rights over the “Drain Easement” and “Sewer and Drain Easement” on each of the Lots, a Subdivision Covenant, a Buffer Planting Strip Covenant and Restriction, a Restrictive Covenant and Homeowners Trust Agreement, all as may be required and as shown on the Plan (“the Documents”). The Documents shall be subject to review and approval of the Board prior to endorsement of the Plan. The Documents shall be referenced on the Plan and all documents shall be recorded with the Plan.

41. Prior to the release of any lots for building or sale, copies of the recorded instruments described in paragraphs 13 and 40 of this decision and copies of the recorded plan shall be provided to the Director of Planning and Community Development.

42. The Petitioner shall present the Plan to the Board for proper endorsement within ninety (90) days of the date this decision is executed unless such time period is extended, in writing, by the Board. The Board reserves the right to rescind its approval if said Plan is not presented to the Board for endorsement within the time period herein specified. Further, the Petitioner or his authorized representative shall submit the Plan to the Director of Planning and Community Development fourteen (14) days in advance of its presentation to the Board to allow adequate time to review the revised Plan for compliance with the Conditions of this decision.

The foregoing have been stated for the purpose of emphasizing their importance and are not intended to be all inclusive or to negate any provision of the Town of Needham, Subdivision Rules and Procedural Rules of the Planning Board.

Under the provisions of the Town of Needham, Subdivision Regulations and Procedural Rules of the Planning Board and Massachusetts General Laws, Chapter 41, Sections 81-K through 81-GG, inclusive, the Board shall have the power to modify or amend the terms and conditions of this approval after due notice on the application of the owner, lessee or mortgagee of the premises or upon its own motion. All the provisions of the Subdivision Control Law applicable to approval shall, where appropriate, be applicable to such modification or amendment. Such power is

hereby reserved. Appeals, if any, shall be made pursuant to Section 81-BB of the Massachusetts General Laws, Chapter 41, and shall be filed within twenty (20) days after the date of filing this decision with the Town Clerk.

The provisions of this Approval and Conditions shall be binding upon every owner or owners of each of the lots, as shown on the Plan, and the executors, administrators, heirs, successors and assigns of such owners, and the obligations and restrictions herein set forth shall run with said land in full force and effect for the benefit of and enforceable by the Town of Needham. Reference to this Approval shall be entered upon the Plan and this Approval shall be recorded in the Norfolk Registry of Deeds with the Plan.

Witness our hands this 25th day of April, 2023

NEEDHAM PLANNING BOARD

Adam Block, Chairman

Jeanne S. McKnight

Natasha Espada

Paul S. Alpert

Artie Crocker

COMMONWEALTH OF MASSACHUSETTS

Norfolk, ss _____ 2023

On this _____ day of _____, 2023, before me, the undersigned notary public, personally appeared _____, one of the members of the Planning Board of the Town of Needham, Massachusetts, proved to me through satisfactory evidence of identification, which was _____, to be the person whose name is signed on the proceeding or attached document, and acknowledged the foregoing to be the free act and deed of said Board before me.

Notary Public name:

My Commission Expires: _____

TO WHOM IT MAY CONCERN: This is to certify that the 20-day appeal period on the approval of the Project proposed by Brian Connaughton, 920 South Street, Needham, MA, for Property located at 920 South Street, Needham, Norfolk County, Massachusetts, has passed,

____ and there have been no appeals filed in the Office of the Town Clerk or
____ there has been an appeal filed.

Date

Theodora K. Eaton, Town Clerk

Copy sent to:

Petitioner-Certified Mail # _____
Town Clerk
Building Commissioner
Conservation Commission

Board of Selectmen
Engineering
Fire Department
Police Department

Board of Health
Director, PWD
Design Review Board

Parties in Interest

George Giunta Jr., Attorney

DRAFT

For Planning Board Use ONLY

**NEEDHAM
ZONING BOARD OF APPEALS
AGENDA**

Thursday, April 27, 2023 - 7:30PM

Charles River Room
Public Services Administration Building
500 Dedham Avenue
Needham, MA 02492

Also Livestreamed on Zoom
Zoom Meeting ID **876-1480-7841**
To join the meeting click this link:
<https://us02web.zoom.us/j/87614087841>

AGENDA

Minutes Review and approve Minutes from March 16, 2023 meeting.

Case #1 – 7:30PM **1000 Olin Lane** – ENGIE Distributed Renewables Development, LLC has applied for an Amendment to a Special Permit under Sections 5.1.3 and any other applicable Sections of the By-Law to waive parking plan and parking design requirements to permit the installation of a 480kW AC solar canopy array over the existing Main Parking Lot A at Olin College. The property is located at 1000 Olin Lane, Needham, MA in the Institutional District.

Next ZBA Meeting – May 18, 2023



ZBA Application For Hearing

Applicants must consult with the Building Inspector prior to filing this Application. Failure to do so will delay the scheduling of the hearing.

Applicant Information

Applicant Name	ENGIE Distributed Renewables Development, LLC			Date:	04/03/2023
Applicant Address	225 W. Hubbard St. Suite 200 Chicago, IL 60654				
Phone	937-901-5115	email	kristen.fornes@ENGIE.com		
Applicant is ☐ Owner; ☒ Tenant; ☐ Purchaser; ☐ Other _____					
If not the owner, a letter from the owner certifying authorization to apply must be included					
Representative Name	Kristen Tarr				
Address	225 W. Hubbard St. Suite 200 Chicago, IL 60654				
Phone	573-239-7508	email	kristen.tarr@ENGIE.com		
Representative is ☐ Attorney; ☐ Contractor; ☐ Architect; ☒ Other <u>Developer</u>					
Contact ☒ Me ☐ Representative in connection with this application.					

Subject Property Information

Property Address	1000 Olin Way, Needham, MA 02492		
Map/Parcel Number	199/309.0-0020-0000.0	Zone of Property	Institutional
Is property within 100 feet of wetlands, 200 feet of stream or in flood Plain? ☒ Yes ☐ No			
Is property ☐ Residential or ☒ Commercial			
If residential renovation, will renovation constitute "new construction"? ☐ Yes ☐ No			
If commercial, does the number of parking spaces meet the By-Law requirement? ☒ Yes ☐ No			
Do the spaces meet design requirements? ☒ Yes ☐ No			
Application Type (<i>select one</i>): ☐ Special Permit ☐ Variance ☐ Comprehensive Permit ☒ Amendment ☐ Appeal Building Inspector Decision			



ZBA Application For Hearing

Existing Conditions:

Existing paved parking lot (Main Lot A) for use by students, faculty, and staff at the Franklin W. Olin College of Engineering.

Statement of Relief Sought:

Developer proposes constructing a 480kW AC solar carport canopy over existing Main Lot A.

Applicable Section(s) of the Zoning By-Law:

Section 5.1.3 of the Zoning By-Law (Parking Plan and Design Requirements) and any other applicable sections of the By-Law.

If application under Zoning Section 1.4 above, list non-conformities:

	Existing Conditions	Proposed Conditions
Use		
# Dwelling Units		
Lot Area (square feet)		
Front Setback (feet)		
Rear Setback (feet)		
Left Setback (feet)		
Right Setback (feet)		
Frontage (feet)		
Lot Coverage (%)		
FAR (Floor area divided by the lot area)		
<i>Numbers must match those on the certified plot plan and supporting materials</i>		



ZBA Application For Hearing

Date Structure Constructed including additions: August 2023 (Expected Mechanical Completion Date)	Date Lot was created: 2000
---	--------------------------------------

Submission Materials	Provided
Certified Signed Plot Plan of Existing and Proposed Conditions <i>(Required)</i>	X
Application Fee, check made payable to the Town of Needham Check holders name, address, and phone number to appear on check and in the Memo line state: "ZBA Fee – Address of Subject Property" <i>(Required)</i>	X
If applicant is tenant, letter of authorization from owner <i>(Required)</i>	X
Electronic submission of the complete application with attachments <i>(Required)</i>	X
Elevations of Proposed Conditions <i>(when necessary)</i>	X
Floor Plans of Proposed Conditions <i>(when necessary)</i>	

Feel free to attach any additional information relative to the application.
Additional information may be requested by the Board at any time during the
application or hearing process.



I hereby request a hearing before the Needham Zoning Board of Appeals. I have
reviewed the Board Rules and instructions.

I certify that I have consulted with the Building Inspector 12/15/2022
date of consult

Date: 3/31/2023 Applicant Signature 

DS
JT

*An application must be submitted to the Town Clerk's Office at
townclerk@needhamma.gov and the ZBA Office at dcollins@needhamma.gov*



ZBA Application For Hearing

Applicants must consult with the Building Inspector prior to filing this Application. Failure to do so will delay the scheduling of the hearing.

Applicant Information

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Applicant Address	225 W. Hubbard St. Suite 200 Chicago, IL 60654				
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Applicant is ☐ Owner; ☒ Tenant; ☐ Purchaser; ☐ Other _____					
If not the owner, a letter from the owner certifying authorization to apply must be included					
Representative Name	Kristen Tarr				
Address	225 W. Hubbard St. Suite 200 Chicago, IL 60654				
Phone	573-239-7508	email	kristen.tarr@ENGIE.com		
Representative is ☐ Attorney; ☐ Contractor; ☐ Architect; ☒ Other <u>Developer</u>					
Contact ☒ Me ☐ Representative in connection with this application.					

Subject Property Information

Property Address	1000 Olin Way, Needham, MA 02492		
Map/Parcel Number	199/309.0-0020-0000.0	Zone of Property	Institutional
Is property within 100 feet of wetlands, 200 feet of stream or in flood Plain? ☒ Yes ☐ No			
Is property ☐ Residential or ☒ Commercial			
If residential renovation, will renovation constitute "new construction"? ☐ Yes ☐ No			
If commercial, does the number of parking spaces meet the By-Law requirement? ☒ Yes ☐ No			
Do the spaces meet design requirements? ☒ Yes ☐ No			
Application Type (<i>select one</i>): ☐ Special Permit ☐ Variance ☐ Comprehensive Permit ☒ Amendment ☐ Appeal Building Inspector Decision			



ZBA Application For Hearing

Existing Conditions:

Existing paved parking lot (Main Lot A) for use by students, faculty, and staff at the Franklin W. Olin College of Engineering.

Statement of Relief Sought:

Developer proposes constructing a 480kW AC solar carport canopy over existing Main Lot A.

Applicable Section(s) of the Zoning By-Law:

Section 5.1.3 of the Zoning By-Law (Parking Plan and Design Requirements) and any other applicable sections of the By-Law.

If application under Zoning Section 1.4 above, list non-conformities:

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<i>Numbers must match those on the certified plot plan and supporting materials</i>		



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Electronic submission of the complete application with attachments <i>(Required)</i>	X
Elevations of Proposed Conditions <i>(when necessary)</i>	X
Floor Plans of Proposed Conditions <i>(when necessary)</i>	

Feel free to attach any additional information relative to the application.
Additional information may be requested by the Board at any time during the
application or hearing process.



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reviewed the Board Rules and instructions.

I certify that I have consulted with the Building Inspector 12/15/2022
date of consult

Date: 3/31/2023 Applicant Signature 

DS
JT

*An application must be submitted to the Town Clerk's Office at
townclerk@needhamma.gov and the ZBA Office at dcollins@needhamma.gov*



Preliminary SWPPP Report

To: Olin College

From: SoCore Engineering

Date: 03/31/2023

Subject: Permit Submission to Town of Needham, MA - Zoning Board of Appeals

SoCore Engineering, an ENGIE North America company, proposes to construct a solar carport on the campus of Olin College. The site is an existing parking lot located at 1000 Olin Way in Needham, Massachusetts featuring head-in parking stalls separated by landscaped islands with curb and gutter. A topographic survey has been conducted onsite to give additional information on the existing features of the site to aid in the final design of the solar carport project.

The proposed improvements include the installation of five total solar carport structures and associated electrical equipment and cables. The installation of these features will require disturbances to the ground- most notably to install the concrete pier foundations supporting the carport structures as well as the trenching and boring required to install electrical cables. The installation of the solar carport structures will be completed in phases to ensure minimal disturbance and inconvenience to the students and faculty that use this parking lot.

A total of 13,400 SF of impervious area will be created due to the installation of the solar carports. These carport structures will feature rain gutters and snowguards to prevent water and snow from falling onto vehicles and people beneath. The gutters will collect the rain and snow melt from the solar panels and direct it through downspouts to the parking lot level where it will flow into the nearest storm drains. The stormwater will flow through this existing storm sewer network and cross underneath Olin Way before releasing into the existing wetland. No drainage features are proposed for this project beyond the stormwater conveyance system within the solar canopy.

A full SWPPP report will be prepared prior to construction to ensure that the construction activities planned on site will have minimal impact on the surrounding natural environment. This SWPPP will be present on-site during construction and shall be made available upon request by a State or Municipal inspector.

Temporary erosion control best management practices (BMPs) will be implemented on site to ensure no sediment laden stormwater runoff leaves the construction area. The provided drawing set details the proposed design and locations of these BMPs on the C3.00 – Erosion Control & Stormwater Management Plan and C3.10 – Erosion Control Details sheets. Based on the current design, all rainwater that falls on the project area leaves the site through the existing storm sewer network. Inlet protection will also be used to ensure untreated stormwater does not flow into the existing storm sewer network within the parking lot area and temporary soil stockpiles on site will be protected with additional BMPs as needed. If this design is modified in such a way that some of this stormwater flows offsite without flowing through the storm sewer, then silt fence or sediment control logs will be installed and maintained along



the down-slope project perimeter to capture any sediment in this stormwater and protect all downstream areas. A construction entrance will be provided if deemed necessary based on site conditions to prevent sediment from being tracked onto public roadways.

Prior to construction, a Notice of Intent (NOI) will be filed through the National Pollutant Discharge Elimination System (NPDES) program within the US EPA to provide coverage under the NPDES General Permit. Upon construction completion and final stabilization of all disturbed areas, a Notice of Termination (NOT) will be filed to terminate coverage under the NPDES General Permit. If there are any concerns with this preliminary SWPPP plan please contact our team using the contact information below.

Report by:

Will Maidment

William.Maidment@engie.com

(815) 382-6480

Reviewed by:

Mark Albery, PE

Mark.Albery@engie.com

(260) 720-2191



Preliminary SWPPP Report

To: Olin College

From: SoCore Engineering

Date: 03/31/2023

Subject: Permit Submission to Town of Needham, MA - Zoning Board of Appeals

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(815) 382-6480

Reviewed by:

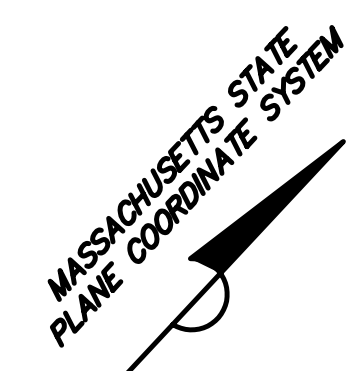
Mark Albery, PE

Mark.Albery@engie.com

(260) 720-2191

N/F
BABSON COLLEGE

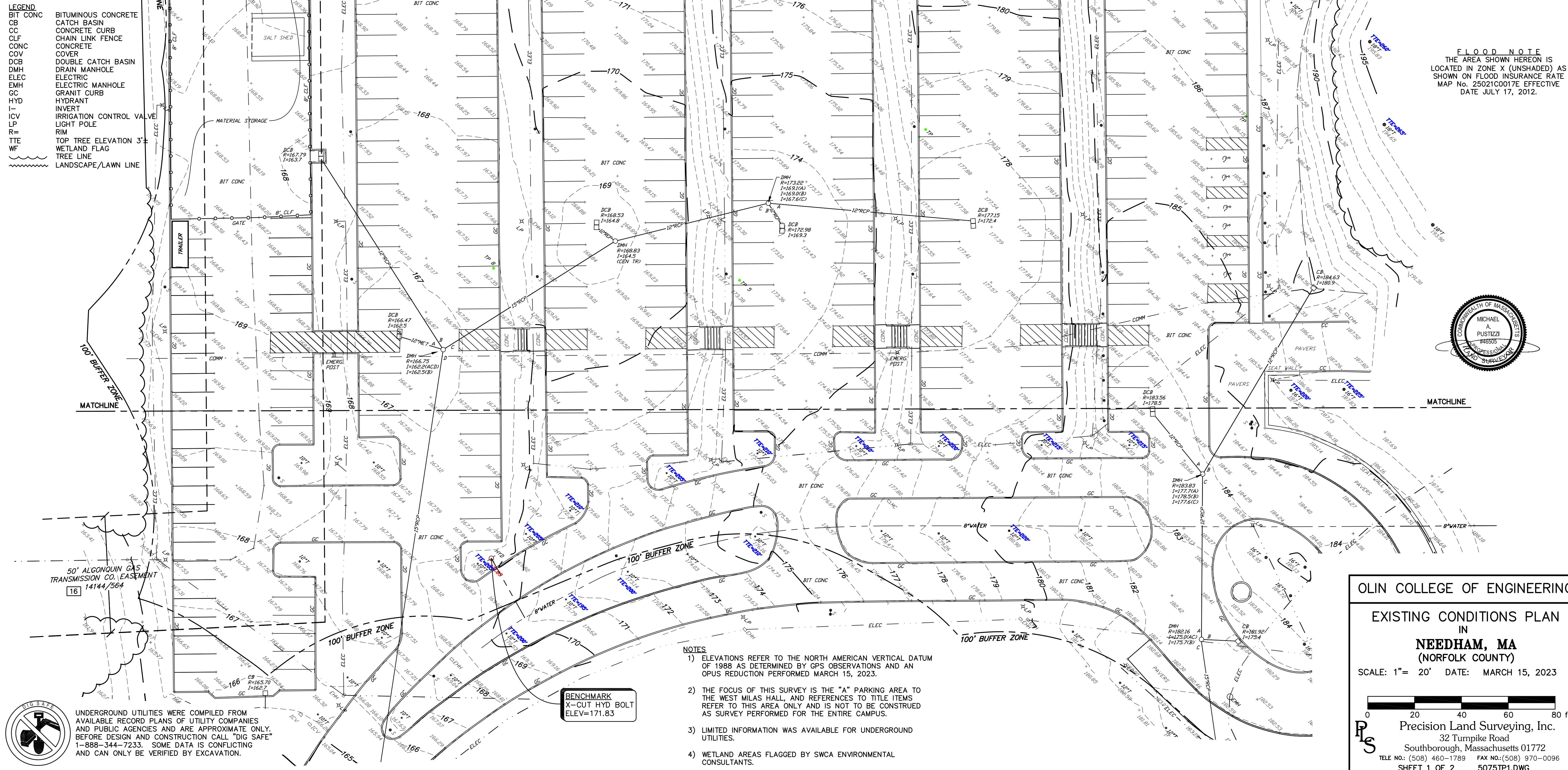
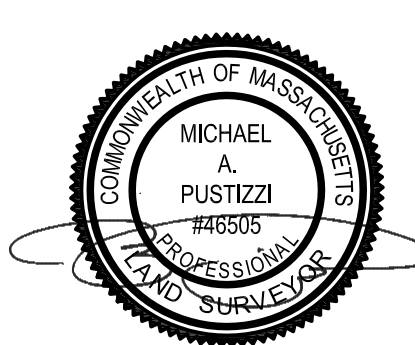
WELLESLEY
NEEDHAM



- LEGEND**
- BIT CONC BITUMINOUS CONCRETE
 - CB CATCH BASIN
 - CC CONCRETE CURB
 - CLF CHAIN LINK FENCE
 - CONC CONCRETE
 - COV COVER
 - DCB DOUBLE CATCH BASIN
 - DMH DRAIN MANHOLE
 - ELEC ELECTRIC
 - EMH ELECTRIC MANHOLE
 - GC GRANIT CURB
 - HYD HYDRANT
 - I INVERT
 - ICV IRRIGATION CONTROL VALVE
 - LP LIGHT POLE
 - R RIM
 - TTE TOP TREE ELEVATION 3'
 - WF WETLAND FLAG
 - Tree LINE LANDSCAPE/LAWN LINE

50' ALGONQUIN GAS
TRANSMISSION CO. EASEMENT
14155/564 [16]

FLOOD NOTE
THE AREA SHOWN HEREON IS
LOCATED IN ZONE X (UNSHADED) AS
SHOWN ON FLOOD INSURANCE RATE
MAP No. 25021C0017E EFFECTIVE
DATE JULY 17, 2012.



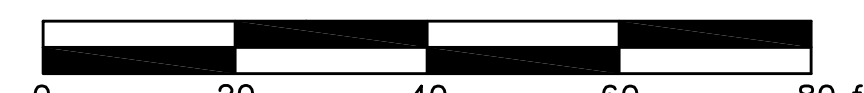
- NOTES**
- ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS DETERMINED BY GPS OBSERVATIONS AND AN OPUS REDUCTION PERFORMED MARCH 15, 2023.
 - THE FOCUS OF THIS SURVEY IS THE "A" PARKING AREA TO THE WEST MILAS HALL, AND REFERENCES TO TITLE ITEMS REFER TO THIS AREA ONLY AND IS NOT TO BE CONSTRUED AS SURVEY PERFORMED FOR THE ENTIRE CAMPUS.
 - LIMITED INFORMATION WAS AVAILABLE FOR UNDERGROUND UTILITIES.
 - WETLAND AREAS FLAGGED BY SWCA ENVIRONMENTAL CONSULTANTS.

BENCHMARK
X-CUT HYD BOLT
ELEV=171.83

OLIN COLLEGE OF ENGINEERING

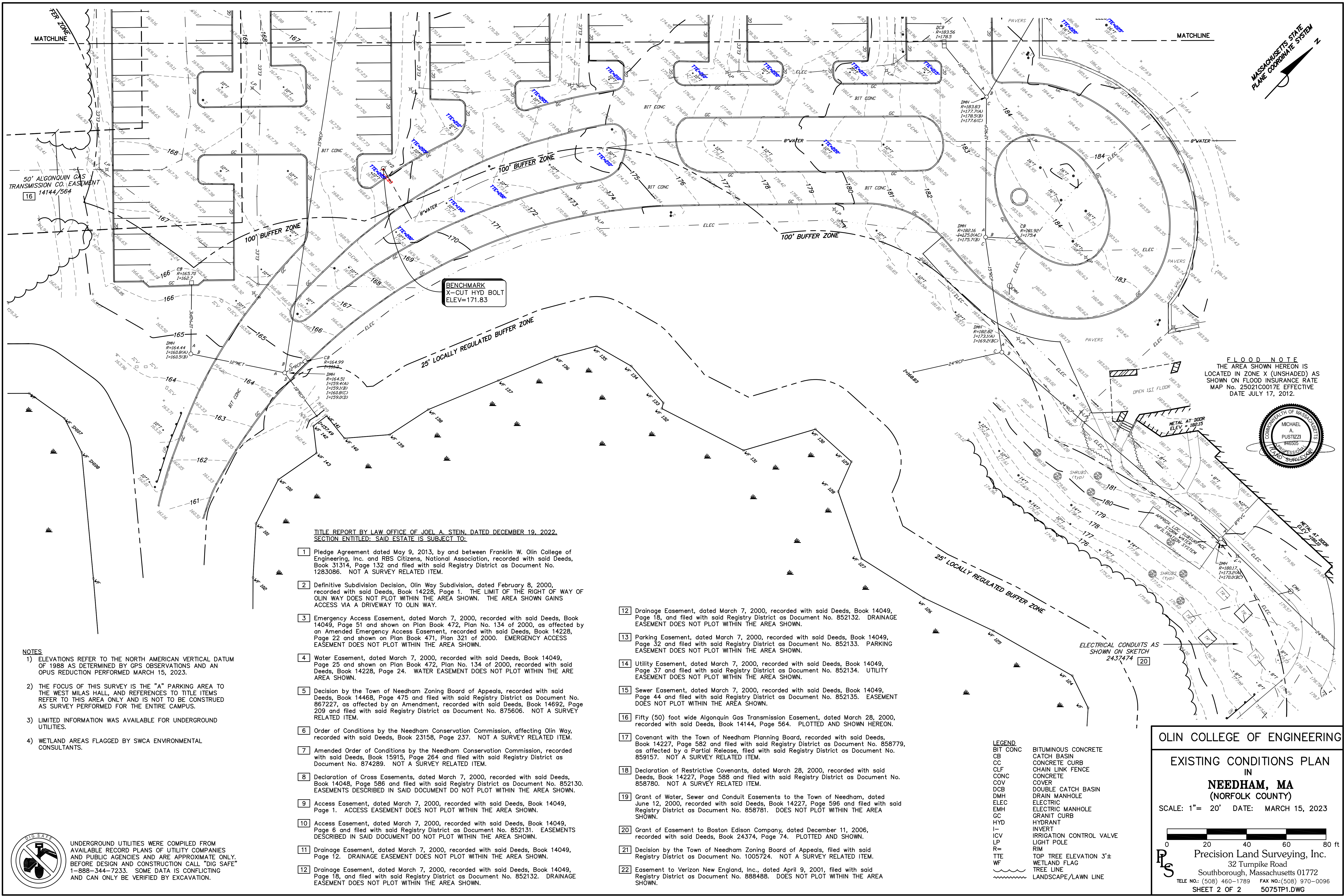
EXISTING CONDITIONS PLAN
IN
NEEDHAM, MA
(NORFOLK COUNTY)

SCALE: 1"= 20' DATE: MARCH 15, 2023



Precision Land Surveying, Inc.
32 Turnpike Road
Southborough, Massachusetts 01772
TEL NO: (508) 460-1789 FAX NO: (508) 970-0096
SHEET 1 OF 2 5075TP1.DWG

DIG SAFE
UNDERGROUND UTILITIES WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. BEFORE DESIGN AND CONSTRUCTION CALL "DIG SAFE" 1-888-344-7233. SOME DATA IS CONFLICTING AND CAN ONLY BE VERIFIED BY EXCAVATION.



FLOOD NOTE
THE AREA SHOWN HEREON IS
LOCATED IN ZONE X (UNSHADED) AS
SHOWN ON FLOOD INSURANCE RATE
MAP No. 25021C0017E EFFECTIVE
DATE JULY 17, 2012.



TITLE REPORT BY LAW OFFICE OF JOEL A. STEIN, DATED DECEMBER 19, 2022.
SECTION ENTITLED: SAID ESTATE IS SUBJECT TO:

- 1 Pledge Agreement dated May 9, 2013, by and between Franklin W. Olin College of Engineering, Inc. and RBS Citizens, National Association, recorded with said Deeds, Book 31314, Page 132 and filed with said Registry District as Document No. 1283086. NOT A SURVEY RELATED ITEM.
- 2 Definitive Subdivision Decision, Olin Way Subdivision, dated February 8, 2000, recorded with said Deeds, Book 14228, Page 1. THE LIMIT OF THE RIGHT OF WAY OF OLIN WAY DOES NOT PLOT WITHIN THE AREA SHOWN. THE AREA SHOWN GAINS ACCESS VIA A DRIVEWAY TO OLIN WAY.
- 3 Emergency Access Easement, dated March 7, 2000, recorded with said Deeds, Book 14049, Page 51 and shown on Plan Book 472, Plan No. 134 of 2000, as affected by an Amended Emergency Access Easement, recorded with said Deeds, Book 14228, Page 22 and shown on Plan Book 471, Plan 321 of 2000. EMERGENCY ACCESS EASEMENT DOES NOT PLOT WITHIN THE AREA SHOWN.
- 4 Water Easement, dated March 7, 2000, recorded with said Deeds, Book 14049, Page 25 and shown on Plan Book 472, Plan No. 134 of 2000, recorded with said Deeds, Book 14228, Page 24. WATER EASEMENT DOES NOT PLOT WITHIN THE AREA SHOWN.
- 5 Decision by the Town of Needham Zoning Board of Appeals, recorded with said Deeds, Book 14468, Page 475 and filed with said Registry District as Document No. 867227, as affected by an Amendment, recorded with said Deeds, Book 14692, Page 209 and filed with said Registry District as Document No. 875606. NOT A SURVEY RELATED ITEM.
- 6 Order of Conditions by the Needham Conservation Commission, affecting Olin Way, recorded with said Deeds, Book 23158, Page 237. NOT A SURVEY RELATED ITEM.
- 7 Amended Order of Conditions by the Needham Conservation Commission, recorded with said Deeds, Book 15915, Page 264 and filed with said Registry District as Document No. 874289. NOT A SURVEY RELATED ITEM.
- 8 Declaration of Cross Easements, dated March 7, 2000, recorded with said Deeds, Book 14048, Page 586 and filed with said Registry District as Document No. 852130. EASEMENTS DESCRIBED IN SAID DOCUMENT DO NOT PLOT WITHIN THE AREA SHOWN.
- 9 Access Easement, dated March 7, 2000, recorded with said Deeds, Book 14049, Page 1. ACCESS EASEMENT DOES NOT PLOT WITHIN THE AREA SHOWN.
- 10 Access Easement, dated March 7, 2000, recorded with said Deeds, Book 14049, Page 6 and filed with said Registry District as Document No. 852131. EASEMENTS DESCRIBED IN SAID DOCUMENT DO NOT PLOT WITHIN THE AREA SHOWN.
- 11 Drainage Easement, dated March 7, 2000, recorded with said Deeds, Book 14049, Page 12. DRAINAGE EASEMENT DOES NOT PLOT WITHIN THE AREA SHOWN.
- 12 Drainage Easement, dated March 7, 2000, recorded with said Deeds, Book 14049, Page 18, and filed with said Registry District as Document No. 852132. DRAINAGE EASEMENT DOES NOT PLOT WITHIN THE AREA SHOWN.

- 12 Drainage Easement, dated March 7, 2000, recorded with said Deeds, Book 14049, Page 18, and filed with said Registry District as Document No. 852132. DRAINAGE EASEMENT DOES NOT PLOT WITHIN THE AREA SHOWN.
- 13 Parking Easement, dated March 7, 2000, recorded with said Deeds, Book 14049, Page 32 and filed with said Registry District as Document No. 852133. PARKING EASEMENT DOES NOT PLOT WITHIN THE AREA SHOWN.
- 14 Utility Easement, dated March 7, 2000, recorded with said Deeds, Book 14049, Page 37 and filed with said Registry District as Document No. 852134. UTILITY EASEMENT DOES NOT PLOT WITHIN THE AREA SHOWN.
- 15 Sewer Easement, dated March 7, 2000, recorded with said Deeds, Book 14049, Page 44 and filed with said Registry District as Document No. 852135. EASEMENT DOES NOT PLOT WITHIN THE AREA SHOWN.
- 16 Fifty (50) foot wide Algonquin Gas Transmission Easement, dated March 28, 2000, recorded with said Deeds, Book 14144, Page 564. PLOTTED AND SHOWN HEREON.
- 17 Covenant with the Town of Needham Planning Board, recorded with said Deeds, Book 14227, Page 582 and filed with said Registry District as Document No. 858779, as affected by a Partial Release, filed with said Registry District as Document No. 859157. NOT A SURVEY RELATED ITEM.
- 18 Declaration of Restrictive Covenants, dated March 28, 2000, recorded with said Deeds, Book 14227, Page 588 and filed with said Registry District as Document No. 858780. NOT A SURVEY RELATED ITEM.
- 19 Grant of Water, Sewer and Conduit Easements to the Town of Needham, dated June 12, 2000, recorded with said Deeds, Book 14227, Page 596 and filed with said Registry District as Document No. 858781. DOES NOT PLOT WITHIN THE AREA SHOWN.
- 20 Grant of Easement to Boston Edison Company, dated December 11, 2006, recorded with said Deeds, Book 24374, Page 74. PLOTTED AND SHOWN.
- 21 Decision by the Town of Needham Zoning Board of Appeals, filed with said Registry District as Document No. 1005724. NOT A SURVEY RELATED ITEM.
- 22 Easement to Verizon New England, Inc., dated April 9, 2001, filed with said Registry District as Document No. 888488. DOES NOT PLOT WITHIN THE AREA SHOWN.

- NOTES**
- 1) ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS DETERMINED BY GPS OBSERVATIONS AND AN OPUS REDUCTION PERFORMED MARCH 15, 2023.
 - 2) THE FOCUS OF THIS SURVEY IS THE "A" PARKING AREA TO THE WEST MILAS HALL, AND REFERENCES TO TITLE ITEMS REFER TO THIS AREA ONLY AND IS NOT TO BE CONSTRUED AS SURVEY PERFORMED FOR THE ENTIRE CAMPUS.
 - 3) LIMITED INFORMATION WAS AVAILABLE FOR UNDERGROUND UTILITIES.
 - 4) WETLAND AREAS FLAGGED BY SWCA ENVIRONMENTAL CONSULTANTS.

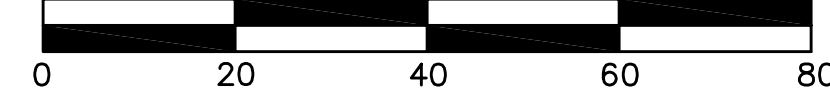
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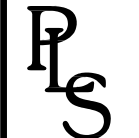
- LEGEND**
- | | |
|----------|--------------------------|
| BIT CONC | BITUMINOUS CONCRETE |
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| CONC | CONCRETE |
| COV | COVER |
| DCB | DOUBLE CATCH BASIN |
| DMH | DRAIN MANHOLE |
| ELEC | ELECTRIC |
| EMH | ELECTRIC MANHOLE |
| GC | GRANIT CURB |
| HYD | HYDRANT |
| I | INVERT |
| ICV | IRRIGATION CONTROL VALVE |
| LP | LIGHT POLE |
| R | RIM |
| TTE | TOP TREE ELEVATION 3'± |
| WF | WETLAND FLAG |
| | TREE LINE |
| | LANDSCAPE/LAWN LINE |

OLIN COLLEGE OF ENGINEERING

EXISTING CONDITIONS PLAN
IN
NEEDHAM, MA
(NORFOLK COUNTY)

SCALE: 1"= 20' DATE: MARCH 15, 2023



 Precision Land Surveying, Inc.
32 Tumpike Road
Southborough, Massachusetts 01772
TEL NO: (508) 460-1789 FAX NO: (508) 970-0096
SHEET 2 OF 2 5075TP1.DWG

GENERAL CONSTRUCTION NOTES:

1. REFER TO ALTA SURVEY FOR THE HORIZONTAL COORDINATE SYSTEM AND VERTICAL DATUM USED FOR THE DESIGN OF THIS PROJECT.
2. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, THE PROJECT GEOTECHNICAL REPORT, AND ANY OTHER APPLICABLE TECHNICAL REPORTS.
3. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES, REGULATIONS, SPECIFICATIONS, AND PERMITS WHICH RELATE TO THE CONSTRUCTION OF THESE SITE IMPROVEMENTS, INCLUDING LOCAL STATE AND FEDERAL REQUIREMENTS WITH RESPECT TO STORMWATER DISCHARGE AND CONTROLLING THE POLLUTION OF THE ENVIRONMENT AND DRIVING EQUIPMENT OVER AND ACROSS STATE AND TOWN MAINTAINED ROADS.
4. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE PERMITS AND LICENSES AND MAINTAIN COPIES OF THEM ON-SITE AT ALL TIMES. PRIOR TO THE CONSTRUCTION OF THE PROJECT, THE CONTRACTOR SHALL MAINTAIN A SET OF THE MOST UP TO DATE CONSTRUCTION DOCUMENTS, SPECIFICATIONS, AND A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) ON-SITE AT ALL TIMES DURING CONSTRUCTION.
5. NO CONSTRUCTION ACTIVITIES TO TAKE PLACE OUTSIDE PERMITTED LIMITS OF CONSTRUCTION LINE WITHOUT PRIOR AUTHORIZATION.
6. ALL WORK IN THE PUBLIC RIGHTS OF WAY SHALL CONFORM WITH THE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS" FOR WORK IN THE APPLICABLE STATE.
7. CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION FIELD STAKING, TESTING AND DOCUMENTATION, UNLESS SPECIFIED OTHERWISE BY THE OWNER.
8. THESE PLANS WERE DEVELOPED BASED ON INFORMATION PROVIDED TO SOCORE ENGINEERING LLC AT THE TIME OF PLAN PREPARATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK WOULD BE INHIBITED BY ANY OTHER EXISTING SITE FEATURES.
9. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT OF WAY. OVERNIGHT PARKING OF VEHICLES ON PRIVATE PROPERTY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
10. ALL PROPERTY CORNERS OR MONUMENTS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A PROFESSIONAL LICENSED LAND SURVEYOR.
11. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THEIR WORK WITH ACTUAL CONDITIONS AT THE JOB SITE PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER. PRIOR TO BEGINNING COMMENCING WORK, NO FIELD CHANGES OR DEVIATIONS FROM THE DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE ENGINEER. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, STANDARD SPECIFICATIONS AND/OR SPECIAL DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSIONS OR DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTION, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND WITHOUT LIABILITY. IF ANY DOUBT OR QUESTION ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.
12. CONTRACTOR INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE CIVIL ENGINEER OF RECORD FOR APPROVAL PRIOR TO MAKING ANY CHANGES. APPROVED CHANGES SHALL REQUIRE A DRAWING REVISION TO MAINTAIN CONTROL OVER THE ENGINEER APPROVED DESIGN. CHANGES MADE WITHOUT APPROVAL MAY NEED TO BE AMENDED AT CONTRACTORS COST.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND MEASURES ON SITE. THE CIVIL ENGINEER OF RECORD HAS NO OVERALL SUPERVISORY AUTHORITY AND NO DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS.
14. THE CONTRACTOR IS RESPONSIBLE FOR ALL BRACING AND STORING OF EQUIPMENT DURING INSTALLATION.
15. ALL WORK AND MATERIALS WHICH DO NOT CONFORM TO THE SPECIFICATIONS ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
16. DO NOT SCALE PLANS FOR CONSTRUCTION DIMENSIONS. ALL QUANTITIES SHOWN ARE APPROXIMATE AND CONTRACTOR SHOULD RELY ON FINAL TAKEOFFS FOR EXACT QUANTITIES.

DEMOLITION NOTES:

1. CONTRACTOR TO CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS AND SPOILS TO ENSURE MINIMAL INTERFERENCE WITH FACILITY OPERATIONS. ENSURE SAFE PASSAGE OF PERSONS AROUND AREAS OF DEMOLITION.
2. REMOVE FROM SITE ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION AND LAWFULLY DISPOSE OF SAME.
3. THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER ON ALL ITEMS DESIGNATED TO BE REMOVED OR RELOCATED. ADDITIONAL COORDINATION WITH LAND OWNER MAY BE REQUIRED PRIOR TO DEMOLITION.
4. IF ANY ITEMS OR STRUCTURES ARE ENCOUNTERED IN THE FIELD THAT ARE NOT SHOWN ON THE PLANS OR ALTA SURVEY WHICH REQUIRE DEMOLITION OR RELOCATION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
5. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES, STRUCTURES, TREES, STREETS OR ADJACENT PROPERTIES WILL BE REPLACED/REPAIRED AT THE CONTRACTOR'S EXPENSE.
6. CONTRACTOR SHOULD CONTACT ENGINEER IF ANY QUESTION ARISES REGARDING THE VIABILITY OF AN EXISTING UTILITY STRUCTURE.
7. CLEARING SHALL INCLUDE THE REMOVAL OF BUSHES, TREES AND OTHER PLANTS, AS DETERMINED BY OWNER, WITHIN THE LIMITS SHOWN. CLEARING SHALL ALSO INCLUDE THE REMOVAL OF ALL ROCKS OR BOULDERS LARGER THAN 2 INCHES, AT THE SURFACE, TO ALLOW FOR FUTURE SITE MOVING. ROCKS AND BOULDERS SHALL BE PILED AT A LOCATION DETERMINED BY THE LAND OWNER AND CIVIL ENGINEER. TREES AND STUMPS MAY BE CHIPPED AND USED ONSITE AS TEMPORARY EROSION CONTROL BARRIERS.
8. PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR:
 - A. FLAGGING PERIMETER OF LIMITS OF CONSTRUCTION, WETLAND BOUNDARIES, AND ANY OTHER AREAS OF PROTECTION OR CONSERVATION.
 - B. ENSURING THAT COPIES OF ALL APPLICABLE PERMITS AND APPROVALS ARE MAINTAINED ON SITE AND AVAILABLE FOR REVIEW.
 - C. INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES AND TREE PROTECTION MEASURES PRIOR TO SITE DISTURBANCE.
 - D. LOCATING (VERTICALLY AND HORIZONTALLY) ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF CONSTRUCTION. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.
 - E. FAMILIARIZING THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION REQUIRED FOR THE PROJECT. CONTRACTOR SHALL NOTIFY OWNER 72 HOURS IN ADVANCE OF ANY UTILITY SHUTDOWN AND SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
 - F. COORDINATION WITH UTILITY COMPANIES & ADJACENT LANDOWNERS/BUSINESSES WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES.
9. CONTRACTOR IS TO PROCEED WITH SITE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL FEDERAL, OSHA, STATE AND LOCAL REQUIREMENTS (AS APPLICABLE), TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
10. IN THE ABSENCE OF SPECIFICATIONS, THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND OFF-SITE AND ON-SITE DRAINAGE WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF CONSTRUCTION WITH DIRECTION BY OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
11. USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY DEMOLITION OPERATIONS.
12. CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
13. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE. THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND OTHER IMPROVEMENTS THAT AREA REMAINING ON OR OFFSITE. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS AND DAMAGE TO ALL ITEMS THAT ARE TO REMAIN ON SITE AS A RESULT OF DEMOLITION ACTIVITIES.
14. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEMOLISHED MATERIAL FROM THE PROJECT SITE AND DISPOSING OF THOSE MATERIALS IN A LEGAL MANNER.

TRAFFIC CONTROL NOTES:

1. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AS WELL AS ANY APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS WHEN CONSTRUCTION ACTIVITIES IMPACT PUBLIC ROADWAYS OR RIGHTS OF WAY. DEMOLITION AND CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, AND OTHER ADJACENT FACILITIES.
2. THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR DEVELOPING AND IMPLEMENTING TRAFFIC CONTROL PLAN. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY.
3. ALL EXISTING TRAFFIC AND STREET SIGNS DISTURBED DURING CONSTRUCTION SHALL BE REINSTALLED WHERE APPLICABLE BY THE CONTRACTOR, UNLESS THE PLANS SPECIFICALLY DICTATE OTHERWISE. ONE-SIDE AND OTHER DIRECTIONAL SIGNS SHD BE LOCATED OUT OF THE FENCED AREA AND AUTOMOBILE ROUTES AND SHALL BE LOCATED BETWEEN THREE AND FIVE FEET BEHIND THE NEAREST BACK OF CURB. SIGN HEIGHT, LOCATION, AND FOUNDATION STRUCTURE SHALL BE LOCATED SUCH THAT THE SIGNS POSE NO THREAT TO PUBLIC SAFETY. CONTRACTOR SHALL CONFIRM WITH ENGINEER PRIOR TO SIGN PLACEMENT.

ACCESS ROAD NOTES:

1. THE PRIVATE ACCESS ROADS HAVE BEEN DESIGNED TO ACCOMMODATE LIGHT DUTY TRUCKS FOR LOW VOLUME USE IN NORMAL OPERATION CONDITIONS AS WELL AS HEAVY DELIVERY VEHICLES THROUGHOUT THE CONSTRUCTION PERIOD. THE ROAD DESIGN IS NOT INTENDED FOR ALL WEATHER USE OF HIGH VOLUME, HEAVY CONSTRUCTION LOADS. PERIODIC ROADWAY MAINTENANCE IS REQUIRED SUCH AS GRADING AND REPLACEMENT OF APPROVED ROAD BASE DURING AND AFTER CONSTRUCTION INCLUDING AFTER HEAVY RAIN OR EXCESSIVE FREEZE-THAW CYCLES. ACCESS ROAD SECTIONS MAY VARY THROUGHOUT THE SITE AND DO NOT NECESSARILY FOLLOW GEOTECHNICAL REPORT RECOMMENDATIONS.
2. CARE SHOULD BE TAKEN TO ENSURE THE EXPOSED SUBGRADE OR FILL SOILS DO NOT DRY OUT OR BECOME SATURATED PRIOR TO PLACEMENT OF ADDITIONAL FILL OR BASE MATERIAL. IF THIS OCCURS, THE EXPOSED FILL SOILS OR SUBGRADE SHOULD BE SCARIFIED, MOISTURE ADJUSTED, AND RE-COMPACTED BEFORE PLACEMENT OF ADDITIONAL MATERIAL.
4. ALL AGGREGATE MATERIAL MUST BE SUPPLIED FROM A SOURCE APPROVED BY PROJECT OWNER AND ENGINEER OF RECORD BASED ON AGGREGATE TEST RESULTS.
5. APPROVED BASE SHOULD BE PLACED IN LOOSE LIFTS IN ACCORDANCE WITH THE PROJECT'S GEOTECHNICAL REPORT.
6. AGGREGATE MATERIAL SHALL BE MOVED AND STORED IN A MANNER TO MINIMIZE PARTICLE SEPARATION.
7. ONE GRADATION SIEVE ANALYSIS SHALL BE PERFORMED FOR EVERY 5,000 CY OF ROAD BASE PLACED WITHIN THE PROJECT AND PROVIDED TO THE ENGINEER. (MAX OF 10 PER PROJECT).
8. APPROVED ROAD BASE SHOULD BE PROOF-ROLLED WITH A MINIMUM OF 26,500 POUNDS PER AXLE VEHICLE. IF PUMPING OR TUGGING IN EXCESS OF 1.5 INCHES IS OBSERVED, SOFT AREAS SHOULD BE EXCAVATED AND RE-COMPACTED OR REPLACED AND RE-CHECKED BY PROOF ROLLING.
9. APPROVED ROAD BASE SHALL BE COMPACTED TO THE MAXIMUM DRY DENSITY AND +/- 2% OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698, AT A FREQUENCY OF ONE TEST PER LIFT PER 1,000 LINEAL FEET, OR MINIMUM OF 2 TESTS PER LIFT PER ACCESS ROAD, WHICHEVER IS GREATER.
10. WHERE THE ACCESS ROADS TIE INTO EXISTING PAVEMENT: EXISTING PAVEMENT SHALL BE NEATLY SAW CUT TO A STRAIGHT LINE AND ALL PAVING ON THE NEW PAVEMENT SURFACE OF THE CUT SHALL BE COMPLETELY REMOVED AND REPLACED WITH THE PAVEMENT SECTIONS PROPOSED IN THE CONSTRUCTION DRAWINGS, IF APPLICABLE. THE CUT LINE SHALL BE FULL-DEPTH AND COATED WITH A TACK COAT TO FURNISH A BOND BETWEEN THE EXISTING SURFACE COURSE AND THE NEW SURFACE COURSE.

UTILITY NOTES:

1. ALL EXISTING UTILITIES SHOWN ARE LOCATED BASED ON INFORMATION AVAILABLE TO THE ENGINEER OF RECORD AT THE TIME THE DRAWINGS WERE PREPARED AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. GUARANTEE IS NOTE MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR ARE SHOWN IN ACCURATE LOCATIONS. CONTRACTOR IS RESPONSIBLE FOR THE FIELD LOCATION AND PROTECTION OF ALL EXISTING UTILITIES ASSOCIATED WITH THE PROJECT WORK SCOPE DURING CONSTRUCTION. AT LEAST 72 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE 811 UTILITY LOCATE SERVICE FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE PROJECT SITE. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGE SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR THE TEMPORARY BRACING AND SHORING REQUIRED FOR CONSTRUCTION. IF IT IS NECESSARY TO SHORE, BRACE, SWING, OR RELOCATE AN EXISTING UTILITY, THE CONTRACTOR SHALL CONTACT THE UTILITY COMPANY OR DEPARTMENT AFFECTED TO OBTAIN THEIR PERMISSION REGARDING THE METHOD USED FOR SUCH WORK.
2. THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES SHALL BE OBTAINED FROM ALL UTILITY COMPANIES, INVESTIGATED AND VERIFIED IN THE FIELD BY THE CONTRACTOR BEFORE STARTING WORK IN THE CONSTRUCTION AREA. EXCAVATION IN THE VICINITY OF EXISTING FACILITIES AND UTILITIES SHALL BE PERFORMED BY HAND. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY AND ALL DAMAGES TO EXISTING FACILITIES, MAINTENANCE AND PROTECTION OF EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
3. THE CONTRACTOR IS TO UNCOVER ALL EXISTING UTILITY LINES BEING TIED INTO OR CROSSED AND VERIFY EXISTING GRADES BEFORE ANY CONSTRUCTION.
4. UNLESS NOTED OTHERWISE, CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18" VERTICAL CLEARANCE BETWEEN STORM, SANITARY, AND ALL UTILITIES.
5. BRACING OF UTILITY POLES OR OTHER STRUCTURES MAY BE REQUIRED BY UTILITY COMPANIES WHEN TRENCHING OR EXCAVATION IS REQUIRED IN CLOSE PROXIMITY TO EXISTING OR PROPOSED STRUCTURES. THE COST OF BRACING POLES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

SITE CLEARING SPECIFICATIONS:

1. REMOVE SHRUBS, GRASS AND OTHER VEGETATION, IMPROVEMENTS, OR OBSTRUCTIONS AS REQUIRED TO ALLOW INSTALLATION OF PROJECT. REMOVE SIMILAR ITEMS ELSEWHERE ON SITE OR PREMISES AS SPECIFICALLY INDICATED ON PLANS. "REMOVAL" INCLUDES DIGGING OUT AND OFF-SITE DISPOSING OF STUMPS AND ROOTS UNLESS NOTED OTHERWISE.
2. CUT MINOR ROOTS AND BRANCHES OF TREES INDICATED TO REMAIN IN A CLEAN AND CAREFUL MANNER, WHERE SUCH ROOTS AND BRANCHES OBSTRUCT INSTALLATION OF NEW CONSTRUCTION.
3. TOPSOIL: TOPSOIL IS DEFINED AS FERTILE, FRIABLE NATURAL LOAM SURFACE SOIL FOUND IN A DEPTH OF NOT LESS THAN 4 INCHES. SATISFACTORY TOPSOIL IS REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTERS, AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 1/2", AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH.
 - A. TOPSOIL SHALL BE STRIPPED FROM AREAS WITHIN THE EXTENTS OF GRADING AND TRENCHING AND STOCKPILED IN SUCH A MANNER THAT NATURAL DRAINAGE IS NOT OBSTRUCTED, AND NO OFF-SITE OR ON-SITE DRAINAGE DAMAGE OCCURS.
 - B. STOCKPILES SHALL BE CONSTRUCTED SUCH THAT THE SIDE SLOPES DO NOT EXCEED 2H:1V, AND STOCKPILES SHALL BE STABILIZED AND PROTECTED IMMEDIATELY AFTER FORMATION.
 - C. PERIMETER CONTROLS MUST BE PLACED AROUND THE STOCKPILE IMMEDIATELY AND SEEDING OF STOCKPILES SHALL BE COMPLETED WITHIN 7 DAYS OF THE FORMATION OF THE STOCKPILE.
 - D. PRIOR TO IMPORTING TOPSOIL, CONTRACTOR SHALL SUBMIT INFORMATION ON THE SOURCE AND TYPE OF TOPSOIL TO ENGINEER FOR APPROVAL.
 - E. ROTOTILL NEWLY IMPORTED TOPSOIL WITH THE NATIVE SOIL IN 6 INCH LIFTS TO PROVIDE AN EVEN MIXTURE BETWEEN NATIVE AND IMPORTED SOIL.
4. CLEARING AND GRUBBING: CLEAR SITE OF TREES, SHRUBS AND OTHER VEGETATION, EXCEPT FOR THOSE INDICATED TO BE LEFT STANDING. ABSOLUTELY NO CLEARING OR GRUBBING IS TO TAKE PLACE WITHIN A WETLAND. CONTRACTOR TO NOTIFY ENGINEER IF ANY EXISTING WETLANDS OTHER PROTECTED AREAS ARE IMPEDING CONSTRUCTION.
 - A. AREAS OF PROPOSED GRUBBING ARE LIMITED TO FENCED ARRAY AREAS, AREAS OF GRADING OR FILL PLACEMENT, AND ACCESS ROADS, STUMPS AND ROOT MASSES ARE ANTICIPATED TO REMAIN IN PLACE FOR ALL OTHER AREAS.
 - B. GRUBBING SHALL BE CONDUCTED SO THAT EARTH DISTURBANCE COMMENCES FROM THE HIGHEST ELEVATION. ONCE TEMPORARY STABILIZATION MEASURES (MULCH, EROSION CONTROL MIX, ETC.) ARE IN-PLACE, GRUBBING OF DOWNGRADE AREAS MAY COMMENCE.
 - C. COMPLETELY REMOVE STUMPS, ROOTS, AND OTHER DEBRIS PROTRUDING THROUGH GROUND SURFACE.
 - D. USE ONLY HAND METHODS FOR GRUBBING INSIDE DRIP LINE OF TREES INDICATED TO REMAIN.

- E. FILL DEPRESSIONS CAUSED BY CLEARING AND GRUBBING OPERATIONS WITH SATISFACTORY SOIL MATERIAL, UNLESS FURTHER EXCAVATION OR EARTHWORK IS INDICATED.
 1. PLACE FILL MATERIAL IN HORIZONTAL LAYERS NOT EXCEEDING 8 INCHES LOOSE DEPTH, AND THOROUGHLY COMPACT TO A DENSITY EQUAL TO ADJACENT ORIGINAL GROUND.
5. REMOVAL OF EXISTING SITE FEATURES: REMOVE ALL UNDERGROUND AND ABOVE GROUND SITE FEATURES SHOWN ON THE DRAWINGS.
 - A. FOUNDATIONS SHALL BE REMOVED TO A MINIMUM OF 3' BELOW SUB-GRADE.
 - B. ABOVE- OR BELOW-GRADE IMPROVEMENTS MAY BE ENCOUNTERED WHICH ARE NOT ON THE SURVEY DOCUMENTS OR SHOWN ON THE CONTRACT DRAWINGS WHICH MUST BE REMOVED AS A PART OF THIS CONTRACT. IF ANY SUCH IMPROVEMENTS ARE ENCOUNTERED THE CONTRACTOR MUST NOTIFY THE ENGINEER PRIOR TO REMOVAL.
6. DISPOSAL OF WASTE MATERIALS
 - A. REMOVE ALL WASTE MATERIALS AND UNSUITABLE SOIL FROM THE OWNER'S PROPERTY, AT THE CONTRACTOR'S EXPENSE.

GRADING NOTES:

1. CONTRACTOR TO ADJUST ALL EXISTING STRUCTURES TO MEET NEW GRADES.
2. WHEREVER FEASIBLE, STORMWATER RUNOFF ORIGINATING FROM UPGRADE AREAS SHALL BE DIVERTED AWAY FROM THE ARRAY AREA UNTIL FINAL STABILIZATION IS ACHIEVED.
3. ACTIVE AREAS OF EARTH DISTURBANCE SHALL BE LIMITED TO 5 CONTIGUOUS ACRES OR THE AMOUNT THAT CAN BE TEMPORARILY STABILIZED IN ONE DAY, WHICHEVER IS LESS. MASS CLEARING AND GRADING OF THE ENTIRE SITE SHALL BE AVOIDED.
4. ALL WORK RELATIVE TO PAD CONSTRUCTION, TRENCHING AND BACKFILLING, SITE PREPARATION AND GRAVEL INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION FOR THE PROJECT. ALL OTHER WORK SHALL, UNLESS OTHERWISE NOTED, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, AND/OR STATE OR LOCAL STANDARD SPECIFICATIONS.
5. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL (3H:1V) UNLESS SHOWN OTHERWISE.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE. THIS SHOULD BE ACHIEVED BY CONSTRUCTING ADEQUATE EROSION CONTROL BARRIERS ALONG THE LIMITS OF CONSTRUCTION AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION MONUMENT PRIOR TO BEGINNING CONSTRUCTION.
8. NO TOPSOIL AND NO OTHER SOIL TO BE REMOVED FROM SITE. EXCESS SOIL GENERATED FROM THIS SITE REQUIRES CHARACTERIZATION PRIOR TO REMOVAL. RATHER THAN EXPORT MATERIAL, IT IS PREFERRED THAT MINOR EXCAVATIONS ARE REUSED ON SITE AS BACKFILL IN THE SAME GENERAL AREA IT ORIGINATED.
9. A MINIMUM 4" LAYER OF TOPSOIL IS TO BE PROVIDED IN ALL PLANTING AREAS. TOPSOIL SHALL BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO DESIRED COMPACTED THICKNESS. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS. THE GENERAL CONTRACTOR SHALL TEST THE EXISTING TOPSOIL AND FILL TO ADD NUTRIENT ADDITIVES, BALANCE THE PH, AND IMPORT TOPSOIL AS NECESSARY TO OBTAIN STABILIZATION. IN THE EVENT THAT THERE IS EXCESS TOPSOIL NEAR THE END OF GRADING ACTIVITIES, REMAINING TOPSOIL IS TO BE ADDED TO THE PLANTING AREAS AND BERMS.
10. UNLESS OTHERWISE STATED, ALL FILL AREAS SHALL BE CONSTRUCTED IN LIFTS OF 8" MAXIMUM THICKNESS WITH WATER ADDED OR SOIL CONDITIONED TO THE OPTIMUM MOISTURE CONTENT AS DETERMINED BY THE ENGINEER AND COMPACTED WITH A SHEEP'S FOOT ROLLER TO A COMPACTION GREATER THAN OR EQUAL TO 95% OPTIMUM MOISTURE CONTENT.
11. EXISTING FIELD CONDITIONS ARE TO BE MAINTAINED WHERE FEASIBLE. GRADES THROUGHOUT THE SITE ARE DESIGNED TO MEET THE SPECIFICATIONS OF THE RACKING SYSTEM. TOPSOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED AND RE-SPREAD AT COMPLETION OF GRADING.

DEWATERING NOTES:

1. THE CONTRACTOR SHALL INSTALL, MAINTAIN, AND OPERATE ALL CHANNELS, SUMPS, AND OTHER TEMPORARY DIVERSION AND PROTECTIVE WORKS NEEDED TO DIVERT STREAM FLOW AND OTHER SURFACE WATER THROUGH OR AROUND THE CONSTRUCTION SITE. CONTROL OF SURFACE WATER SHALL BE CONTINUOUS DURING THE PERIOD THAT DAMAGE TO CONSTRUCTION WORK COULD OCCUR.
2. OPEN EXCAVATIONS SHALL BE KEPT FREE OF STANDING WATER AND MUDDY CONDITIONS AS NECESSARY FOR THE PROPER EXECUTION OF THE WORK. THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE, AND MAINTAIN ALL DRAINS, SUMPS AND ALL OTHER EQUIPMENT REQUIRED TO PROPERLY DEWATER THE SITE. DEWATERING SYSTEMS THAT CAUSE A LOSS OF SOIL FINES FROM THE FOUNDATION AREAS WILL NOT BE PERMITTED.
3. INSTALL DIVERSION DITCHES OR BERMS IF NECESSARY TO MINIMIZE THE AMOUNT OF CLEAN STORMWATER RUNOFF ALLOWED INTO THE EXCAVATION AREA.
4. CONTRACTOR TO COORDINATE WITH ENGINEER PRIOR TO SELECTING AREAS TO DISCHARGE DEWATERING EFFLUENT. DISCHARGE SHALL BE MANAGED TO ENSURE IT IS LEAVING THE SITE IN THE FORM OF CLEAN SHEET FLOW.
5. REMOVAL OF WATER FROM THE CONSTRUCTION SITE SHALL BE ACCOMPLISHED SO THAT EROSION AND TRANSPORTATION OF SEDIMENT AND OTHER POLLUTANTS ARE MINIMIZED. DEWATERING IN PERIODS OF INTENSE HEAVY RAIN OR WHEN THE INSTANTANEOUS CAPACITY OF THE SOIL IS EXCEEDED SHALL BE AVOIDED TO THE MAXIMUM EXTENT PRACTICABLE.
6. WHEN TEMPORARY WORKS ARE NO LONGER NEEDED, THE CONTRACTOR SHALL REMOVE AND RETURN THE AREA TO A CONDITION SIMILAR TO THAT WHICH EXISTED BEFORE CONSTRUCTION. AREAS WHERE TEMPORARY WORKS WERE LOCATED SHALL BE GRADED BASED ON APPEARANCE WITH NO OBSTRUCTION TO NATURAL SURFACE WATER FLOWS OR THE PROPER FUNCTIONING AND ACCESS TO THE WORKS OF IMPROVEMENTS BE INSTALLED. THE CONTRACTOR SHALL EXERCISE EXTREME CARE DURING THE REMOVAL STAGES TO MINIMIZE THE LOSS OF SOIL SEDIMENT AND DEBRIS THAT WAS COLLECTED DURING CONSTRUCTION.

EARTHWORK SPECIFICATIONS:

1. SOIL MATERIAL
 - A. GENERAL FILL: PROVIDE SOIL MATERIALS THAT ARE FREE OF DEBRIS, WASTE, FROZEN MATERIALS, VEGETABLE, ORGANIC AND OTHER DELETERIOUS MATTER AND HAVING MAXIMUM PARTICLE SIZE OF 2" IN ALL DIMENSIONS.
 - B. SELECT FILL: CLEAN NATURAL OR CRUSHED STONE OR GRAVEL CONFORMING TO THE APPLICABLE STATE DEPARTMENT OF TRANSPORTATION'S STANDARD GRADATION SPECIFICATIONS.
 - C. SUBBASE: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND; ASTM D2940; WITH AT LEAST 90 PERCENT PASSING A 1-1/2 INCH (38-MM) SIEVE AND NOT MORE THAN 12 PERCENT PASSING A NO. 200 (0.075-MM) SIEVE.
 - D. BASE: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND; WITH AT LEAST 95 PERCENT PASSING A 1-1/2 INCH (38-MM) SIEVE AND NOT MORE THAN 8 PERCENT PASSING A NO. 200 (0.075-MM) SIEVE.
 - E. ENGINEERED FILL: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND; ASTM D2940; WITH AT LEAST 90 PERCENT PASSING A 1-1/2 INCH (38-MM) SIEVE AND NOT MORE THAN 12 PERCENT PASSING A NO. 200 (0.075-MM) SIEVE.
 - F. BEDDING: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND; ASTM D2940; EXCEPT WITH 100 PERCENT PASSING A 1-INCH (25-MM) SIEVE AND NOT MORE THAN 8 PERCENT PASSING A NO. 200 (0.075-MM) SIEVE.
 - G. DRAINAGE FILL: WASHED, NARROWLY GRADED MIXTURE OF CRUSHED STONE, OR CRUSHED OR UNCUSHED GRAVEL; ASTM D448; COARSE-AGGREGATE GRADING SIZE 57; WITH 100 PERCENT PASSING A 1-1/2 INCH (38-MM) SIEVE AND 0 TO 5 PERCENT PASSING A NO. 8 (2.36-MM) SIEVE.
 - H. FILTER MATERIAL: NARROWLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, OR CRUSHED STONE AND NATURAL SAND; ASTM D448; COARSE-AGGREGATE GRADING SIZE 67; WITH 100 PERCENT PASSING A 1-INCH (25-MM) SIEVE AND 0 TO 5 PERCENT PASSING A NO. 4 (4.75-MM) SIEVE.
2. DRAINAGE FABRIC, IF REQUIRED: NON-WOVEN GEOTEXTILE, SPECIFICALLY MANUFACTURED AS A DRAINAGE GEOTEXTILE; MADE FROM POLYOLEFINS, POLYESTERS, OR POLYAMIDES; AND WITH THE FOLLOWING MINIMUM PROPERTIES DETERMINED ACCORDING TO ASTM D4759 AND REFERENCED STANDARD TEST METHODS:
 - A. GRAB TENSILE STRENGTH: 110 LBF (490 N); ASTM D4632.
 - B. TEAR STRENGTH: 40 LBF (178 N); ASTM D4533.
 - C. PUNCTURE RESISTANCE: 50 LBF (222 N); ASTM D4833.
 - D. WATER FLOW RATE: 150 GPM PER SQ. FT. (100 L/S PER SQ. M); ASTM D4491.
 - E. APPARENT OPENING SIZE: NO. 50 (0.3 MM); ASTM D4751.

3. SEPARATION FABRIC, IF REQUIRED: WOVEN GEOTEXTILE, SPECIFICALLY MANUFACTURED FOR USE AS A SEPARATION GEOTEXTILE; MADE FROM POLYOLEFINS, POLYESTERS, OR POLYAMIDES; AND WITH THE FOLLOWING MINIMUM PROPERTIES DETERMINED ACCORDING TO ASTM D4759 AND REFERENCED STANDARD TEST METHODS:
 - A. GRAB TENSILE STRENGTH: 200 LBF (890 N); ASTM D4632.
 - B. TEAR STRENGTH: 75 LBF (333 N); ASTM D4533.
 - C. PUNCTURE RESISTANCE: 90 LBF (400 N); ASTM D4833.
 - D. WATER FLOW RATE: 4 GPM PER SQ. FT. (2.7 L/S PER SQ. M); ASTM D4491.
 - E. APPARENT OPENING SIZE: NO. 30 (0.6 MM); ASTM D4751.
4. SITE PREPARATION & COMPACTION OF BACKFILLS
 - A. PROOF ROLL SUBGRADE WITH HEAVY PNEUMATIC-TIRED EQUIPMENT TO IDENTIFY SOFT POCKETS AND AREAS OF EXCESS YIELDING. DO NOT PROOF ROLL WET OR SATURATED SUBGRADES.
 - B. PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 8 INCHES (200 MM) IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4 INCHES (100 MM) IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS.
 - C. PLACE BACKFILL AND FILL MATERIALS EVENLY ON ALL SIDES OF STRUCTURES TO REQUIRED ELEVATIONS, AND UNIFORMLY ALONG THE FULL LENGTH OF EACH STRUCTURE/CONDUCTOR/CONDUIT.
 - D. COMPACT SOIL TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DRY UNIT WEIGHT ACCORDING TO ASTM D1557: (REFER TO THE PROVIDED GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION)
 - D.1. BACKFILL DIRECTLY AROUND CONDUCTORS AND CONDUITS SHALL BE PLACED IN 10-INCH LIFTS AND COMPACTED TO 95 PERCENT OPTIMUM MOISTURE CONTENT.
 - D.2. UNDER PAVEMENTS, SLABS, AND GRAVEL DRIVEWAYS, SCARIFY AND RECOMPACT TOP 12 INCHES (300 MM) OF EXISTING SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL AT 95 PERCENT OPTIMUM MOISTURE CONTENT.
 - D.3. UNDER LAWN OR UNPAVED AREAS, SCARIFY AND RECOMPACT TOP 6 INCHES (150 MM) AND COMPACT EACH LAYER OF BACKFILL OR FILL MATERIAL AT 80 PERCENT OPTIMUM MOISTURE CONTENT.
5. GRADING: UNIFORMLY GRADE AREAS TO A SMOOTH SURFACE, FREE FROM IRREGULAR SURFACE CHANGES. COMPLY WITH COMPACTION REQUIREMENTS AND GRADE TO CROSS SECTIONS, LINES, AND ELEVATIONS INDICATED.
 - A. PROVIDE A SMOOTH TRANSITION BETWEEN ADJACENT EXISTING GRADES AND NEW GRADES.
 - B. CUT OUT SOFT SPOTS, FILL LOW SPOTS, AND TRIM HIGH SPOTS TO COMPLY WITH REQUIRED SURFACE TOLERANCES.
 - C. SLOPE GRADES TO DIRECT WATER AWAY FROM FOUNDATIONS TO PREVENT PONDING. FINISH SUBGRADES TO REQUIRED ELEVATIONS WITHIN THE FOLLOWING TOLERANCES:
 - C.1. LAWN OR UNPAVED AREAS: ± 1 INCH (25 MM).
 - C.2. PAVEMENTS: ± 1/2 INCH (13 MM).

CONCRETE AND REINFORCING SPECIFICATIONS:

1. ALL CONCRETE WORK & TESTING SHALL BE IN ACCORDANCE WITH THE "AMERICAN CONCRETE INSTITUTE BUILDING CODE" (ACI 318) AND WITH "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" (ACI 301), LATEST EDITIONS.
2. ALL NORMAL WEIGHT CONCRETE (145 PCF) SHALL OBTAIN A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3500 PSI. TRANSFORMER 7 DAY STRENGTH TEST MUST MEET OR EXCEED 3500 PSI BEFORE TRANSFORMER CAN BE PLACED.
3. CALCIUM CHLORIDE AND/OR ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL NOT BE USED IN CONCRETE.
4. ALL CONCRETE SUBJECT TO EXTERIOR EXPOSURE IN FREEZE THAW CLIMATES WITH SPECIFIED STRENGTH LESS THAN 6000 PSI SHALL BE AIR ENTRAINED 4% TO 6%.
5. COLD WEATHER CONCRETING SHALL BE DONE IN ACCORDANCE WITH ACI-306. HOT WEATHER CONCRETING SHALL BE DONE IN ACCORDANCE WITH ACI-305.
6. REINFORCING BARS SHALL BE DEFORMED BARS OF NEW BILLET STEEL CONFORMING TO ASTM SPECIFICATION A-615, GRADE 60. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185. ALL REINFORCING AND ACCESSORIES SHALL BE DETAILED AND PLACED IN ACCORDANCE WITH ACI STANDARDS 318-14 AND 318R-14.
7. WELDING OF REINFORCING BARS WILL ONLY BE ALLOWED WHEN SHOWN. IN NO INSTANCE SHALL WELDING BE DONE AT THE BEND OF A BAR, NOR SHALL THERE BE ANY TACK WELDING DONE BETWEEN CROSSING BARS. WHEN WELDING IS SHOWN, PROCEDURES SHALL BE IN ACCORDANCE WITH "RECOMMENDED PRACTICE FOR WELDING REINFORCEMENT STEEL, METAL INSERTS AND CONNECTIONS IN REINFORCED CONCRETE CONSTRUCTION" AND D12.1-1-75.
8. PROVIDE ALL ACCESSORIES NECESSARY TO SUPPORT REINFORCEMENT AT POSITIONS SHOWN ON THE PLANS AND DETAILS. PLASTIC COATED ACCESSORIES SHALL BE USED IN ALL EXPOSED CONCRETE WORK.
9. PLACE 2 #5 BARS (EACH FACE) WITH 2'-0" PROJECTION AROUND ALL OPENINGS IN CONCRETE, UNLESS OTHERWISE SHOWN OR NOTED.
10. CORNERS OR SPICE BARS SHALL BE PROVIDED IN ACCORDANCE WITH ACI STANDARDS 318-14 AND 318R-14. CORNER BARS SHALL BE PROVIDED AT ALL WALL CORNERS, EQUAL TO THE HORIZONTAL WALL REINFORCEMENT.
11. MINIMUM LAY OF REINFORCEMENT BARS SHALL BE EQUIVALENT TO A CLASS "B" SPICE UNLESS NOTED OTHERWISE.
12. CONTROL JOINTS FOR SLABS-ON-GRADE SHALL BE IN A SQUARE PATTERN AND BE NOT MORE THAN 20 FT. O.C., UNLESS NOTED OTHERWISE ON PLAN.
13. GENERAL CONTRACTOR SHALL CHECK WITH CIVIL, RACKING, AND ELECTRICAL DRAWINGS AND SUB-CONTRACTORS FOR OPENINGS, SLEEVES, HANGERS, INSERTS, SLAB DEPRESSIONS AND OTHER ITEMS RELATED TO THE CONCRETE WORK AND SHALL ASSUME FULL RESPONSIBILITY FOR THEIR PROPER LOCATION BEFORE PLACING CONCRETE. PITCH CONCRETE SLABS AS REQUIRED TO ELIMINATE PONDING.

SLIP PREVENTION & CONTAINMENT:

1. PETROLEUM PRODUCTS, HAZARDOUS OR CONTROLLED SUBSTANCES WHICH MAY BE TEMPORARY OR PERMANENTLY LOCATED ON THE SITE SHOULD BE HANDLED AND STORED IN CONFORMANCE WITH THE US - EPA CODE OR FEDERAL REGULATIONS 40CFR 112. IMMEDIATE ACTION MUST BE TAKEN TO CONTROL CONTAIN AND RECOVER THE DISCHARGE PRODUCT. NO COUNTERMEASURES THAT RISK THE HEALTH OR SAFETY OF PERSONNEL SHOULD BE UNDERTAKEN.
2. BULK OIL STORAGE MUST BE LOCATED IN A CONTAINMENT AREA OF GREATER THAN 1,320 GALLONS AND HAVE THE CAPACITY TO HOLD THE AMOUNT OF OIL PLUS RAINFALL FROM A 50-YEAR STORM EVENT.
3. SPILL RESPONSE EQUIPMENT SUCH AS ABSORBENT MATERIALS, BOOMS AND WASTE DRUMS OR DEDICATED CONTAINMENT SHALL BE AVAILABLE IN THE EVENT THERE IS A LEAK FROM FUEL DRUMS, OR OIL DRUMS.
4. ANY SPILLS ON LAND GREATER THAN 25 GALLONS MUST BE REPORTED TO THE STATE ENVIRONMENTAL AUTHORITY. SPILLS OF ANY VOLUME IN BODIES OF WATER THAT CREATE A SHEEN SHOULD ALSO BE REPORTED.
5. A FRONT-END LOADER, SKID STEER, GRADER, OR BACKHOE SHOULD BE READILY AVAILABLE TO RESPOND IN CASE OF A SPILL.
6. ALL SOLID WASTE INCLUDING BUT NOT LIMITED TO CRATES, CARDBOARD, PLASTIC WRAPPING, PIPES AND WIRE WASTE AND CONCRETE WASHOUT SHALL BE PROPERLY CONTAINED AT APPROPRIATE COLLECTION POINTS AND BE PROPERLY DISPOSED ON A REGULAR BASIS. CARE SHOULD BE TAKEN TO AVOID THE SPREAD OF MATERIAL THAT CAN BE WIND BLOWN FROM THIS SITE AREA OR CONTAINERS.
7. ACTIONS TO BE TAKEN INCLUDE:
8. ELIMINATE POTENTIAL SPARK SOURCES.
9. IF SAFE TO DO SO, IDENTIFY AND SHUT DOWN SOURCES OF DISCHARGE AND STOP THE FLOW.
10. CONTAIN DISCHARGE WITH SORBENTS, BERMS, TRENCHES, SAND BAGS OR OTHER APPROPRIATE MATERIALS.
11. COLLECT AND PROPERLY DISPOSE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
12. KEEP ALL RECORDS OF EVENTS AND DISPOSALS.

LEGEND		
EXISTING	PROPOSED	DESCRIPTION
---	-----	PARCEL BOUNDARY
---	-----	LIMITS OF CONSTRUCTION
---	-----	LAYDOWN & STAGING AREA
---	-----	EXISTING OBJECT TO BE REMOVED
---	-----	MAJOR CONTOUR (5')
---	-----	MINOR CONTOUR (1')
---	-----	SLOPE
---	-----	WETLAND
---	-----	25' WETLAND BUFFER
---	-----	100' WETLAND BUFFER
---	-----	UTILITY EASEMENT
---	-----	UNDERGROUND ELECTRIC LINE
---	-----	STORM SEWER LINE
---	-----	UNDERGROUND WATER LINE
---	-----	UNDERGROUND TELEPHONE LINE
---	-----	UNDERGROUND GAS LINE
---	-----	LIGHT POLE
---	-----	INLET PROTECTION
---	-----	DC TRENCHING AREA



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DEVELOPER

SoCore Engineering
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ENGINEER

DESCRIPTION	DATE	ISSUANCE
ORIGINAL	02/21/2023	0
REVISION	03/31/2023	1

PROJECT NAME: OLIN WAY SOLAR

1000 OLIN WAY
NEEDHAM, MA 02492
(42.292826, -71.265995)

SHEET NAME: CIVIL SITE NOTES & SPECIFICATIONS

DESIGNER: WMW
REVIEWER: MSA

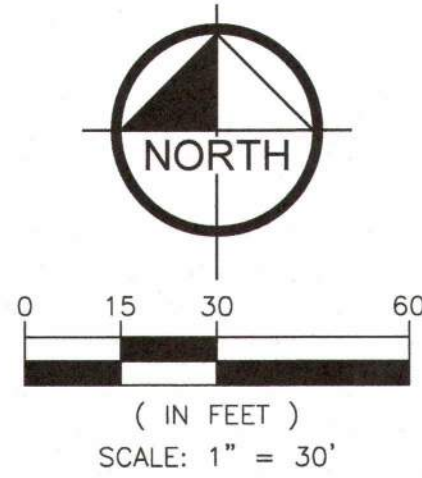
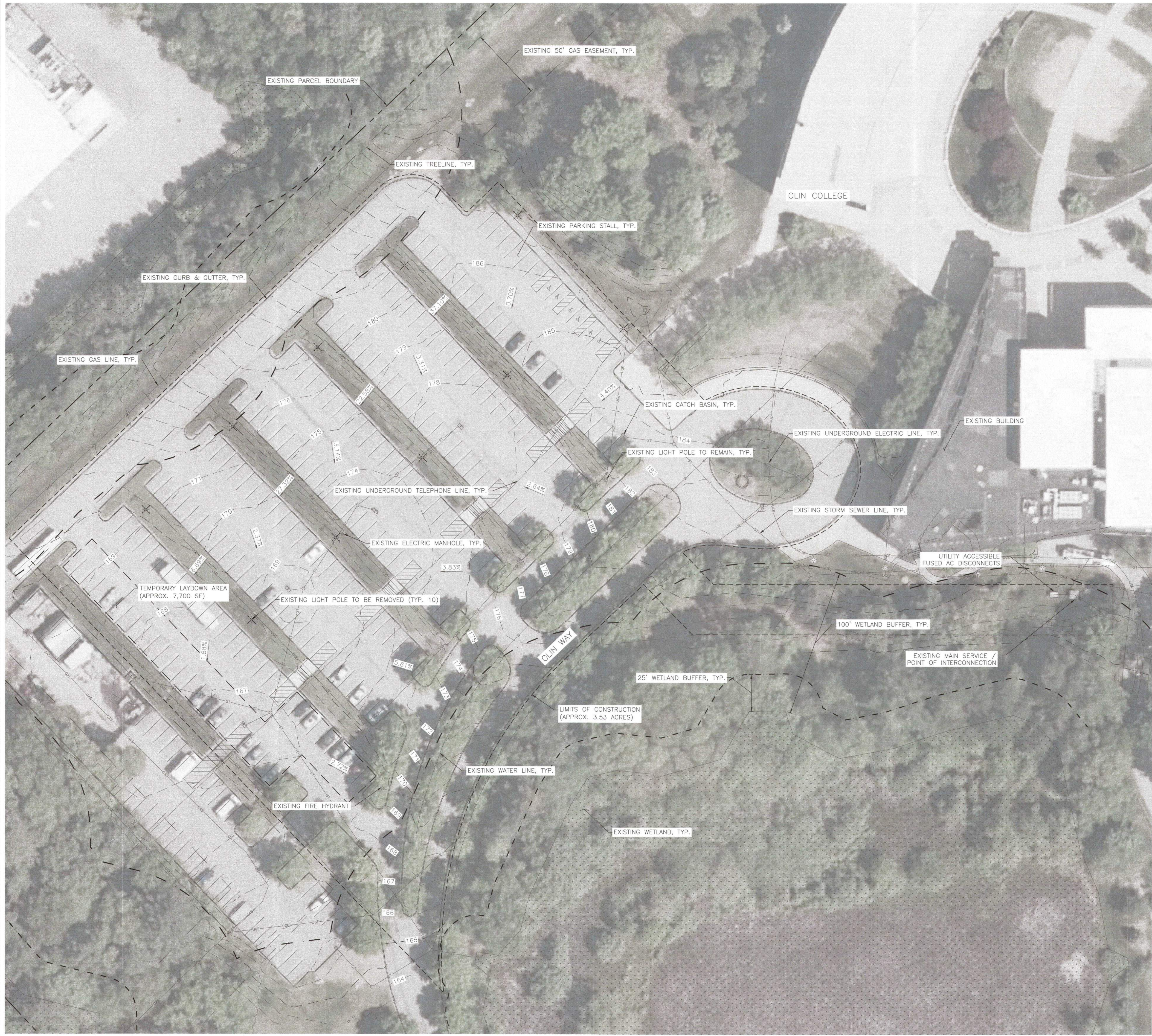
SCALE: AS NOTED
SHEET SIZE: 24" X 36"



FOR: CIVIL
JOHN C. GANTNER, PE
SHEET NUMBER

C0.10

FILE PATH: \\PCH\FILEDZ\90.TES\LOCAL\CH\COMPANY DATA\NEW FOLDER STRUCTURE\PROJECTS\OLIN WAY\MA_OLIN\ENGINEERING AND DESIGN\DRAWINGS\C1.00 - EXISTING CONDITIONS.DWG BY: XF5693 3/30/2023



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REV	DATE	ISSUANCE	DESCRIPTION
0	02.24.2023	INTERCONNECTION	DRAWING OMITTED
1	03.31.2023	ISSUE FOR ZONING PERMIT	ORIGINAL ISSUANCE

PROJECT NAME

OLIN WAY SOLAR
1000 OLIN WAY
NEEDHAM, MA 02492
(42.292826, -71.265995)

SHEET NAME

EXISTING CONDITIONS & SITE DEMOLITION PLAN

DESIGNER: WMM

REVIEWER: MSA

SCALE: AS NOTED

SHEET SIZE: 24" X 36"

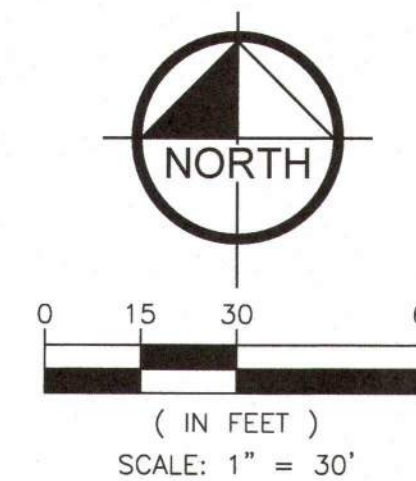
FOR: CIVIL

JOHN C. GANTNER, PE

SHEET NUMBER

C1.00

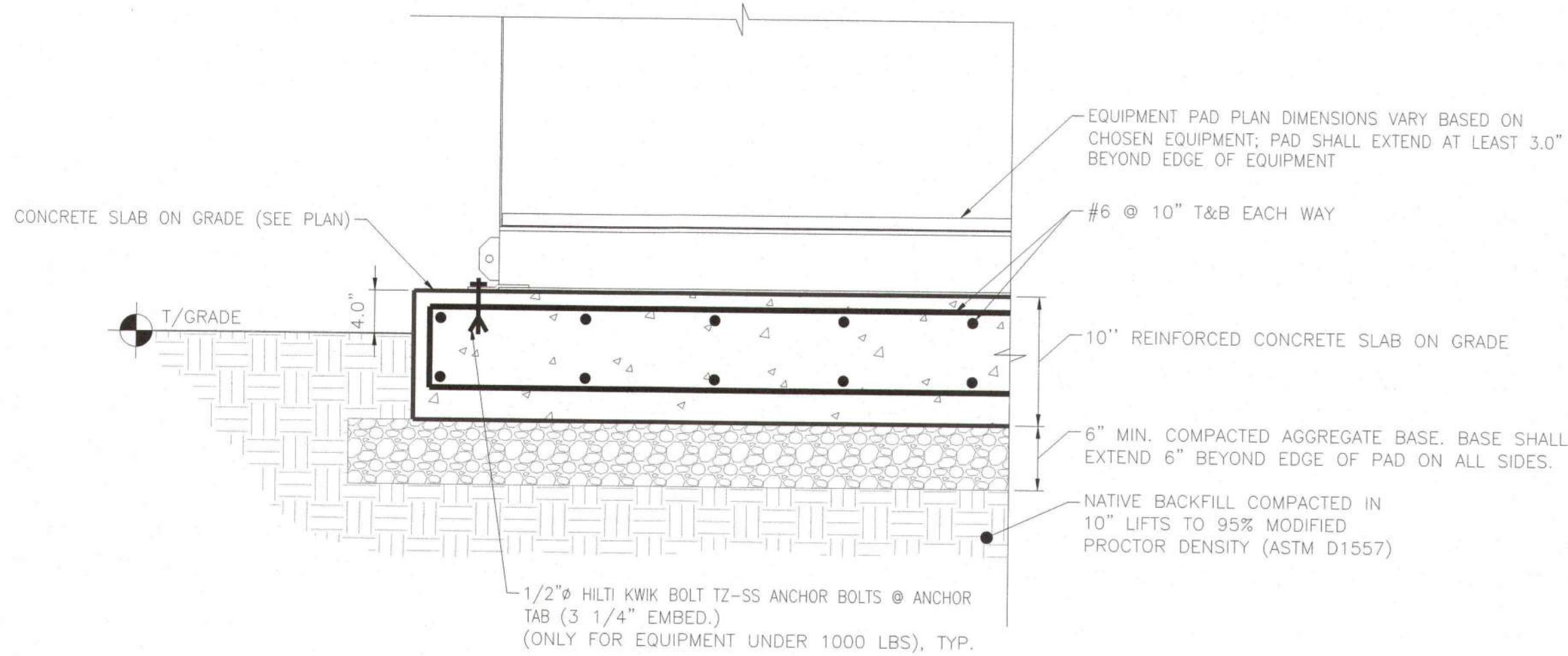




SITE NOTES:

1. COLUMN LAYOUT AND QUANTITY TO BE DETERMINED ONCE THIRD-PARTY ENGINEERING FIRM BEGINS THEIR DESIGN OF THE SOLAR CARPORT STRUCTURE.

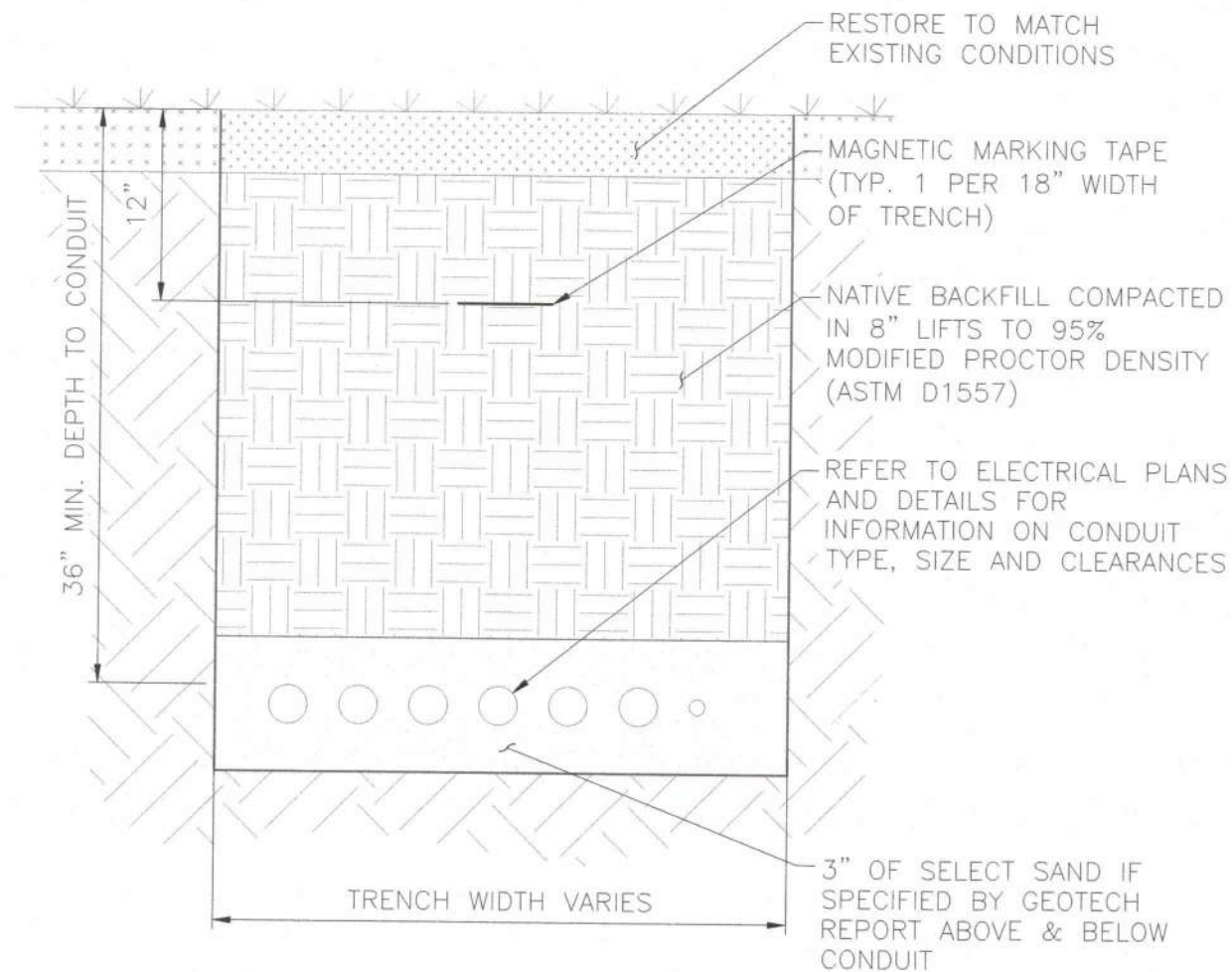
FILE PATH: \\PCHITFILE02.D00.TESLOCAL\CHI\COMPANY DATA\NEW FOLDER STRUCTURE\PROJECTS\OLIN WAY\MA_OLIN\ENGINEERING AND DESIGN\DRAWINGS\C2.10 - SITE DETAILS.DWG 3/30/2023 BY: XF5893



NOTES:
1. CONTRACTOR SHALL ENSURE EQUIPMENT PAD DIMENSIONS SATISFY ELECTRICAL EQUIPMENT SIZES AND REQUIRED CLEARANCES PRIOR TO BEGINNING PAD PREPARATION WORK.

1 CONCRETE EQUIPMENT PAD

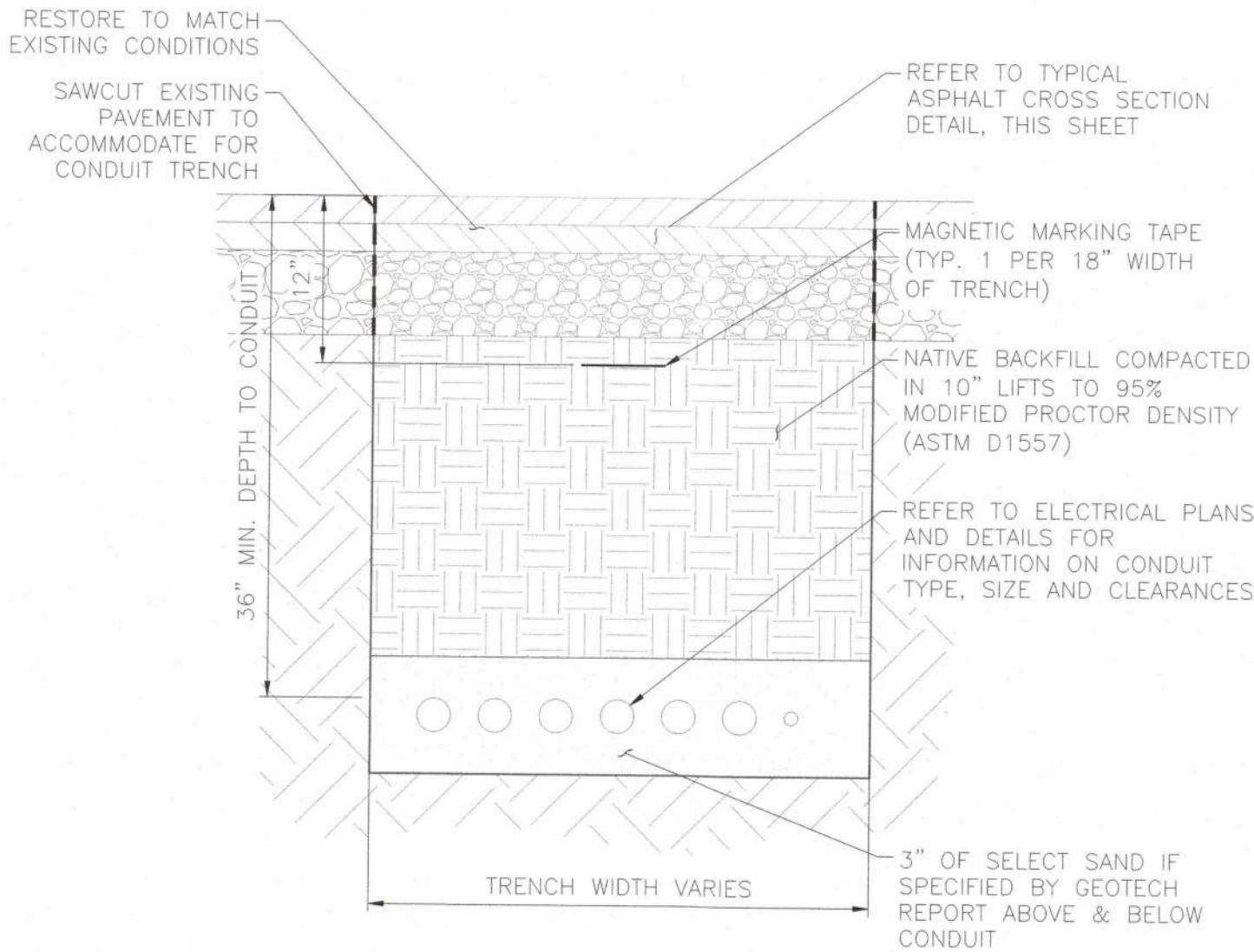
SCALE: 1" = 1'



NOTES:
1. TOPSOIL SHOULD BE SET ASIDE AND ONLY USED TO TOP OFF AREAS WHERE VEGETATION IS PROPOSED. ALL TOPSOIL SHALL BE COMPACTED TO 85% PER THE MODIFIED PROCTOR DENSITY TEST (ASTM D1557).
2. ONCE ALL ELECTRICAL CONDUITS OR CONDUCTORS ARE IN PLACE, RE-COMPACT THE DISTURBED NATIVE SOIL IN 8" LIFTS TO 95% PER THE MODIFIED PROCTOR DENSITY TEST (ASTM D1557). BACKFILL SHALL BE SAND OR SCREENED EARTH FREE OF STONES OR SHARP OBJECTS FOR THE FIRST SIX INCHES ABOVE THE CONDUIT.
3. ONSITE NON-ORGANIC SOILS ARE SUITABLE FOR USE AS BACKFILL. CONTRACTOR TO ENSURE THAT THE BOTTOM OF THE TRENCH MUST BE FREE OF LOOSE OR PROJECTING STONES AND DEBRIS CAPABLE OF DAMAGING CONDUIT OR CONDUCTORS. REFER TO EARTHWORK SPECIFICATIONS AND THE GEOTECHNICAL REPORT FOR MORE INFORMATION.
4. REFER TO ELECTRICAL PLANS AND DETAILS FOR INFORMATION ON CONDUIT TYPES, SIZES AND CLEARANCES.

2 CONDUIT TRENCH DETAIL

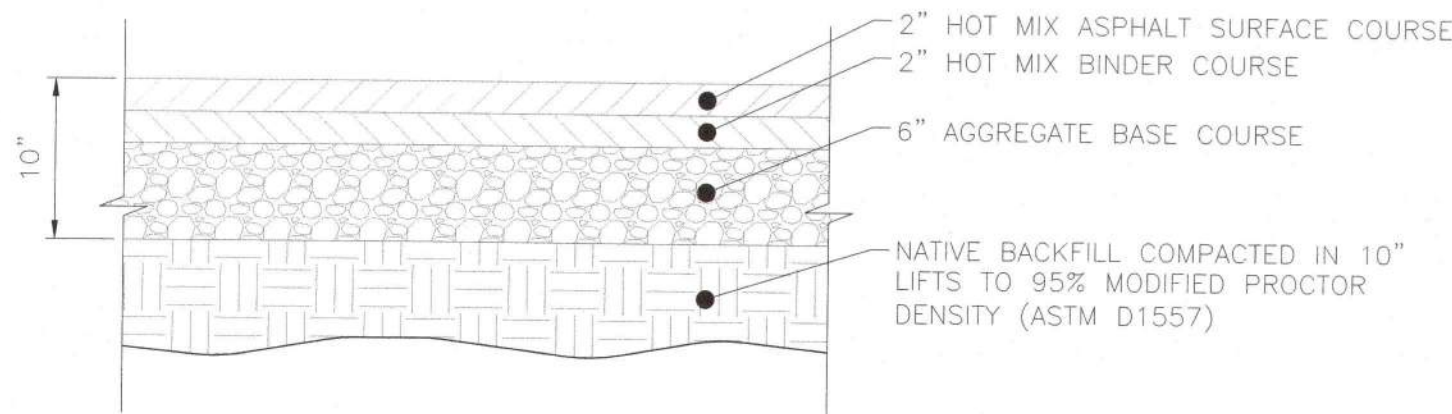
SCALE: 1" = 1'



NOTES:
1. TOP SOIL SHOULD BE SET ASIDE AND ONLY USED TO TOP OFF AREAS WHERE VEGETATION IS PROPOSED. ALL TOPSOIL SHALL BE COMPACTED TO 85% PER THE MODIFIED PROCTOR DENSITY TEST (ASTM D1557).
2. ONCE ALL ELECTRICAL CONDUITS OR CONDUCTORS ARE IN PLACE, RE-COMPACT THE DISTURBED NATIVE SOIL IN 8" LIFTS TO 95% PER THE MODIFIED PROCTOR DENSITY TEST (ASTM D1557).
3. ONSITE NON-ORGANIC SOILS ARE SUITABLE FOR USE AS BACKFILL. CONTRACTOR TO ENSURE THAT SOILS ARE FREE OF DEBRIS CAPABLE OF DAMAGING CONDUIT OR CONDUCTORS. REFER TO EARTHWORK SPECIFICATIONS AND THE GEOTECHNICAL REPORT FOR MORE INFORMATION.
4. CONTRACTOR TO INSTALL ASPHALT PER TYPICAL ASPHALT CROSS SECTION DETAIL.
5. REFER TO ELECTRICAL PLANS AND DETAILS FOR INFORMATION ON CONDUIT TYPES, SIZES AND CLEARANCES.

3 CONDUIT TRENCH DETAIL IN ASPHALT

SCALE: 1" = 1'



NOTES:
1. EXISTING ASPHALT CROSS SECTION SHOULD BE REPLACED IN KIND.

4 TYPICAL ASPHALT CROSS SECTION

SCALE: 1" = 1'

ENGIE Distributed Solar & Storage

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Chicago, IL 60654

DEVELOPER

SoCore Engineering
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Chicago, IL 60654
1-877-SOCORE1

ENGINEER

REV	DATE	ISSUANCE	DESCRIPTION
0	02/24/2023	INTERCONNECTION	DRAWING OMITTED
1	03/31/2023	ISSUE FOR ZONING PERMIT	ORIGINAL ISSUANCE

PROJECT NAME

OLIN WAY SOLAR

1000 OLIN WAY

NEEDHAM, MA 02492

(42.292826, -71.266995)

SHEET NAME

SITE DETAILS

DESIGNER WMM

REVIEWER MSA

SCALE AS NOTED

SHEET SIZE 24" X 36"

STAMP

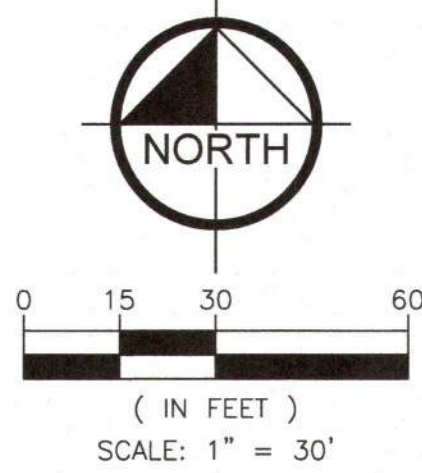
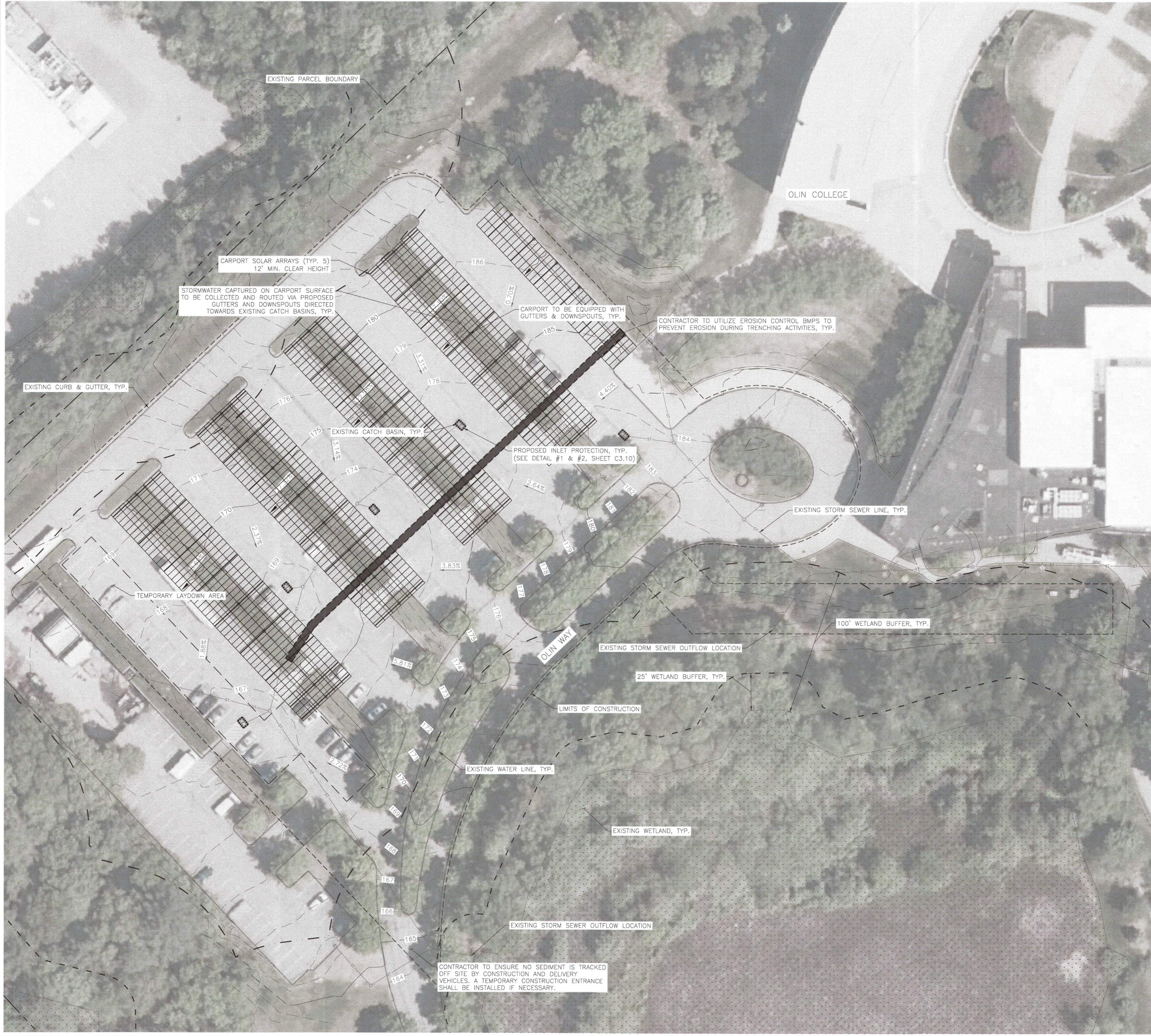
FOR: CIVIL

JOHN C. GANTNER, PE

SHEET NUMBER

C2.10

FILE PATH: \\PCH\FIELD2\B00\TEST\LOCAL\CH1\COMPANY DATA\NEW FOLDER STRUCTURE\PROJECTS\OLIN WAY_MA_OLIN\ENGINEERING AND DESIGN\DRAWINGS\C3.00 - GRADING & STORMWATER MANAGEMENT PLANDWG 3/30/2023 BY: W5893



DESCRIPTION OF SCOPE OF WORK:

THE SCOPE OF THIS PROJECT INCLUDES THE REMOVAL OF LIGHT POLE FIXTURES AND THE INSTALLATION OF SOLAR CARPORT STRUCTURES. SITE DISTURBANCE WILL BE LIMITED TO SMALL ISOLATED AREAS OF THE SITE.

EROSION AND SEDIMENTATION CONTROL WILL BE MOST CRITICAL DURING DEMOLITION AND DURING TRENCHING AND BACKFILLING OPERATIONS FOR THE UNDERGROUND ELECTRICAL CONDUIT AND FOUNDATION INSTALLATION.

EROSION CONTROL NOTES:

1. THE SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS FOR SOIL AND SEDIMENTATION CONTROL OF LOCAL GOVERNMENT AGENCIES, PROCEDURES AND STANDARDS FOR URBAN SOIL AND SEDIMENTATION CONTROL IN MASSACHUSETTS, AND MASSDEP STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, LATEST EDITION.
2. A COPY OF THE APPROVED EROSION SEDIMENTATION CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
3. PRIOR TO COMMENCING LAND-DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING BUT NOT LIMITED TO, ADDITIONAL PHASES OF DEVELOPMENT AND OFF-SITE BORROW OR WASTE AREAS) A SUPPLEMENTARY EROSION CONTROL PLAN SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW.
4. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE ENGINEER.
5. DURING DEWATERING OPERATIONS, WATER WILL BE PUMPED INTO SEDIMENT BASINS OR SILT TRAPS. DEWATERING DIRECTLY INTO THE FIELD TILES OR STORM SEWER IS PROHIBITED.
6. PERMANENT OR TEMPORARY SOIL STABILIZATION MUST BE APPLIED WITHIN 15 CALENDAR DAYS OF THE END OF ACTIVE SOIL DISTURBANCE.
7. FILTER BASKETS SHALL BE INSTALLED AND MAINTAINED AROUND THE INLET AND OUTLET STRUCTURES AS SPECIFIED. THIS INCLUDES ANY STRUCTURE IN THE VICINITY OF ALL TRENCHING AND BACKFILLING OPERATIONS.
8. SEDIMENTATION BASINS, BARRIERS, AND ALL APPROPRIATE EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SORT OF SITE DISTURBING.
9. INLETS NOT SHOWN ON THE PLANS THAT ARE IMPACTED BY THE CONSTRUCTION SHALL HAVE INLET PROTECTION INSTALLED.
10. ALL EXCAVATION FROM SITE TRENCHING OPERATIONS SHALL BE PROTECTED TO ELIMINATE EROSION & SEDIMENTATION FROM ENTERING THE SEWER SYSTEM OR FROM LEAVING THE SITE.
11. STOCKPILE LOCATION SHALL BE CHOSEN TO MINIMIZE THE POTENTIAL FOR EROSION.
12. THE CONTRACTOR SHALL INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER ANY STORM EVENT IN EXCESS OF 1/2". THE INSPECTION REPORT SHALL BE KEPT ON SITE AND FILLED OUT FOR EACH COMPLETED INSPECTION.
13. SHOULD THE VOLUME, VELOCITY, SEDIMENT LOAD, OR PEAK FLOW RATES OF STORMWATER RUNOFF TEMPORARILY INCREASE DURING CONSTRUCTION, THEN ADDITIONAL MEASURES TO PROTECT ADJACENT PROPERTIES SHALL BE UNDERTAKEN.
14. THE TEMPORARY EROSION MEASURES SHALL REMAIN IN PLACE UNTIL ALL THE PERMANENT EROSION CONTROL ITEMS ARE FULLY FUNCTIONAL.
15. GRAVELED ROADS, ACCESS DRIVES, PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH, AND VEHICLES WASHDOWN FACILITIES, SHALL BE PROVIDED TO PREVENT THE DEPOSIT OF SOIL FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SOIL REACHING A PUBLIC OR PRIVATE ROADWAY SHALL BE REMOVED CONTINUOUSLY.
16. EXCAVATED SOILS SHALL BE HAULED OFF IMMEDIATELY; IF STOCK PILING IS REQUIRED, SURROUND STOCKPILE WITH EROSION PROTECTION AND COVER DURING RAIN EVENTS.

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Chicago, IL 60654

DEVELOPER

SoCore Engineering
225 West Hubbard St. Suite 200
Chicago, IL 60654
1-877-SOCORE1

ENGINEER

REV	DATE	ISSUANCE	DESCRIPTION
0	03/31/2023	ISSUE FOR ZONING PERMIT	DESIGN CONTROLLED ORIGINAL ISSUANCE
1	03/31/2023	ISSUE FOR ZONING PERMIT	

PROJECT NAME

OLIN WAY SOLAR
1000 OLIN WAY
NEEDHAM, MA 02492
(42.292826, -71.265995)

SHEET NAME

EROSION CONTROL & STORMWATER MANAGEMENT PLAN

DESIGNER	WMM	SCALE	AS NOTED
REVIEWER	MSA	SHEET SIZE	24" X 36"

STAMP

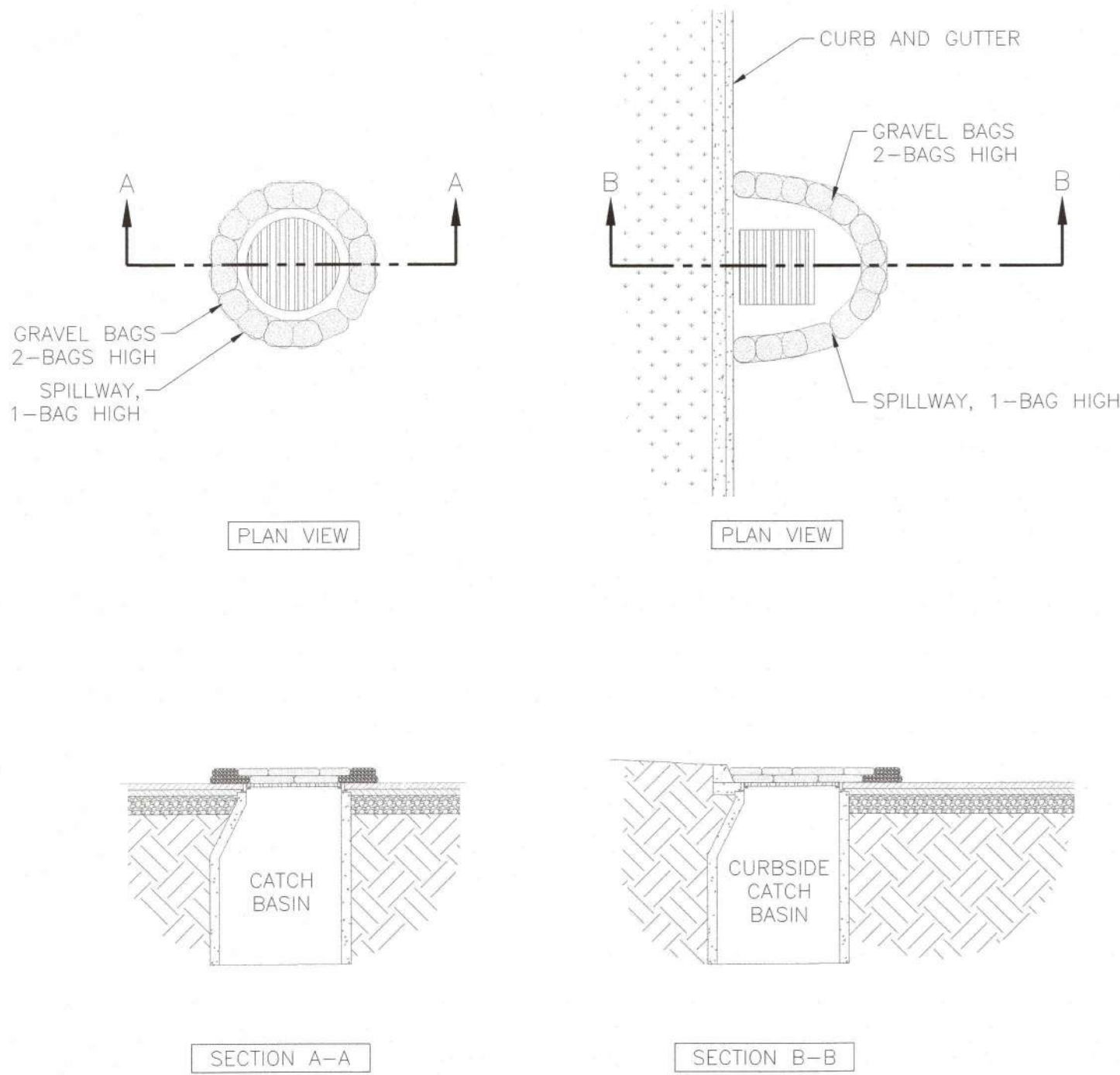
FOR: CIVIL

JOHN C. GANTNER, PE

SHEET NUMBER

C3.00

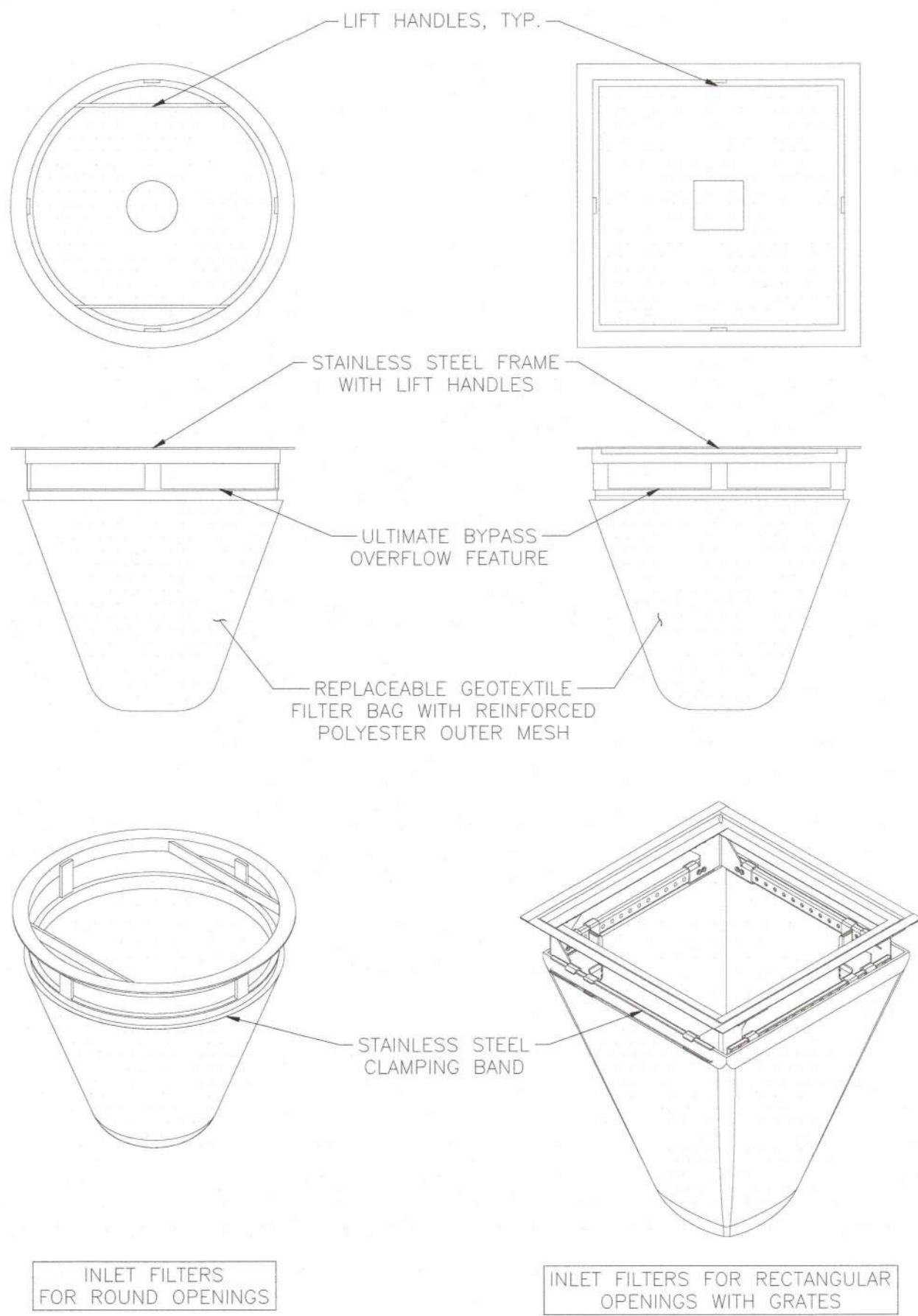
FILE PATH: \\PCH\FILE02.D90\TES\LOCAL\CHTA\COMPANY DATA\NEW FOLDER STRUCTURE\PROJECTS\OLIN WAY_ML_OLIN\ENGINEERING AND DESIGN\DRAWINGS\C4-10 - EROSION CONTROL NOTES & DETAILS.DWG 3/28/2023 BY: M5893



- NOTES:
1. CONTRACTOR TO INSTALL TEMPORARY GRAVEL BAGS AROUND ON ALL STORM SEWER CATCH BASINS AND INLETS.
 2. INLET PROTECTION MEASURES MUST BE INSTALLED TO ENSURE THAT FLOWS DO NOT BYPASS THE INLET PROTECTION AND ENTER THE STORM DRAIN WITHOUT TREATMENT.
 3. CHECK GRAVEL BAGS FOR PROPER ARRANGEMENT AND DISPLACEMENT. REMOVE THE SEDIMENT BEHIND THE BARRIER WHEN IT REACHES ONE-THIRD THE HEIGHT OF THE BARRIER.
 4. INLET PROTECTION MUST BE REMOVED AND PROPERLY DISPOSED OF WHEN THE DRAINAGE AREA FOR THE INLET HAS REACHED FINAL STABILIZATION.
 5. GRAVEL BAG INLET PROTECTION IS NOT APPLICABLE IN AREAS WITH HIGH SILTS AND CLAYS WITHOUT ADDITIONAL FILTER FABRIC

1 INLET PROTECTION — GRAVEL BAG

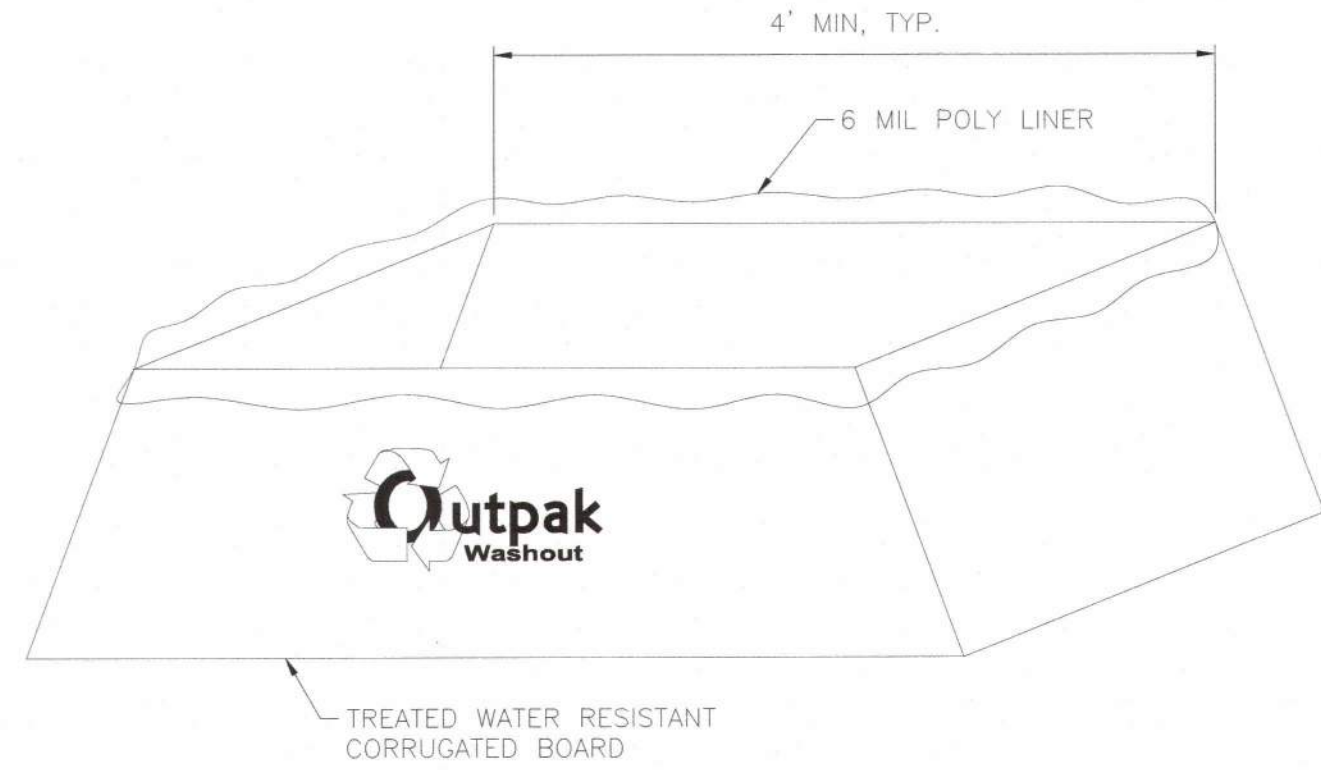
SCALE: 1" = 2'



- NOTES:
1. CONTRACTOR TO INSTALL TEMPORARY INLET SEDIMENT FILTER ON ALL STORM SEWER CATCH BASINS AND INLETS.
 2. INLET PROTECTION MEASURES MUST BE INSTALLED TO ENSURE THAT FLOWS DO NOT BYPASS THE INLET PROTECTION AND ENTER THE STORM DRAIN WITHOUT TREATMENT.
 3. PROPRIETY INLET PROTECTION DEVICES SHOULD BE INSPECTED AND MAINTAINED IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.
 4. INLET PROTECTION MUST BE REMOVED AND PROPERLY DISPOSED OF WHEN THE DRAINAGE AREA FOR THE INLET HAS REACHED FINAL STABILIZATION.

2 INLET PROTECTION — FILTER BASKET

SCALE: 1" = 1'



- NOTES:
1. CONTRACTOR TO PROVIDE OUTPAK CORRUGATED CONCRETE WASHOUT OR APPROVED EQUAL.
 2. THE CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON THIS PROJECT.
 3. SIGNS SHALL BE PLACED AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CONCRETE WASHOUT.
 4. THE CONCRETE WASHOUT AREA WILL BE REPLACED AS NECESSARY TO MAINTAIN CAPACITY FOR WASTE CONCRETE AND OTHER LIQUID WASTE.
 5. WASHOUT RESIDUE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED WASTE SITE.
 6. DO NOT MIX EXCESS AMOUNTS OF FRESH CONCRETE OR CEMENT ON-SITE.
 7. DO NOT WASH OUT CONCRETE TRUCKS INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS.
 8. AVOID DUMPING EXCESS CONCRETE IN NON-DESIGNATED DUMPING AREAS.
 9. LOCATE WASHOUT AREA AT LEAST 50' (15 METERS) FROM STORM DRAINS, OPEN DITCHES, OR WATERBODIES.
 10. WASH OUT WASTES INTO THE WASHOUT AS SHOWN WHERE THE CONCRETE CAN SET, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.

3 CONCRETE WASHOUT

SCALE: 1" = 1'



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Chicago, IL 60654

DEVELOPER

SoCore Engineering

225 West Hubbard St. Suite 200
Chicago, IL 60654
1-877-SOCORE1

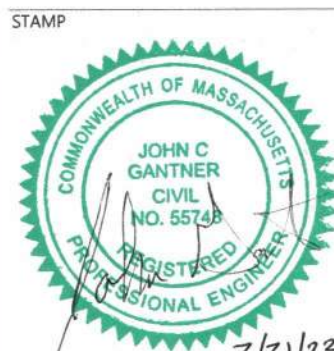
ENGINEER

REV.	DATE	ISSUANCE	DESCRIPTION	DESCRIPTION
0	02/24/2023	ISSUANCE	ISSUANCE	ISSUANCE
1	03/31/2023	ISSUANCE	ISSUANCE	ISSUANCE

PROJECT NAME
OLIN WAY SOLAR
1000 OLIN WAY
NEEDHAM, MA 02492
(42.292826, -71.265995)

SHEET NAME
EROSION CONTROL DETAILS

DESIGNER	WMW	SCALE	AS NOTED
REVIEWER	MSA	SHEET SIZE	24" X 36"



FOR: CIVIL
JOHN C. GANTNER, PE

SHEET NUMBER
C3.10

NEEDHAM TOWNSHIP,
NORFOLK COUNTY,
MASSACHUSETTS

DESIGN PROFESSIONALS	ELECTRICAL - STAN P. PRESINGER, P.E.
IN RESPONSIBLE CHARGE	MASSACHUSETTS BUILDING CODE, 5TH EDITION (BASED ON IRC-15)
BUILDING CODE:	MASSACHUSETTS COMPREHENSIVE FIRE SAFETY CODE (BASED ON NFPA 1-15)
FIRE CODE:	MASSACHUSETTS ELECTRICAL CODE (BASED ON NFPA 70-20)
ELECTRICAL CODE:	
SYSTEM SIZE:	480 VOLTS/3PH/3W/3C
RACKING TYPE:	FRED-TILT 2 [®] (6 MODULES IN PORTFOLIO & 3 MODULES IN PORTFOLIO)
ROW SPACING:	78" C-C
HEIGHT:	12" MINIMUM

ZONING DISTRICT: 942 - COLLEGE OR UNIVERSITY
JURISDICTION: NEDHAM TOWNSHIP
FLOOD ZONE: PROPERTY IS IN FLOOD ZONE DESIGNATION X1 PER TEXA FLOOD INSURANCE RATE MAP NUMBER 25021C00107E, EFFECTIVE DATE OF JULY 17, 2012.

EVERSOURCE	UTILITY	DEVELOPER	ELECTRICAL/CIVIL
Eversource Energy 800 Boylston St. Boston, MA 02119 1-800-562-2000	Engie 225 West Hubbard St., Suite 200 Boston, MA 02119 1-877-900-0RE1	SoCore Engineering 225 West Hubbard St., Suite 200 Boston, MA 02119 1-877-900-0RE1	

NOT TO SCALE



SCALE: 1" = 100'



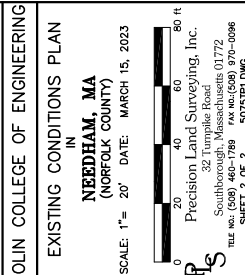
	SHEET NUMBER	SHEET TITLE	02.24.2023 - INTERCONNECTION	03.31.2023 - ISSUE FOR ZONING PERMIT
A	NEW DRAWING		G1.00 COVER SHEET	●
Δ	REVISED DRAWING		ALTA / TOPOGRAPHIC SURVEY (BY OTHERS)	●
O	NO CHANGES		C2.01 CIVIL SITE NOTES & SPECIFICATIONS	●
-	DRAWING OMITTED		C1.00 EXISTING CONDITIONS & SITE DEMO PLAN	●
			C2.00 SITE GEOMETRY PLAN	●
			C2.10 SITE DETAILS	●
			C3.00 EROSION CONTROL & STORMWATER MGMT PLAN	●
			C3.10 EROSION CONTROL ELECTRICAL DRAWINGS	●
I	SINGLE LINE DIAGRAM		E2.00 SINGLE LINE DIAGRAM	●



THE INFORMATION DISCLOSED HEREIN WAS OBTAINED BY AND IS THE SOLE PROPERTY OF SCORE ENGINEERING LLC. ALL PATENT, PROPRIETARY, DESIGN, U.S. OR FOREIGN, MANUFACTURING AND REPRODUCTION RIGHTS HERETO ARE HEREBY RESERVED. CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL PLANS AND SPECIFICATIONS, VERIFYING ALL EXISTING CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION, AND NOTIFYING SCORE ENGINEERING IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF PROPERLY SIZED EQUIPMENT. SUBMIT SHOP DRAWINGS TO SCORE ENGINEERING FOR APPROVAL OF CONFORMITY TO SCORE'S DESIGN INTENT.

SCORE ENGINEERING LLC SHALL RETAIN ALL COPYRIGHTS, STATUTORY AND COMMON LAW RIGHT WITH REGARD TO THESE PLANS, INCLUDING, BUT NOT LIMITED TO, ANY CHANGES OR ASSIGNMENT OF RIGHTS. CONTRACTOR'S USE OF THESE PLANS FOR ANY TRAINING OR MARKETING PURPOSES WITHOUT THE CONSENT OF SCORE ENGINEERING LLC, IS PROHIBITED.

ALL PERMITS AND REQUIREMENTS SET FORTH/AHEAD ARE INCORPORATED BY REFERENCE AND APPLY TO THE PLAN DRAWINGS OF EACH PACKAGE OF THIS DRAWING SET.



1. REFER TO AL'A SURVEY FOR THE HORIZONTAL COORDINATE SYSTEM AND VERTICAL DATUM USED FOR THE DESIGN OF THIS PROJECT.

- DEMOLITION NOTES:

- INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, TELEPHONE, CABLE, FIBER OPTIC CABLE, ET
SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ET
CONSTRUCTION THE CONTRACTOR SHALL USE A

1. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL

- ACCESS ROAD NOTES:

- UTILITY NOTES:

- SITE CLEARING SPECIF

- ADDITIONAL NOTES:

- WATERING NOTES:

- ### ERTHWORk SPECIFICATIONS:

- ### CONCRETE AND REINFORCING SPECIFICATIONS:

- SPILL PREVENTION & CONTAINMENT:

EXISTING

- 1 2 3 4 5 6 7 8 9 10 11 12

- DCE

- 3d 3d
N

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- WM

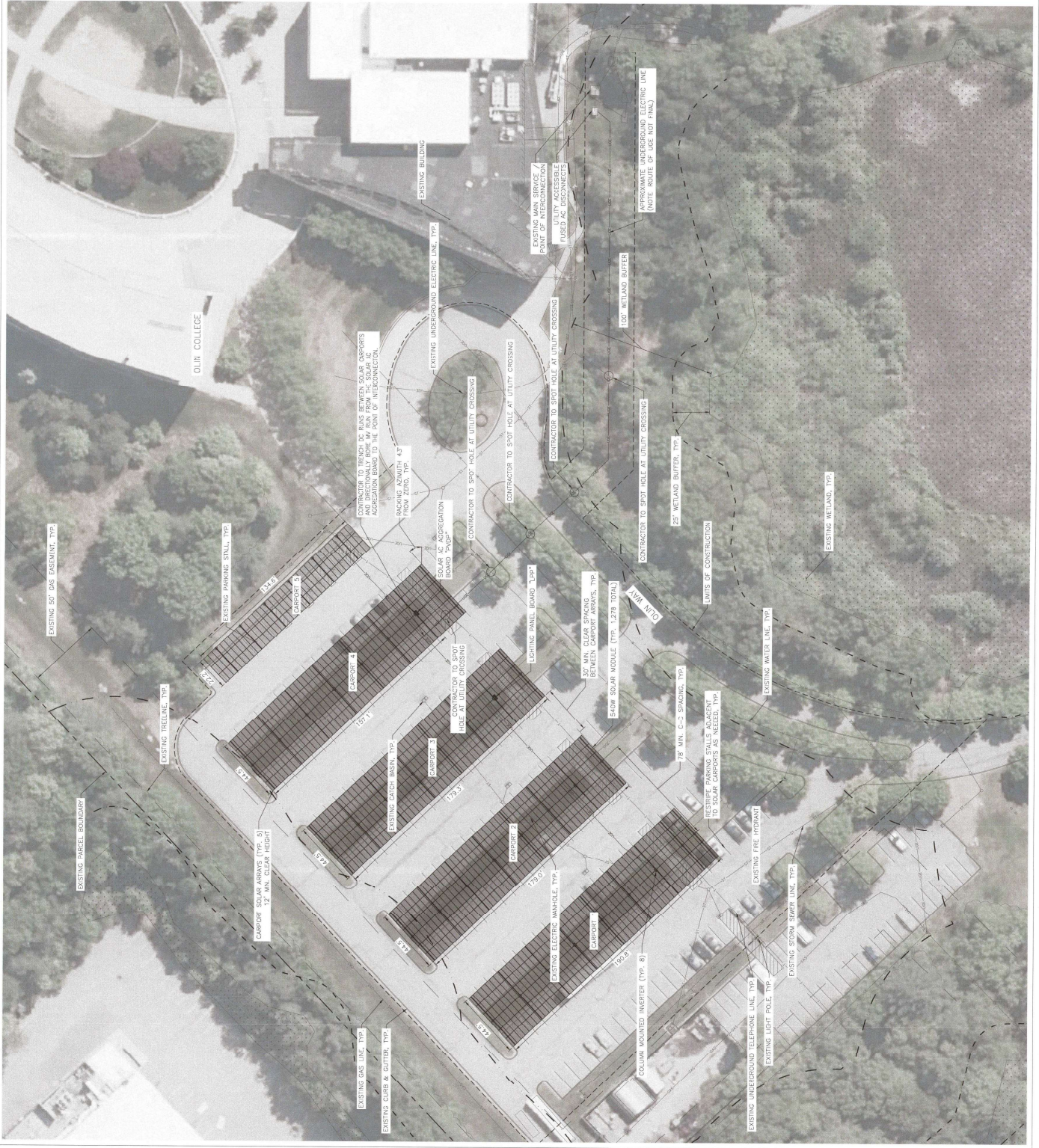
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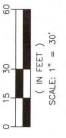
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SITE NOTES:

1. THE QUANTITY IS OF ESTIMATED BASE THREE-PARTY ENGINEERING
T. FROM BEING THEIR DESIGN OF THE SOLAR CARPORT STRUCTURE.



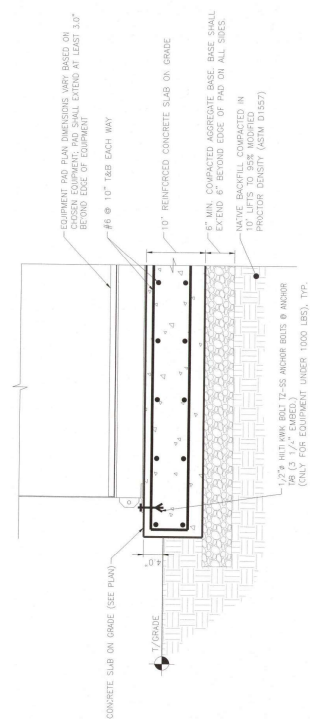
ENGIE Distributed Solar & Storage
225 West Hubbard St. Suite 200
Chicago, IL 60604
SoCore Engineering
225 West Hubbard St. Suite 200
Chicago, IL 60604
1-877-500-0061

REV.	DATE	DESCRIPTION
1	03/31/2023	ISSUE FOR ZONING PERMIT
2	03/31/2023	ORIGINAL ISSUANCE

1000 OLIN WAY
NEEDHAM, MA 02492
(42.292826, -71.265995)

SITE GEOMETRY PLAN
MSA
SCALE: 24" X 36"
AS NOTED

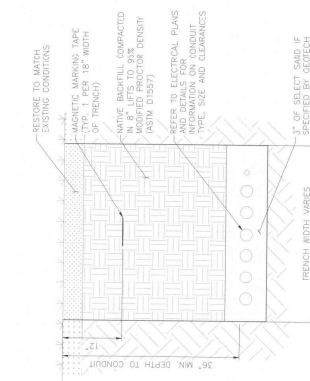
ENGIE
CIVIL
JOHN C. GANTNER, PE
361/25
C2.00



- NOTES:
1. CONTRACTOR SHALL ENSURE EQUIPMENT PAD DIMENSIONS SATISFY ELECTRICAL EQUIPMENT SIZES AND REQUIRED CLEARANCES PRIOR TO BEGINNING PAD PREPARATION WORK.

1 CONCRETE EQUIPMENT PAD

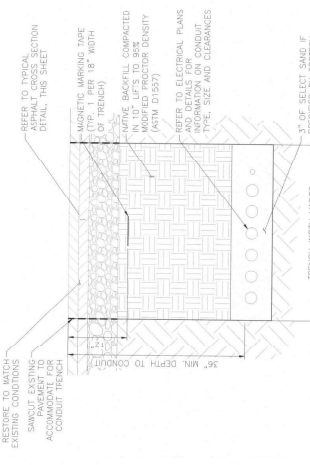
SCALE: 1" = 1'



- NOTES:
1. TOPSOIL SHOULD BE SET ASIDE AND ONLY USED TO TOP OFF AREAS WHERE VEGETATION IS PROPOSED. ALL TOPSOIL SHALL BE COMPACTED TO 98% PROCTOR DENSITY (ASTM D1557).
 2. ONCE ALL ELECTRICAL CONDUITS OR CONDUCTORS ARE IN PLACE, RE-COMPACT THE DISTURBED NATIVE SOIL TO 98% PROCTOR DENSITY (ASTM D1557).
 3. SPREADSHEET EQUIPMENT FREE OF STONES OR HAZARDOUS OBJECTS FOR THE FIRST 30\"/>

2 CONDUIT TRENCH DETAIL

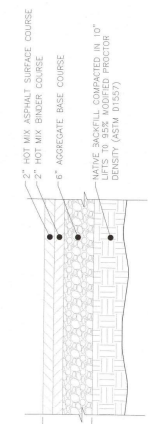
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 3. SPREADSHEET EQUIPMENT FREE OF STONES OR HAZARDOUS OBJECTS FOR THE FIRST 30\"/>

3 CONDUIT TRENCH DETAIL IN ASPHALT

SCALE: 1" = 1'



- NOTES:
1. EXISTING ASPHALT CROSS SECTION SHOULD BE REPLACED IN KIND.

4 TYPICAL ASPHALT CROSS SECTION

SCALE: 1" = 1'

REV	DATE	DESCRIPTION
1	02.24.2023	INTERCONNECTION
2	03.31.2023	ISSUE FOR ZONING PERMIT

OWNER	SCALE	AS NOTED
MSA	24" X 36"	AS NOTED

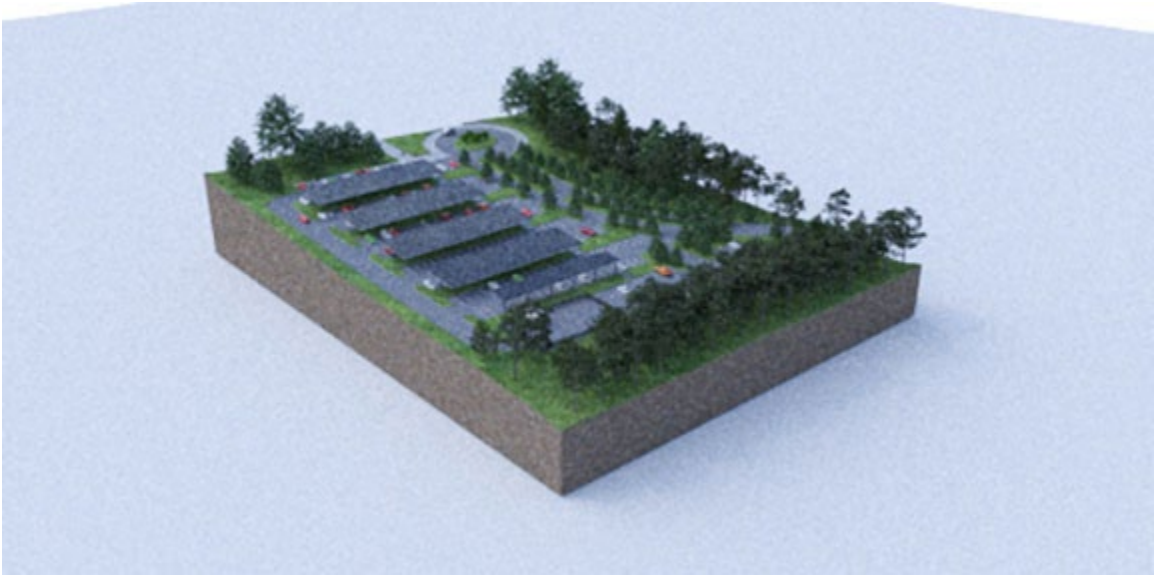




3 CONCRETE WASHOUT

SCALE: 1" = 1'







NEEDHAM PLANNING BOARD MINUTES

February 7, 2023

The Needham Planning Board meeting, held in person at the Charles River Room of the Public Services Administration Building and virtually using Zoom, was called to order by Adam Block, Chairman, on Tuesday, February 7, 2023, at 7:00 p.m. with Messrs. Crocker and Alpert and Mmes. McKnight and Espada, as well as Planning Director, Ms. Newman and Assistant Planner, Ms. Clee.

Mr. Block took a roll call attendance of the Board members and staff. He noted this is an open meeting that is being held in public and remotely per state guidelines. He reviewed the rules of conduct for all meetings. This meeting includes two public hearings that will be ~~continued~~continued, and public comment will not be allowed. If any votes are taken at the meeting the vote will be conducted by roll call. All supporting materials, including the agenda, are posted on the town's website.

Board of Appeals – February 16, 2023

50 Morningside Road – Michael and Siobhan O'Connell, owners

Mr. Block noted this is a 640 square foot ADU in the house for the parents.

Upon a motion made by Mr. Crocker, and seconded by Mr. Alpert, it was by a roll call vote of the five members present unanimously:

VOTED: "No comment."

28 Tudor Road – Jeanne Schwalback, owner

Mr. Block noted this is an 849 square foot ADU for the owner.

Upon a motion made by Mr. Crocker, and seconded by Mr. Alpert, it was by a roll call vote of the five members present unanimously:

VOTED: "No comment."

Vote to Extend Housing Plan Working Group Appointments to December 31, 2022.

Upon a motion made by Ms. McKnight, and seconded by Mr. Crocker, it was by a roll call vote of the five members present unanimously:

VOTED: to extend the Housing Plan Working Group Appointments to December 31, 2022.

Minutes

Ms. McKnight noted on the minutes of 11/15/2022, page 1, last paragraph, add "additional" to "two stories below ground", on page 3, second paragraph, "ration" should be "ratio" and remove "unclear" from the third sentence and on page 4, the "Committee" is "The Smart Zoning and Permitting Subcommittee of the CAPC."

Upon a motion made by Mr. Crocker, and seconded by Ms. McKnight, it was by a roll call vote of the five members present unanimously:

VOTED: to approve the minutes of 11/15/2022 as amended.

Correspondence

Mr. Block stated the Board has received a number of items of correspondence -- 4 emails regarding 888 Great Plain Avenue; 2 ~~were~~ residents requesting ADU reform; a notice from the League of Women Voters to save the date of 4/24/23 for a 7:30 p.m. event; and documentation that the Housing Plan was approved by the Select Board and was submitted to the MA Executive Office of Housing and Community Development (DHCD) 1/26/23 by our Planning Director.

Public Hearing:

7:15 p.m. – Major Project Site Plan Special Permit No. 2022-03: WELL Balfour Needham Landlord LLC, 4500 Dorr Street, Toledo, Ohio 43615, Petitioner. (Property located at 100-110 West Street, Needham, MA). Regarding proposal to redevelop the property to include 155 units of senior housing, consisting of 127 Assisted Living apartments and 28 Alzheimer's/Memory Care units. Please note: this hearing has been continued from the August 16, 2022, September 20, 2022, October 18, 2022, November 15, 2022, and December 19, 2022, meetings of the Planning Board. Please note: The applicant has requested to withdraw this application and has stated they will file another application at this property.

Mr. Block noted the following correspondence for the record: an email from Council of Aging Chairperson Colleen Schaller, dated 1/25/23, declaring opposition [what was she opposing – the withdrawal?] and a letter, dated 1/24/23, from Attorney Evans Huber requesting to withdraw the application without prejudice. Ms. McKnight stated she wants to understand the reasons for the withdrawal and resubmittal. What is the strategy? Attorney Evans Huber, representative for the applicant, noted there are some proposed modifications not formally submitted yet, and there is a concern with the eligibility of one member of the Planning Board to vote on the pending special permits application. The election is coming up and a second member may not be with the Board. The applicant wants to wait until after the election so all members can vote. He anticipates [what?] possibly 4/4/23 but he would like it after the election. Mr. Crocker questioned that one which member may not be eligible to vote and was informed it was Ms. Espada, [who had missed more than one hearing session?].

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Upon a motion made by Mr. Alpert, and seconded by Ms. McKnight, it was by a roll call vote of the five members present unanimously:

VOTED: to [allow the applicant to? – check wording of motion] withdraw the application without prejudice.

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Review of Zoning Articles for the May 2023 Annual and Special Town Meeting.

Mr. Block gave an introduction of the Accessory Dwelling Unit (ADU) Zoning Article. He noted Zoning Board of Appeals Chairman Jon Schneider was not able to be at this meeting. Article 6.1.2 is to amend the a 3-car garage section of the Zoning By-law. He and Mr. Schneider do not think the Board needs to regulate the design of the garage space and location of the garage door and how it is oriented. Ms. McKnight noted the proposed by-law amendment would not allow a 3-car garage by right. It only requires a special permit when the applicant wants a 3-garage space in front without any setback. If one garage is setback 5 feet, it would be allowed by right. Some people may ask if this is a proper issue for zoning. She is concerned with the look of the property and design. Zoning will take care of the look of the property. She feels three garages in front takes away from the beauty of the property. Mr. Block noted he does not like architectural censorship. The Zoning Board of Appeals (ZBA) does not see the need for this.

Mr. Crocker stated the Large House Study Committee set the garage back 5 feet from the front of the house and that is directly related to architecture. The Board deals with architecture all the time. It is within their realm to say no to a 3-car garage in front of the house, that it has to be pushed back. This is in the purview of the Planning Board. Mr. Alpert stated he disagrees with Ms. McKnight regarding aesthetics in general, but understands her point of view on this issue. He would allow a 3-car garage in front if one has a 5-foot setback. The Board does have setbacks for single family homes with long walls. He does not have a problem with the concept of a developer setting it back 5 feet, or if not, and

going to the ZBA. He is in favor of keeping ~~the article~~ the way it is drafted. He does not feel it would be that onerous on the ZBA.

Ms. Espada feels architectural censorship is about a style, ~~and~~ but this is a setback issue. She would keep it the way it has been drafted. She feels similarly to Ms. McKnight and Mr. Crocker. This is not censoring anything. The Board has no say in the design.

Upon a motion made by Mr. Alpert, and seconded by Ms. McKnight, it was by a roll call vote of the five members present unanimously:

VOTED: to send the Zoning Amendment labeled Article 1: Amend Zoning By-Law – Accessory 3-Car Garage Use in Single Residence B, General Residence, Business and Industrial Districts, to the Select Board for review and referral back to the Planning Board as presently drafted.

Mr. Block ~~introduced~~ noted Article 3.15 – Accessory Dwelling Units (ADUs). There are 2 drafts. He wants to allow ADUs by right. That is the most impactful change and allows it to be rented for a term of 12 months or more. It could be for an existing structure or by special permit in a detached structure. Mr. Alpert stated, currently, ADUs are not allowed at all in detached structures. Mr. Block ~~noted that~~ asked if garage ~~accessory~~ structures are allowed within 5 feet of the sideline setback and if the Board wanted to allow this. It ~~was~~ could be presented to Town Meeting in the broadest approach, i.e., to allow a 5-foot setback. Then after listening to the residents, the Board would make a determination as to whether the setback should be increased. He did not agree at first but, having looked at it, he has had a change of opinion. One version would allow it and the other version would not allow within the 5-foot setback.

Mr. Alpert stated the purpose of the vote is to send the Warrant Article to the Select Board, who send it back to the Planning Board for public hearing. Then the Planning Board could make changes before sending to Town Meeting. The Zoning Article sent to the Select Board tonight is published in the newspaper for a public hearing. Because it is published, the changes by the Planning Board can be more restrictive but not more expansive. He is in favor of sending the Warrant Article to the Select Board to allow a setback that has 5 feet so they can hear from the public. Then if the Board chooses to restrict it to 5 feet or more it can be made more restrictive. He wants to decide after hearing from the public. Ms. McKnight likes Mr. Alpert's explanation and agrees. Ms. Newman noted, by deleting paragraph 3.15 (b), it would make the structure comply with the underlying setback standards for the district. Ms. McKnight stated, under the current zoning, if the height is expanded to 15 feet, the applicant needs to have the same setback ~~as of~~ the ~~current~~ principal structure. She is satisfied to delete (b). Mr. Crocker stated fairness is a big part of what should be in town. It should be brought to the town but not only apply to existing structures ~~–~~ ~~that~~ that would eliminate some people who would want to do this. He asked if someone could build a new garage 5 feet from the property line. Ms. Newman stated a new ADU could be built within 5 feet of the property line as long as it is under 15 feet in height and meets all other requirements.

Mr. Crocker stated the Board has to allow for future structures to be built. There should be something in the By-Law. Mr. Alpert stated they did not go with that option. It had been in the draft but it was decided not to do that. He agrees with Mr. Crocker that it should be all in or all out. ~~unclear~~ Ms. Espada asked for clarity. Ms. Newman noted, by deleting this paragraph [3.15 (b)], an accessory structure can be built 5 feet from the property line if less than 15 feet in height. If higher than 15 feet, it must be sited with the dimensional requirements of the By-Law for the principal structure. These are the current rules. Mr. Alpert stated off-street parking was raised by Stephen Frail. The current By-Law requires at least one space for each residence, and ~~–~~ Needham has no overnight street parking. This requirement may require people to violate another By-Law. ~~unclear – delete?~~ Ms. McKnight feels one space for each unit is not too much.

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Stephen Frail, of 29 Powers Street, wanted to point out an ADU may be requested by someone beyond driving age or not able to drive. It may be a moot point of overregulating. Mr. Block stated all cars should be parked off-street on the lot. Ms. McKnight commented there is a discrepancy in 3.15.2 (b) and (d) ~~with~~ as to the words “primary” vs. “principal” residence. Principal is the word used currently. She proposes using “primary” in (d) in the second line to define the owner. Regarding the limit size to 850 square feet, she noted that ~~–~~ the standard commonly used seems to be 900 square feet. Wellesley used 900 square feet. She does not see the difference and was not sure why the Board chose 850 square

feet. She would like to go to 900 square feet. It could always be lowered to 850 square feet after the hearing. Mr. Alpert stated if Town Meeting says no to 900 square feet it would be a simple amendment on the Town Meeting floor. All agreed to 900 square feet.

Bill Zoppo, of Nehoiden Street, stated he wants an ADU in his own home. He feels 850 square feet is too small especially for active seniors. People need a little space like a den. He would like the Planning Board to consider a minimum of 1,000 square feet. Mr. Crocker noted a bedroom is defined as a room with a closet and a kitchen is defined as a room with a stove. Ms. McKnight stated there could be a den even if the limit were with 850 square feet. Mr. Alpert supports Ms. McKnight's suggested change to increase the ADU to 900 square feet and send that to the Select Board. Mr. Crocker is not concerned with 900 square feet but whether the proposed ADU amendment would pass with allowing separate structures and a 5-foot setback. Mr. Block noted the requirement in the proposed By-Law defers to the Building Commissioner, who may seek to get the Design Review Board (DRB) review if he intends to deny on the grounds if it does not have the appearance of look like a single residence. He thinks ~~this~~ is an unnecessary addition. Ms. McKnight stated the Building Commissioner is not required to consult with the DRB if he is comfortable granting the permit. If he is solely concerned about appearance, he can consult with the DRB.

Ms. Newman spoke with the Building Commissioner who appreciates this as written. Mr. Alpert suggested putting in language that, if denied, the applicant's sole recourse is to appeal to the ZBA. He made a motion to submit to the Select Board the ADU amendment as presented in the packet with the 2 changes suggested by Ms. McKnight tonight changing the word "principal" to "primary" in one place and increasing the permissible size from 850 square feet to 900 square feet. All agreed.

Upon a motion made by Mr. Alpert, and seconded by Mr. Crocker, it was by a roll call vote of the five members present unanimously:

VOTED: to submit Article 1 to the Select Board the ADU amendment as presented in the packet with the 2 changes suggested by Ms. McKnight tonight changing the word "principal" to "primary" in one place and increasing the permissible size from 850 square feet to 900 square feet.

Mr. Block noted in Article 3, Building Inspector was changed to Building Commissioner, renumbering of 3.14 and thereafter and amend 5.12 by deleting the "2nd edition" and inserting the words "the most recent edition of" after the words "recommendations based on."

Upon a motion made by Mr. Alpert, and seconded by Ms. McKnight, it was by a roll call vote of the five members present unanimously:

VOTED: to send Article 3 as presented in the packet to the Select Board.

Mr. Block noted Article 4 regarding Single Residence B and General Residence side setback. Ms. Newman noted one recommendation of the Large House Committee was to remove large massing on the side wall and to require the side be broken up every 32 feet with a 2-foot step in. The Building Inspector has some circumstance where the developers are building the entire side wall ~~in~~ at the 2-foot step in from the side-yard setback and argue that they do not have to break up the massing. The Building Inspector has been requesting the language be cleaned up. Ms. McKnight noted typos in 1, 6th line, after "construction" the reference to footnote 3, take out the redundant footnote (e). Mr. Alpert stated the footnote is being amended in paragraph 2. Ms. McKnight noted "foot note" should be one word dk. Ms. Clee noted the parenthesis needs to be closed at the end.

Upon a motion made by Mr. Alpert, and seconded by Mr. Crocker, it was by a roll call vote of the five members present unanimously:

VOTED: to send Article 4 Amend Zoning By0Law – Single Residence B and General Residence Side Setback to the Select Board for their referral back to the Planning Board with the 3 changes discussed tonight: change footnote in paragraph 1 to one word, in paragraph 2 add "amend" and in paragraph 3, add a closed parenthesis at the end.

Public Hearing:

8:15 p.m. – 920 South Street Definitive Subdivision: Brian Connaughton, 920 South Street, Needham, MA, Petitioner (Property located at 920 South Street, Needham, MA). Please note: this hearing has been continued from the December 19, 2022 meeting and will be further continued.

Scenic Road Act and Public Tree Act: Brian Connaughton, 920 South Street, Needham, MA, Petitioner (Property located at 920 South Street, Needham, MA). Please note: this hearing has been continued from the December 19, 2022 meeting and will be further continued.

Mr. Block noted the Board received a letter from Attorney George Giunta Jr., dated 2/7/23, requesting a continuance to 3/7/23 or 3/28/23 and extend the action deadline to 5/19/23.

Upon a motion made by Mr. Crocker, and seconded by Mr. Alpert, it was by a roll call vote of the five members present unanimously:

VOTED: to continue this hearing to 3/28/23 at 7:05 p.m. and extend the action deadline to 5/19/23.

Mr. Block noted Mr. Crocker gave a legal definition of a bedroom earlier and he wants it clear that is his opinion and may not be the legal definition. Mr. Alpert stated that is a definition used for purposes of defining “bedroom” if there is a septic system. Mr. Block disagreed. Different municipalities define a bedroom differently as relates to different codes. He does not want the public relying on this. The public should consult the Building Commissioner or a Real Estate Attorney if they want the official definition. [should this be in the minutes?]

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Report from Planning Director and Board members.

Ms. Newman stated she filed the aAction pPlan with the state for compliance with the MBTA guidelines so the 1/31/23 deadline was met. Embedded in the document is a schedule of how the Board will move forward. She has begun the process with use of Geographic Information System (GIS) to look at actual modeling to see how the recommendations in the hHousing pPlan lead into the housing production model, who they need to bring on board, community meetings and tech and fiscal analyses for all this work. The goal is 12/31/24 which is a tight timeline.

Mr. Block stated he sent the file with the Climate Smart Zoning Initiatives that have been undertaken by other municipalities.

Ms. Espada stated she and Ms. McKnight will be on the Needham Channel to talk about the Housing Plan. They will be discussing some questions that were proposed to them. She is not sure when that will come out. She is part of the Climate Action Committee which will be meeting this Thursday. They have done some research on solar zoning examples on mass solar energy systems to get them started on understanding what is already there. They wanted to kick start it. Ms. Newman stated rezoning for solarthis?? should be done in the Fall. The Board needs to figure out what the policy objectives will be. They need to look at what the Board wants and develop policies. This cannot be done in 3 weeks. It should be done in the Fall.

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Ms. McKnight stated she is a member of the Community Preservation Committee. There is a meeting tomorrow to consider some applications. One is to support the Needham Housing Authority request for support for changes to Linden Chambers. The Housing Authority put in an amount of one million dollars for investigation and action on zoning that would allow the development. She has no idea why they put in this amount. The zoning was changed to General Residence years ago. They talked about using a friendly 40B but could also to go Town Meeting for rezoning. She asked why the Housing Authority would need that amount of money for that task. Mr. Block commented he would need to read through everything to see what they are doing. He suggested Ms. McKnight ask the Housing Authority. Mr. Alpert stated it is a legitimate questions. That is a large chunk of the CPC’s money.

Ms. McKnight made a motion to adjourn the meeting in memory of, and in honor of, Sam Bass Warner who was a member of this Board for one term 10 or 15 years ago. She stated he was a wonderful member of this Board, and she wants to honor him for his service to this Town. He died a week and a half ago and his memorial service will be at the

Town Library. He was an urban historian and wrote many books. He brought his skill set and deep background in urban history. Mr. Alpert stated he succeeded Sam Bass Warner. Mr. Bass Warner was the only member at the time who was not a lawyer. ~~He~~She was greatly impressed by his perspective, being the sole non-lawyer on the Board. He brought great wisdom to the Board. Mr. Crocker added he brought social awareness to the Board. His only intent was the community. Ms. Newman had the pleasure of working with Mr. Bass Warner. She appreciated his perspective and seeing things at an angle she had not thought of. He had her reframe things and reevaluate things. Ms. Espada commented she never met him but feels sad that she never had the chance to meet him.

Upon a motion made by Ms. McKnight, and seconded by Mr. Alpert, it was by a roll call vote of the five members present unanimously:

VOTED: to adjourn the meeting at 8:47 p.m. in memory of, and in honor of, Sam Bass Warner.

Respectfully submitted,
Donna J. Kalinowski, Notetaker

Jeanne S. McKnight, Vice-Chairman and Clerk



City of Newton

Legal Notice

Monday, April 24, 2023

A Public Hearing will be held on Monday, April 24, 2023, at 7:00PM in Room 204, Newton City Hall, 1000 Commonwealth Avenue, Newton, MA, before the PLANNING AND DEVELOPMENT BOARD AND THE ZONING & PLANNING COMMITTEE of the Newton City Council for the purpose of hearing the following petition at which time all parties interested in this item shall be heard. Notice will be published Monday, April 10, 2023, and Monday, April 17, 2023 in The Boston Herald, with a copy posted online and in a conspicuous place at Newton City Hall.

Please Note: This is a hybrid meeting that the public may access in-person or virtually via Zoom with the following link: <https://us02web.zoom.us/j/85702070455>, or call 1-646-558-8656 and use the Meeting ID: 857 0207 0455. The final agenda will be posted online on Friday, April 21, 2023 at: <https://www.newtonma.gov/government/city-clerk/city-council/friday-packet>. Please call the Clerk's Office at 617-796-1210 for more information.

Copies of the proposed changes and accompanying materials are available at the City Clerk's office or can be found online at <https://www.newtonma.gov/government/city-clerk/city-council/council-standing-committees/zoning-planning-committee>

#227-22 Request for ordinance to regulate embodied carbon in new construction
COUNCILOR CROSSLEY, on behalf of the Climate & Sustainability Team, requesting a discussion with the Sustainability Team and Planning Department, and to amend the zoning ordinance (Section 5.13, notable 5.13.4.D Reserved) to regulate embodied carbon in large new construction and substantial renovations, to further the objectives of the city's Climate Action Plan.
