



Needham Public Schools
Office of the Superintendent

A school and community partnership that:
creates excited learners • inspires excellence • fosters integrity.

1330 Highland Avenue, Needham, MA 02492

Telephone 781-455-0400 extension 203

September 22, 2010

Ms. Katherine P. Craven, Executive Director
Massachusetts School Building Authority
40 Broad Street Suite 500
Boston, MA 02109

Attention: Statement of Interest

Dear Ms. Craven,

Enclosed, please find the Statement of Interest form as submitted electronically for the Pollard Middle School Roof Replacement located at 200 Harris in Needham. Attachments referenced in the statement of interest are also enclosed.

The enclosures includes the following as stipulated in the MSBA checklist:

- Original signed certifications
- Original certified vote of the Needham Board of Selectmen
- Vote of the Needham School Committee to authorize the Superintendent of Schools to submit the Statement of Interest signed by the School Committee Chairman.

On behalf of the Needham School Committee and the Town of Needham, thank you for your continued support and assistance. Please contact me if you require additional information.

Sincerely,

Daniel E. Gutekanst, Ed.D.
Superintendent of Schools

Attachments

CC: Kate Fitzpatrick, Town Manager
Connie Barr, Chair of the Needham School Committee

Massachusetts School Building Authority

School District Needham

District Contact Daniel E Gutenkast TEL: (781) 455-0400

Name of School Pollard Middle

Submission Date 9/22/2010

GREEN REPAIR PROGRAM CERTIFICATION

To be eligible to submit a Statement of Interest (SOI) for the Green Repair Program, a district must certify the following:

- The school facility has been and will remain in use as a public K-12 school, serving public school students for the useful life of any roof, window or boiler repair/replacement.
- The school facility has sufficient spaces to deliver its required educational program.
- Except for the condition of its roof, windows and/or boilers, the school facility is structurally, functionally and educationally sound and has no other known deficiencies; and, all other building systems are operational, safe and adequate for the delivery of the required educational program.
- The need for repairs or replacement of a roof, windows and/or boiler is not the result of neglect or the lack of routine or capital maintenance by the district.
- The district acknowledges and agrees to abide by all federal and state law and all rules, regulations, policies and guidelines of the MSBA, and the district agrees to use the MSBA's Green Repair Program pre-qualified OPMs and designers.
- The district has the ability to raise the local contribution required to fund the district's share of the project in a timely manner.
- The project schedule will have a deadline for construction to be completed prior to December 2011.
- The district has no entitlement to funds and the awarding of a grant(s), if any, is at the sole discretion of the MSBA.

LOCAL CHIEF EXECUTIVE OFFICER/DISTRICT SUPERINTENDENT/SCHOOL COMMITTEE CHAIR (E.g., Mayor, Town Manager, Board of Selectmen)

Chief Executive Officer

School Committee Chair

Superintendent of Schools

Kate Fitzpatrick

Connie S. Barr

Daniel Gutenkast

(print name)

(print name)

(print name)

Kate Fitzpatrick

Connie S. Barr

[Signature]

(signature)

(signature)

(signature)

Date 9/22/10

Date 9-22-10

Date 9/22/10

complexity of the roof and number of penetrations. It is understood that only one construction season may be eligible for funding from MSBA.) The total project cost would be locked in with the contractor in Spring 2011. Following approval of the project by both School Committee and the Board of Selectmen, Town Meeting will be asked to approve funding for the project at its November 2010 Special Town Meeting.

Is this part of a larger facilities plan? YES

If "YES", please provide the following:

Facilities Plan Date: 1/5/2010

Planning Firm: Town of Needham

Please provide an overview of the plan including as much detail as necessary to describe the plan, its goals and how the school facility that is the subject of this SOI fits into that plan:

This project is part of the Town of Needham FY11-15 Capital Improvement Plan. It makes improvements to the Pollard Middle School, for the purpose of extending the useful life of that facility and implementing energy conservation measures. The proposed project - slated for FY12 - is to replace the Pollard School roof with a new, energy efficient, 'built-up' roof, to rehabilitate the auditorium and science classrooms, and provide additional parking at the school.

Please provide the current student to teacher ratios at the school facility that is the subject of this SOI: 25 students per teacher.

Please provide the originally planned student to teacher ratios at the school facility that is the subject of this SOI: 20 students per teacher.

Is there overcrowding at the school facility? NO

If "YES", please describe in detail, including specific examples of the overcrowding.

Has the district had any recent teacher layoffs or reductions YES

If "YES", how many teaching positions were affected? 6

At which schools in the district? All schools. Pollard reduction was 1.0 FTE.

Please describe the types of teacher positions that were eliminated (i.e art, math, science, physical education, etc.):

Elementary classroom (3.0 FTE), Pollard elective (1.0 FTE), High School elective (1.0 FTE), elementary guidance (0.2 FTE), elementary reading (0.2 FTE), preschool speech/language (0.2 FTE), middle school SPED (0.33 FTE)

Has the district had any recent staff layoffs or reductions YES

If "YES", how many staff positions were affected? 5

At which schools in the district? All schools. Pollard reduction was 0.3 FTE clerical, 0.2 FTE computer technician.

Please describe the types of staff positions that were eliminated (i.e guidance, administrative, maintenance, etc.):

0.4 FTE COTA, 0.4 FTE Program Specialist, 2.1 FTE elementary/middle/high clerical, 0.5 FTE computer technician, 2.0 FTE teaching assistants.

Please provide a description of the program modifications as a consequence of these teacher and/or staff reductions, including the impact on district class sizes and curriculum.

Increase Grade 4 class size (Eliot 19 to 25/26, Mitchell 17/18 to 24/25, Newman 19/20 to 23/25); At Middle School (Pollard) fewer elective offerings in technology, wellness, art and theater, but no impact on core academic classes; At High School, some increase in class size, electives eliminated in Astronomy, AP Computer Science, Latin IV, and Web Design, and fewer electives in Television and AP Government.

Please provide a detailed description of your recent budget approval process including a description of any budget reductions and the impact of those reductions on the District's school facilities, class sizes and educational program.

Budget process: School Committee votes budget guidelines in September/October, budget developed October-December, public hearing/budget review in December-January, School Committee votes final budget recommendation January 25, Town Manager presents balanced budget proposal to Finance Committee by Jan 31. The Finance Committee's recommendation is the main motion at Town Meeting. The aforementioned reductions have not impact on school facilities. The impact on class size

and the elective program is detailed above. Other budget reductions have resulted in fewer opportunities to engage in District-wide curriculum development and teacher professional development; reduced the number of paid co-curricular faculty advisor and coaching opportunities for High School students; reduced the amount of middle school computer technician support (resulting in longer wait times for staff); reduced the amount of District-level teacher leader support for English Language Arts/targeted reading support. Other clerical reductions forced consolidation/re-organization of existing tasks onto fewer individuals and tighter educational supply budgets.

General Description

BRIEF BUILDING HISTORY: Please provide a detailed description of when the original building was built, and the date(s) and project scopes(s) of any additions and renovations (maximum of 5000 characters):

Pollard Middle School was designed and built as a junior high school in 1958, and added to in 1969. The 164,000 sf main building is laid out in two levels: the main level being the upper level, with the lower level housing the gymnasium, cafeteria, other large spaces and some classrooms. The lower section of the building, which is a two story section, was added after the initial upper level was completed. The addition of ten modular classrooms in 2002 increased the overall square feet to 175,000 and increased the educational capacity to 922 students. By design, the school has 45 general classrooms (including science.) To meet current educational requirements, however, spaces have been converted to provide for 49 total classrooms.

The school underwent major SBA-funded renovation in 1994, including replacement of windows. Additional renovations occurred in the following years: HVAC (1995), ADA upgrades (1996), modular classrooms installed (2002), cafeteria improvements (2002.) Major maintenance projects include: roof repair (1988, 1992), oil tank replacement (1993), boiler replacement (1993, 1994), asbestos abatement (2008, 2010), new exterior doors (2009), electrical/technology infrastructure upgrade (2009.)

TOTAL BUILDING SQUARE FOOTAGE: Please provide the original building square footage PLUS the square footage of any additions.:

175000

SITE DESCRIPTION: Please provide a detailed description of the current site and any known existing conditions that would impact a potential project at the site (maximum of 5000 characters):

The Pollard School is located at 200 Harris Avenue, on Assessor's Plan 35, Parcel 1. The 15.90 acre site includes playing fields that connect to portions of the DeFazio Recreational Complex on Dedham Avenue.

BUILDING ENCLOSURE: Please provide a detailed description of the building enclosure, types of construction materials used, and any known problems or existing conditions (maximum of 5000 characters):

The building enclosure is predominately masonry brick, with some areas of wood paneling and large portions of glass.

Age of EXTERIOR WALLS (In Years): 52

Year of Last Repair or Replacement: 1958

Description of Last Repair or Replacement:

Original walls. Exterior painting and minor repairs subsequently made, on a periodic basis.

Age of ROOF(In Years): 18

Year of Last Repair or Replacement: 1992

Type Of ROOF PVC Membrane

Description of Last Repair or Replacement:

Roof replaced with PVC membrane in 1988/1992. Subsequently, periodic repairs have been made, as needed.

Age of WINDOWS(In Years): 16

Year of Last Repair or Replacement: 1994

Type Of WINDOWS Aluminum awning windows with insulated glass and thermally-broken frames.

Description of Last Repair or Replacement:

Double pane energy efficient windows were installed.

MECHANICAL and ELECTRICAL SYSTEMS: Please provide a detailed description of the current mechanical and

electrical systems, and any known problems or existing conditions (maximum of 5000 characters):

The boilers are a hot water system. HVAC systems include air handling units and a split system for air conditioning. The school is served by two separate electrical services (underground transformer supplying 2000 Amps at 120/208 Volts, and a pole-mounted utility transformer supplying 800 Amps at 120/208 Volts.)

Age of BOILERS(In Years): 16

Year of Last Repair or Replacement: 1994

Description of Last Repair or Replacement:

Boilers replaced.

Age of HVAC SYSTEM (In Years): 15

Year of Last Repair or Replacement: 1995

Description of Last Repair or Replacement:

System replaced and put on building management system for remote control.

Age of ELECTRICAL SERVICES AND DISTRIBUTION SYSTEM(In Years): 1

Year of Last Repair or Replacement: 2009

Description of Last Repair or Replacement:

Electrical and technology infrastructure upgrades.

BUILDING INTERIOR: Please provide a detailed description of the current building interior including a description of the flooring systems, finishes, ceilings, lighting, etc. (maximum of 5000 characters):

Flooring is 70% VCT tile (VAT tiles replaced 2008; remaining VAT flooring to be abated FY11.) Interior walls are generally concrete masonry block. Some corridor walls are faced with structural glazed facing tiles, however large portions are wood framed glazing covered with gypsum board. Most interior doors replaced in 1994 renovation with hollow metal doors with wired glass and levered hardware. Interior fixtures are bare bulbs in a cove lighting above the ceiling in the corridor, and in the classrooms they are lay-in 2x4 acrylic lenses. Interior casework and woodwork are in relatively good condition. The building is not fully sprinklered.

PROGRAMS and OPERATIONS: Please provide a detailed description of the current programs offered and indicate whether there are program components that cannot be offered due to facility constraints, operational constraints, etc.:

Pollard provides an instructional program for 425 7th Graders and 405 8th Graders, in both core subject and elective areas. Elective programs include art, music, engineering and technology. Science classrooms are in need of modernization to meet programmatic needs. Recent operational budget reductions have resulted in some staff losses that have created larger class sizes.

CORE EDUCATIONAL SPACES: Please provide a detailed description of the Core Educational Spaces within the facility, a description the number and sizes (in square feet) of classrooms, a description of science rooms/labs including ages and most recent updates, and a description of the media center/library (maximum of 5000 characters):

The building was designed for 45 classrooms spaces. Currently, however, spaces have been converted to accommodate 34 regular education classrooms for core subject delivery, and 15 additional classrooms for elective programs. (Existing general classroom sizes vary from 723 sf to 907 sf.) There are 8 science labs and a media center/library. Although the science classrooms are in need of modernization, the media center/library is adequate to meet the educational needs of the school.

CAPACITY and UTILIZATION: Please provide a detailed description of the current capacity and utilization of the school facility. If the school is overcrowded, please describe steps taken by the administration to address capacity issues. Please also describe in detail any spaces that have been converted from their intended use to be used as classroom space (maximum of 5000 characters):

Although some spaces in the school are at capacity, and others are undersized for the current population, the focus of this

SOI is roof repair, and not renovation of the Pollard facility. As noted above, the building was designed for 45 classroom spaces, but spaces have been converted to create 49 classrooms for program delivery. Classroom capacity is at the upper limit, with an average class size of 24 in Grade 7 and 25 in Grade 8. Additionally, the auditorium and cafeteria are both too small to seat an entire grade level of students. The Administration makes routine and satisfactory accommodations to ensure programs can be delivered in the most efficient way possible.

Needham already has invested considerable resources toward addressing overcrowding at this school. In September 2009, the High Rock School opened as a sixth grade center, which reduced the population of the Pollard School by approximately 420 students. The High Rock School was renovated without MSBA assistance, and was supported by the community through a debt exclusion override.

MAINTENANCE and CAPITAL REPAIR: Please provide a detailed description of the district's current maintenance practices, its capital repair program, and the maintenance program in place at the facility that is the subject of this SOI. Please include specific examples of capital repair projects undertaken in the past, including if any override or debt exclusion votes were necessary (maximum of 5000 characters):

The Town implemented a structured preventative maintenance program in 2009. This program provides for the quarterly and/or annual maintenance of HVAC, water heating, plumbing, electrical, and general maintenance systems. The Town also funds an annual facility maintenance capital article to address the needs of smaller repairs such as duct cleaning, asbestos abatement and HVAC upgrades.

Priority 5

Please provide a detailed description of the energy conservation measures that are needed and include an estimation of resultant energy savings as compared to the historic consumption.

The installation of a durable, cold-process, multiple-ply roofing assembly will increase the amount of insulation, thereby resulting in greater energy savings in the building. An energy savings analysis, provided in an email communication from Tremco, is included as Attachment B to this Statement of Interest.

Priority 5

Please describe the measures the School District has already taken to reduce energy consumption.

The Town has been making energy efficiency improvements at the Pollard School since 1994, including: lighting upgrades, window replacement, door replacement, energy efficient refrigerator installations, and fuel oil #2 burner catalyst to increase burner efficiency by 10%. Additionally, this building was the first to be incorporated into the Town's Building Automation System, which allows for the remote control of the heating and partial cooling system. The Town and School Department committed itself to a 5% energy reduction challenge in 2009-10. Pollard performed with a 6.66% electricity reduction (not weather adjusted) over the prior year and a 5.16% energy reduction (not weather adjusted) over the prior year. There also was a natural gas reduction of 32.54%, but the amount of natural gas consumed at this building is negligible.

Priority 5

Please provide a detailed explanation of the impact of the problem described in this priority on your district's educational program. Please include specific examples of how the problem prevents the district from delivering the educational program it is required to deliver and how students and/or teachers are directly affected by the problem identified.

Leaks and water penetration have interrupted the educational program in the band and music rooms, the gymnasiums, the interior pedestrian 'bridge,' and the administrative offices area. In the band and music area, water has leaked into various practice and storage rooms, which have taken both of those spaces off line for program delivery and storage. Leaks in the main band room have occurred near the windows, which has not disrupted classes. In the gymnasiums, leaks have resulted in areas being cordoned off and modification of the curriculum due to fewer available square feet of space and greater student density. Leaks in the administrative area have primarily been confined to the Principal's Office. In that office, furniture must be moved during rainstorms to prevent damage to papers and files. On the interior pedestrian 'bridge,' water has seeped through the wall tiles, resulting in portions of the passageway being cordoned off and walkways becoming narrow. This has resulted in congestion, particularly during passing times between classes.

The School Administration continues to make accommodations to educational programs due to the regular and persistent roof leaks. However, these accommodations continue to take a toll on student learning and the safe, secure and efficient operation of the school.

Please also provide the following:

Age of Exterior Walls (Years): 52

Were any major repairs or renovations of the exterior walls undertaken in the past?: YES

If "YES", please provide the year of the last major repair/renovation of the exterior walls: 1958

Age of Roof (Years): 18

Were any major repairs or renovations of the roof undertaken in the past?: YES

If "YES", please provide the year of the last major repair/renovation of the roof: 1992

Age of Windows (Years): 16

Were any major repairs or renovations of the windows undertaken in the past?: YES

If "YES", please provide the year of the last major repair/renovation of the windows: 1994

Age of Boilers (Years): 16

Were any major repairs or renovations of the boilers undertaken in the past?: YES

If "YES", please provide the year of the last major repair/renovation of the boilers: 1994

Age of HVAC (Years): 15

Were any major repairs or renovations of the HVAC undertaken in the past?: YES

If "YES", please provide the year of the last major repair/renovation of the HVAC: 1995

Age of Electrical System (Years): 1

Were any major repairs or renovations the electrical system undertaken in the past?: YES

If "YES", please provide the year of the last major repair/renovation of the electrical system: 2009

Have the systems identified above been examined by an engineer or other trained building professionals?: YES

If "YES", please provide the name of the individual and his/her professional affiliation:

Tremco, Inc., 15 Woodview Dr., Lakeville MA 02347. A copy of this study is included as Attachment B.

Please also provide the date of the inspection:: 9/17/2008

Please describe how addressing the system will extend the useful life of the facility that is the subject of this SOI (maximum of 5000 characters):

The existing PVC roof system has experienced seam failure and cracking, due to age. (The roof, installed in 1992, had a 10-

year warranty.) With every rainstorm, new leaks develop, thus compromising the integrity of the envelope and increasing the amount of damage within the building. In addition, the PVC roof does not provide adequate insulation. The building currently is heated with #2 fuel oil; conservation is a priority.

The proposed project would replace the roof on the main building (excluding modular classrooms) with a durable, cold-process, multiple-ply roofing assembly. A new roof of this type would address the current leakage issues, would come with a 20 year warranty, and would provide optimal insulation to boost energy efficiency. In addition, a 'built up' roof system would allow for the potential use of solar energy generating technology in the future.

Vote

Vote of Municipal Governing Body YES: 5 NO: 0 Date: 9/21/2010

Vote of School Committee YES: 7 NO: 0 Date: 9/7/2010

Vote of Regional School Committee YES: NO: Date:

Form of Vote

The following form of vote should be used by both the City Council/Board of Aldermen, Board of Selectmen/equivalent governing body AND the School Committee in voting to approve this Statement of Interest.

If a regional school district, the regional school district should use the following form of vote.

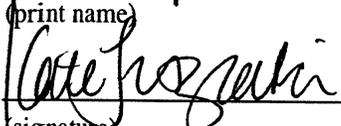
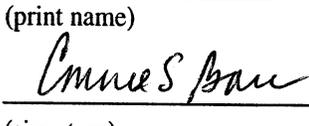
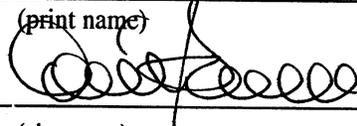
Resolved: Having convened in an open meeting on _____, the _____ *[City Council/Board of Aldermen, Board of Selectmen/Equivalent Governing Body, School Committee]* of _____ *[City/Town/School District]*, in accordance with its charter, by-laws, and ordinances, has voted to authorize the Superintendent to submit to the Massachusetts School Building Authority the Statement of Interest dated _____ for the _____ *[Name of School]* located at _____ *[Address]* which describes and explains the following deficiencies and the priority category(s) for which _____ *[Name of City/Town/District]* may be invited to apply to the Massachusetts School Building Authority in the future

_____ *[Insert a description of the priority(s) checked off on the Statement of Interest and a brief description of the deficiency described therein for each priority];* and hereby further specifically acknowledges that by submitting this Statement of Interest, the Massachusetts School Building Authority in no way guarantees the acceptance or the approval of an application, the awarding of a grant or any other funding commitment from the Massachusetts School Building Authority, or commits the _____ *[Name of City/Town/District]* to filing an application for funding with the Massachusetts School Building Authority.

CERTIFICATIONS

The undersigned hereby certifies that, to the best of his/her knowledge, information and belief, the statements and information contained in this statement of Interest and attached hereto are true and accurate and that this Statement of Interest has been prepared under the direction of the district school committee and the undersigned is duly authorized to submit this Statement of Interest to the Massachusetts School Building Authority. The undersigned also hereby acknowledges and agrees to provide the Massachusetts School Building Authority, upon request by the Authority, any additional information relating to this Statement of Interest that may be required by the Authority.

**LOCAL CHIEF EXECUTIVE OFFICER/DISTRICT SUPERINTENDENT/SCHOOL COMMITTEE CHAIR
(E.g., Mayor, Town Manager, Board of Selectmen)**

Chief Executive Officer	School Committee Chair	Superintendent of Schools
Karl Fitzpatrick	Connie Barr	Daniel Gyzekaust
(print name)	(print name)	(print name)
		
(signature)	(signature)	(signature)
Date 9-21-2010	Date 9-22-10	Date 9/22/10

Needham Public Schools
1330 Highland Avenue, Needham MA 02492

Attachments to the September 22, 2010 Statement of
Interest Submission to the Massachusetts School Building
Authority:

- A. *Construction Budget Estimate for Pollard Middle School Roof Replacement & Related Items*, prepared by Tremco, September 17, 2008. (Tremco, 15 Woodview Drive, Lakeville MA 02347.)
- B. *Energy Assessment of Replacement Pollard Middle School Roof*. (E-mail from Geoffrey Davis of Tremco, to Chip Laffey, Director of Facility Operations, Town of Needham, September 21, 2010.)
- C. Certified vote of the Town of Needham Board of Selectmen, September 21, 2010
- D. Minutes of Needham School Committee, September 7, 2010.

NEEDHAM PUBLIC SCHOOLS
STATEMENT OF INTEREST
SEPTEMBER 22, 2010
ATTACHMENT A

TREMCO

To: Charles Laffey / Town of Needham
Fm: Geoff Davis / Tremco Inc.
Cc:
Dt: September 17, 2008
Re: Construction Budget Estimates: Roof Replacement & Related Items
(Pollard Middle School)

Chip, at your request, I've prepared conservative construction cost-estimates for the removal and replacement of the PVC roofing systems at the Pollard Middle School. We have included estimates to install the durable, cold-process, multiple-ply roofing assembly, identical to that installed at the Broadmeadow School, Eliot School, DPW Complex and other Town of Needham facilities.

The construction budget estimates contained below should be considered relatively conservative and include reasonable allowances for minor, unforeseen conditions which will inevitably be encountered through the course of the work. Cost-estimates are factored with approximate pricing, as experienced in 2008, with an additional 7% included for unanticipated pricing-spikes in insulation, materials, prevailing wage-rates, etc. The costs contained in this document do not take into account various job-specific conditions which are capable of significantly affecting costs. The primary "unknowns" related to this project consist-of, but are not entirely-limited to, the following:

- Hazardous-Materials: Asbestos-containing materials may exist in the original, multiple-ply roofing systems located beneath the PVC roofing systems, or at roof drain installations, installed during the building's original construction. These original roofing materials were, in large portions of the building, never removed and were covered-over with the present, PVC roofing membrane. Once sampling/testing has been completed, more-accurate construction-cost information can be provided. We have retained samples from each roof area and could complete this testing for \$3000-4000, total.
- Work-Hour Restrictions: It is assumed that the removal and disposal of the roofing systems can be completed during standard working-hours. Given the fact that this is a highly-residential area, it seems likely that any noisy, disruptive work would have to be kept to a minimum and completed during standard ('awake') hours.
- Masonry Defects (Rising Brick Walls & Chimneys): None of our inspection has included any provisions for the repair and/or waterproofing of rising masonry, above/below the various roof lines. In this particular case, there are very few areas where masonry conditions directly-impact the roof system.

(Continued..)

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- HVAC & Roof-Mounted Condensers: Allowances have been included for various mechanical disconnects and reconnects for the existing sleeper-mounted condenser units and HVAC units located on the different roof surfaces. We have included an arbitrary allowance of \$12,000 to cover typical mechanical costs to capture-refrigerant, and perform electrical/mechanical disconnects/reconnects at these units. At present, many of these units do not provide adequate clearance to permit the proper removal and installation of new roofing materials.

- Roof Drainage: Across the various roof systems, there are many instances where existing roof drains (and leader lines) penetrate thru exterior eaves. Aside from additional tapered insulation to provide proper slope, we have concerns about the conditions in the exterior leader-piping. In several areas, there is evidence of active-leakage (possibly from clogged/slow-flowing lines). In other areas, leader-piping has been disconnected, in an effort to address some type of internal defect/problem in the drain line system. We would recommend that consideration be given to installing heat-trace cabling to the exposed portions of these drains/lines, in an effort to prevent freeze-damage in the winter months. We have also included an arbitrary allowance of \$30,000 to address various plumbing-related problems in the roof drain lines. This may, or may not be adequate to cover repairs, once a thorough inspection has been completed.

- Skylight Arrays: There are several areas where 'clusters' of acrylic-domed skylight assemblies have been installed over classroom spaces. While these skylights are capable of providing beneficial, natural light into classroom spaces, we would suggest that the Town perform an evaluation to make-sure they are to be re-incorporated into the new roof design. Some of the skylights have blinds/shades underneath them, indicating that they may present heat/light problems. Should the skylights be retained, we would suggest that the cluster/group of skylights be exchanged for single, continuous insulated skylight assemblies, as opposed to 10-20 small units. At present, these units are separated by 4-5" of space, making various flashing details very difficult and highly-prone to leakage problems. We have included an arbitrary allowance of \$24,000 to provide combined, single-structure skylights in these areas. This may, or may not be adequate to cover the actual costs, should they be pursued.

Thank you for giving us the opportunity to provide preliminary assistance on this project. If you (or Others) have any questions, or need additional information, please let me know.

TREMCO

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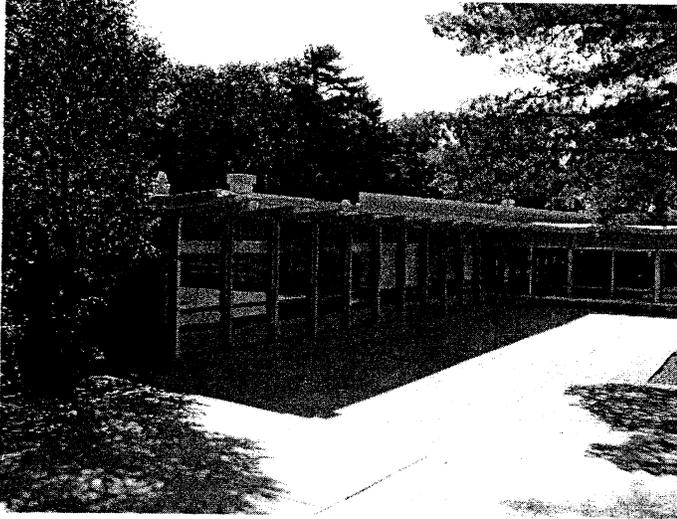


Photo #1: Overview photo showing Harris Ave side of the Pollard Middle School. This photo shows a section of the 1956 (original) construction.

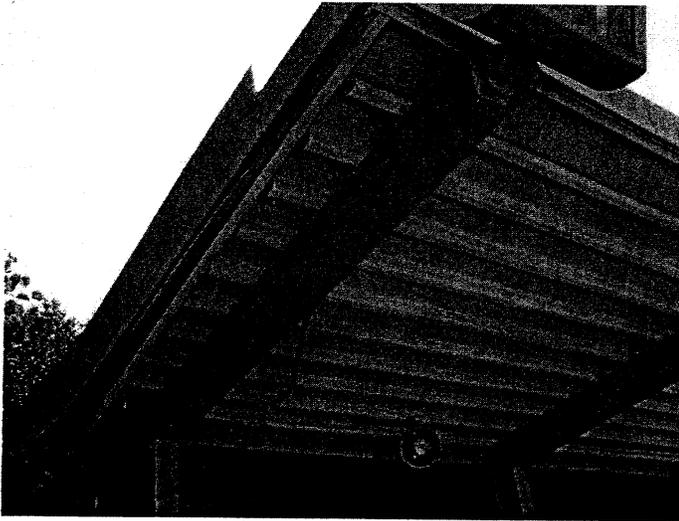


Photo #2: Steel decking supports the majority (3/4) of the roof systems at the Pollard School. Some overhang areas show evidence of significant leakage. Rust/rot repairs are likely, particularly at overhangs.

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Photo #3: The steel roof deck doubles as the interior ceiling in portions of the Pollard Middle School. Care will need to be taken to ensure roof-securement methods (fasteners, etc.) have a minimal impact on aesthetics.

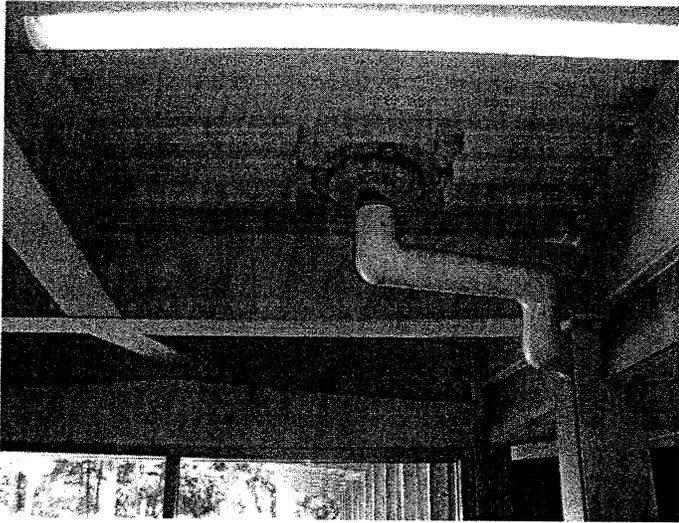


Photo #4: There is evidence of leakage around many of the roof drains. This may be water migrating between the various roof layers. We're recommending the removal, replacement and re-insulation of all roof drains.

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TREMCO

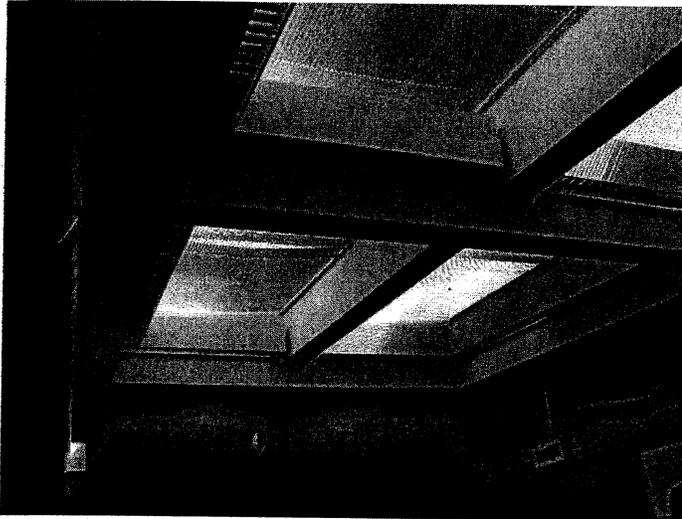


Photo #5: Certain classrooms contain acrylic-dome skylight arrays. An assessment should be made to determine if these skylights are to remain, and if so, what modifications may be necessary (shades, glazing, etc.)

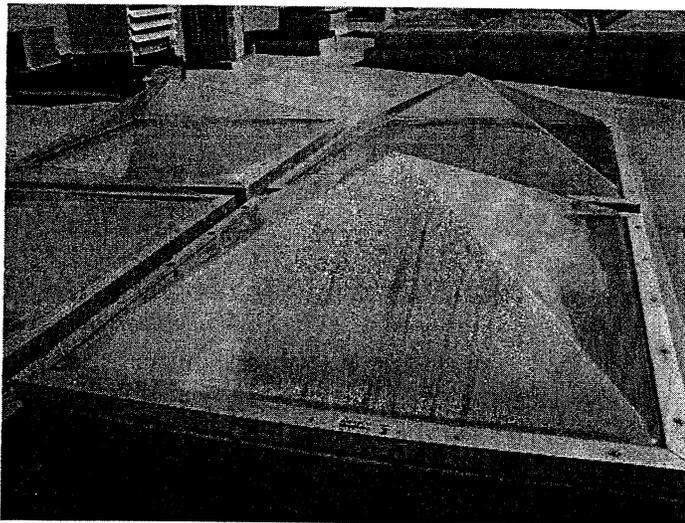


Photo #6: Several of the existing skylight units have damaged seals. The current placement/orientation of these skylight arrays represent significant difficulties in-regards to waterproofing/flashing details.

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TREMCO

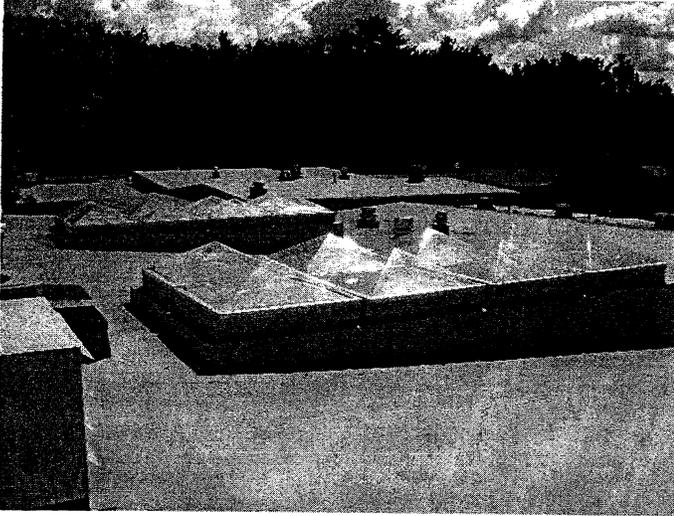


Photo #7: If designated to-remain, we'd suggest that these 'clusters' of individual skylights be replaced with two (2) larger, pyramid or barrel-vault skylight structures to reduce the potential for leakage issues over time.

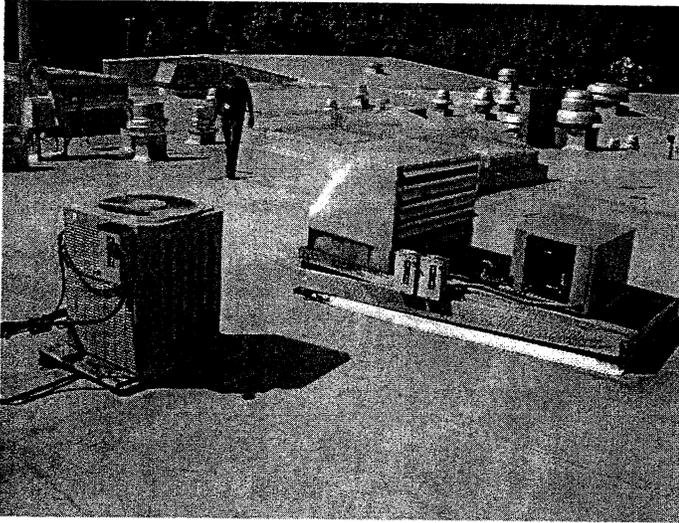


Photo #8: Portions of the existing roof system at the Pollard School contain large quantities of vents, HVAC and other roof-mounted equipment. Membrane roof systems are a vulnerability in these environments.

TREMCO

15 Woodview Dr. Lakeville, MA 02347 (800) 841-8681 FAX (866) 877-4205 TREMBOS@AOL.COM

TREMCO

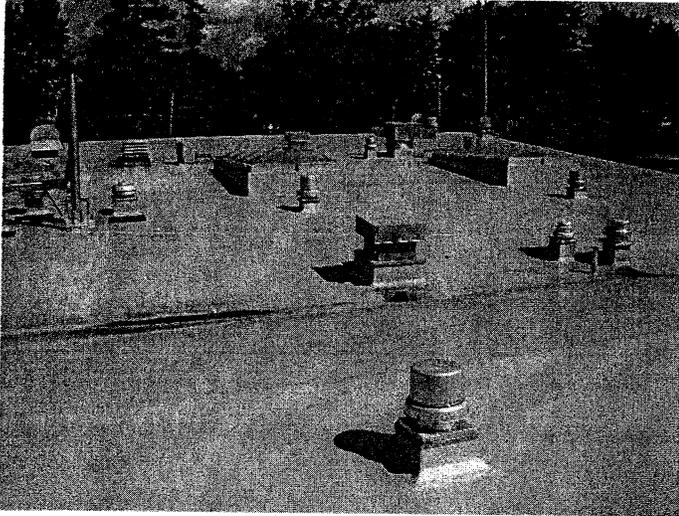


Photo #9: Another photo showing the congested roof environment on portions of the Pollard School.

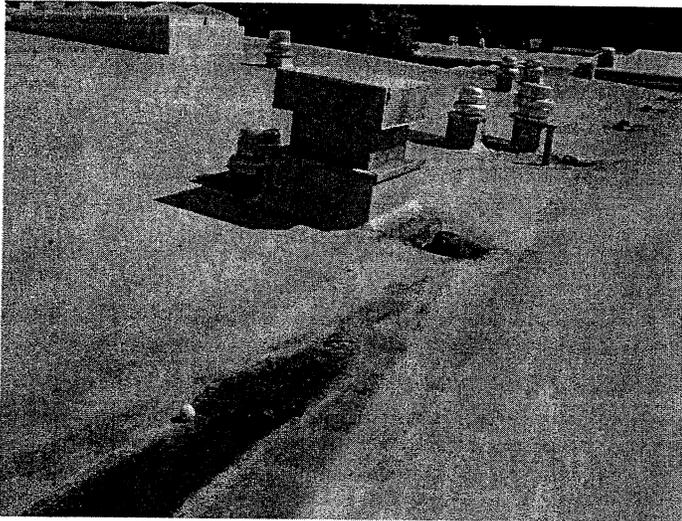


Photo #10: Improved drainage, particularly in valley areas, needs to be a priority in the new roof design. At present, large amounts of water collect between roof drains. Tapered insulation will resolve most drainage issues.

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TREMCO

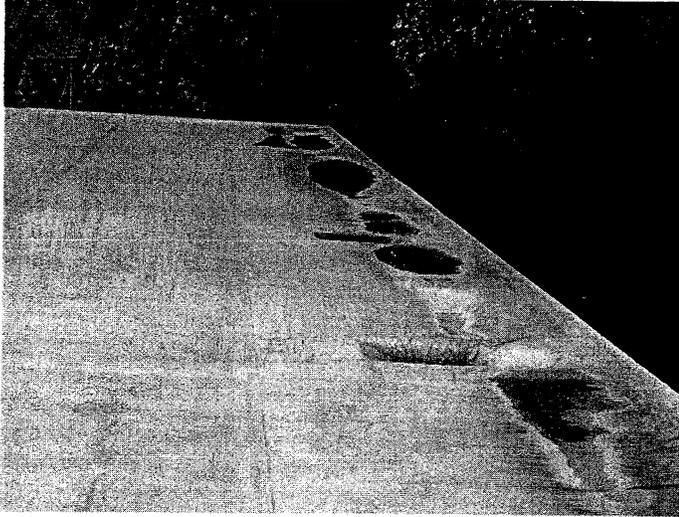


Photo #11: The outer-edge of the perimeter overhangs drain poorly. Tapered-insulation ("crickets") would resolve this problem.

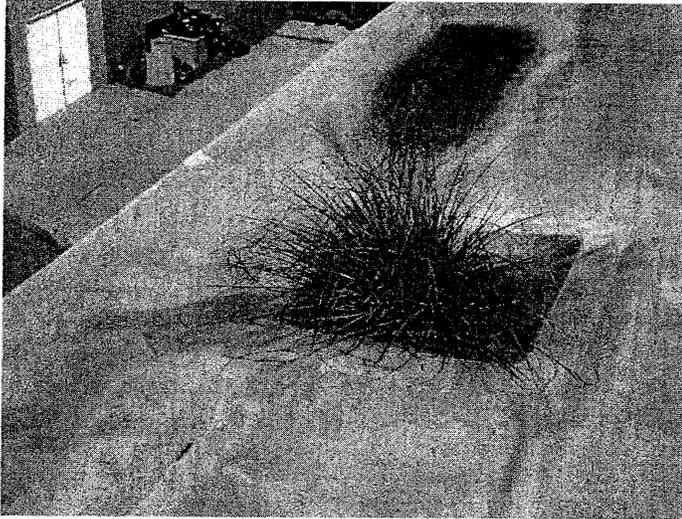


Photo #12: Photo showing (one of many) clogged roof drain. Very marginal maintenance at roof drains is also compounding problems w/drainage. Future roof system warranties should incorporate a companion inspection/maintenance program to help prevent these kinds of problems.

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TREMCO

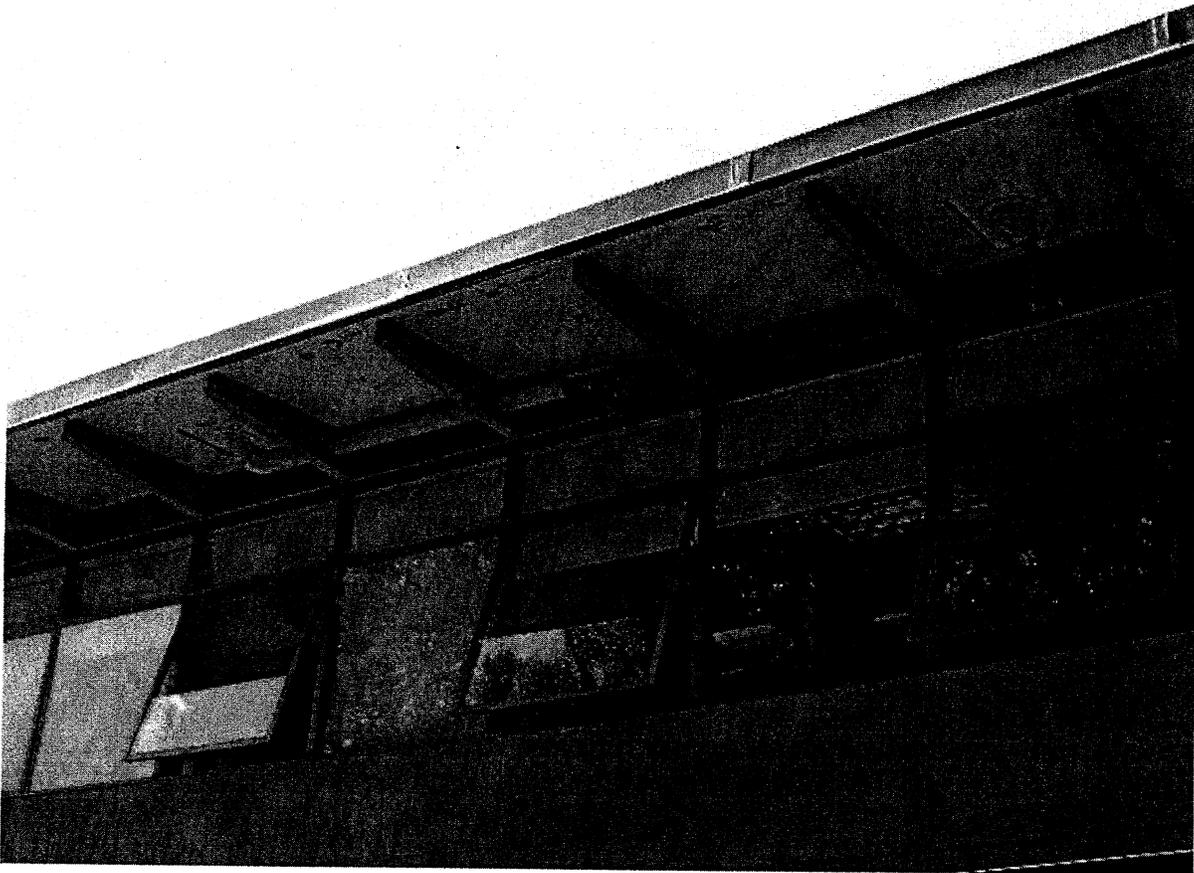


Photo #13:

Portions of the overhangs have clearly experienced leakage problems. Peeling paint, stains and broken/disconnected drainage piping all point to significant problems in the overhangs.

Exterior drainage lines, in New England, represent a risk of freeze-damage. Consideration should be given to wrapping exposed pipes w/heat-trace cabling and providing proper insulation throughout.

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Photo #14: Photo showing disconnected perimeter drainage piping through the overhang at the Pollard School. Additional work will be required to identify the reasons behind disconnecting these lines. The source(s) of the problems will need to be properly-repaired in order to provide proper roof drainage.

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TREMCO

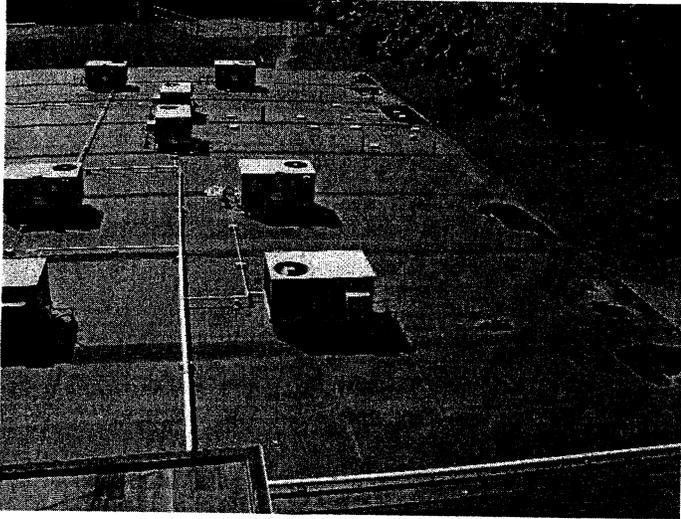


Photo #15: This photo looks down on the modular classrooms at the rear of the school. Temporary disconnection and re-connection of gas-lines may be required, depending-on slope-to-drain requirements.

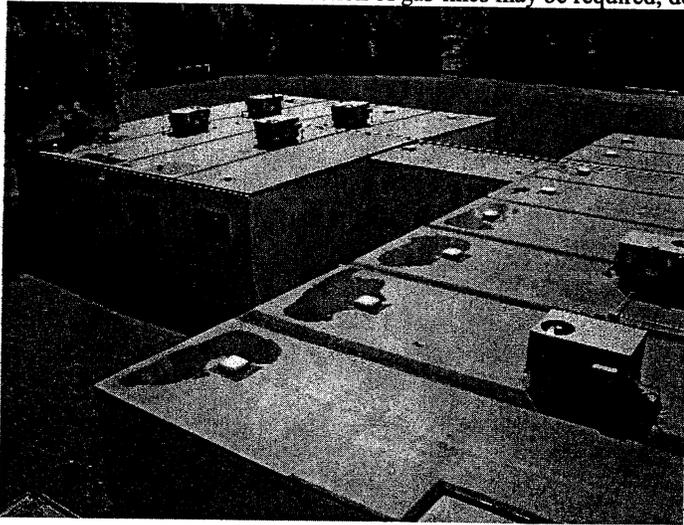


Photo #16: Drainage issues, and the type/kind of ventilation units used on these modular buildings, will require additional thought and (possible) improvements.

TREMCO

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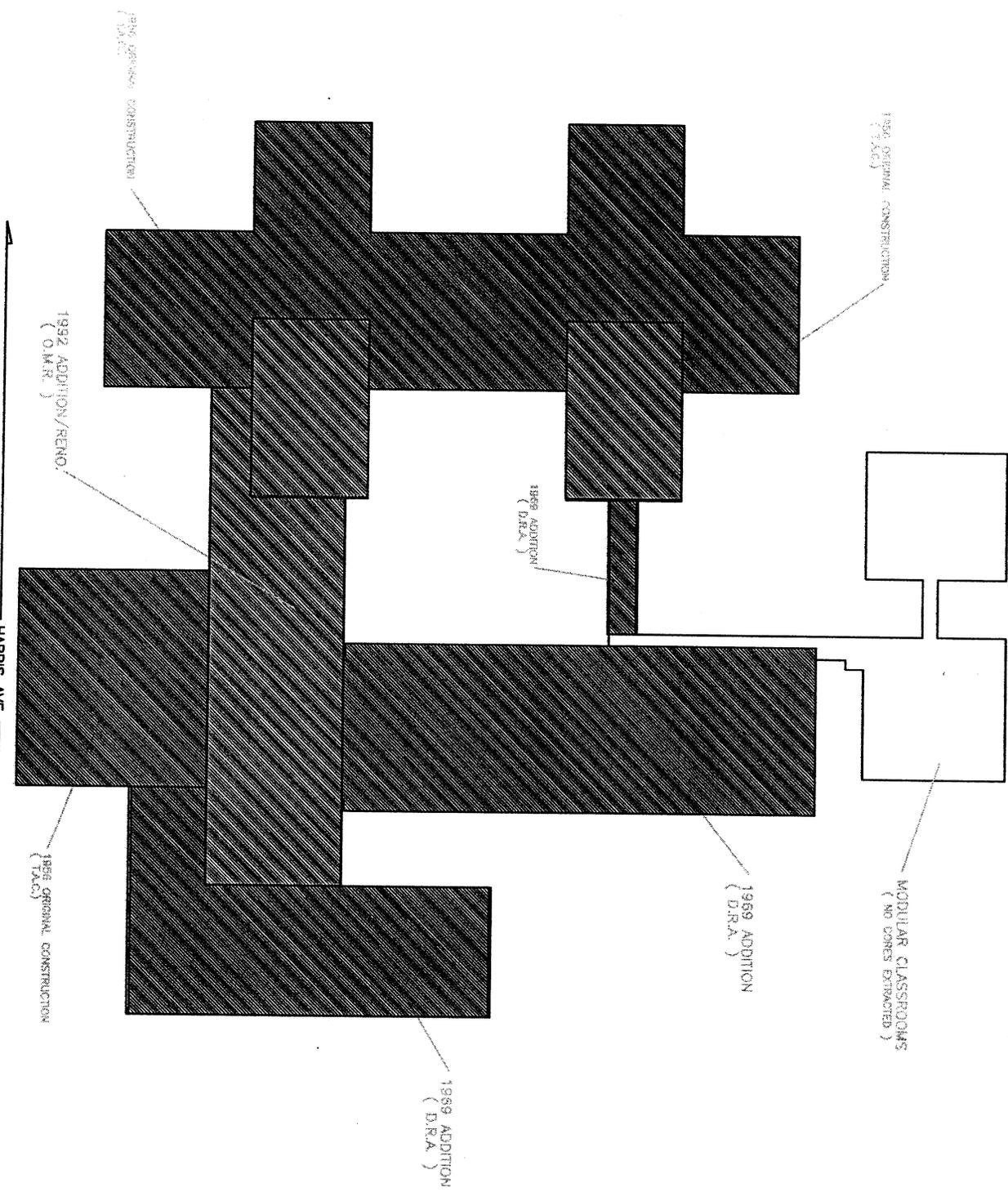
TREMCO



Photo #17: Portions of the exterior siding on the modular classrooms are in poor/damaged condition. No costs/allowances have been included to address or repair these particular problems.

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REVISION	NO.	DATE	BY

ROOF PLAN
SCALE 1" = 16'

SINGLE vs.
MULTIPLE
ROOF LAYERS

LEGEND:

-  ONE LAYER INSULATION (R-3.7)
-  MULTIPLE LAYERS OF INSULATION (R-17)



PROJECT:
POLLARD MIDDLE SCHOOL
500 HARRIS AVE.
NEEDHAM, MASSACHUSETTS

DESIGNED BY	DATE SUBMITTED	FILE NAME
DRAWN BY	DATE PLOTTED	PLOTTING USER
CHECKED BY	DATE PRINTED	PRINTING USER



CONSTRUCTION COST-ESTIMATES

Date: September 17, 2008
 Project: Roof Replacement & Associated Work
 Location: Pollard Middle School / Town of Needham

Sheet 1 of 1

Item Description	Quantity		Material Cost		Labor Cost		COST	
	Number	Unit	Unit Cost	Total	Unit Cost	Total	Unit Cost	Total
GENERAL CONDITIONS								
Mobilization, Safety Provisions, Temporary Protection	1	lump sum		\$500.00		\$2,400.00		\$2,900.00
Portable Sanitary Facility (1 total) - 1 month.	1	lump sum		\$450.00				\$450.00
Building Permit / Licenses / Fees	1	ALLOW.		\$1,500.00				\$1,500.00
LABOR & MATERIALS								
Dumpsters: 3.5" Roof Thickness (Non-Retrofit - 39,334 sf)	16	40 yard box	\$1,120.00	\$17,920.00	\$0.00	\$0.00	\$1,120.00	\$17,920.00
Dumpsters: 5.5" Roof Thickness (Retrofit Areas - 79,143 sf)	42	40 yard box	\$1,120.00	\$47,040.00	\$0.00	\$0.00	\$1,120.00	\$47,040.00
Crane service - stocking & removal/hoisting of debris.	42	days	\$700.00	\$29,400.00	\$0.00	\$0.00	\$700.00	\$29,400.00
Remove multiple roof systems, insulation & flashings.	118,477	square feet	\$0.00	\$0.00	\$3.25	\$385,050.25	\$3.25	\$385,050.25
Remove and replace moisture-damaged steel deck (5%).	4,019	square feet	\$6.00	\$9,780.00	\$12.00	\$48,228.00	\$18.00	\$72,348.00
Remove and replace moisture-damaged wood deck (5%).	560	square feet	\$9.00	\$5,040.00	\$12.00	\$6,720.00	\$21.00	\$11,760.00
Remove and replace moisture-damaged GWP deck (5%).	728	square feet	\$25.00	\$18,200.00	\$12.00	\$8,736.00	\$37.00	\$26,936.00
Install isocyanurate insul. (3.0") mechanically-attached.	118,477	square feet	\$0.95	\$112,553.15	\$1.35	\$159,943.95	\$2.30	\$272,497.10
Adhere top-layer of high-density, asphalt-based traffic board.	118,477	square feet	\$0.70	\$82,933.90	\$1.20	\$142,172.40	\$1.90	\$225,106.30
Install new low-odor, cold-process, four (4) ply roof system.	118,477	square feet	\$3.45	\$408,745.65	\$2.30	\$272,497.10	\$5.75	\$681,242.75
Install new low-odor, cold-process floodcoat & aggregate.	118,477	square feet	\$1.20	\$142,172.40	\$1.35	\$159,943.95	\$2.55	\$302,116.35
Install new membrane flashing details.	785	linear feet	\$5.10	\$4,003.50	\$17.20	\$13,502.00	\$22.30	\$17,505.50
Install new treated sleepers & pads (equip./gas-lines)	55	each	\$19.35	\$1,064.25	\$16.00	\$880.00	\$35.35	\$1,944.25
Install new .040" Kynar-aluminum cleat/fascia.	4,368	linear feet	\$8.15	\$35,599.20	\$9.25	\$40,404.00	\$17.40	\$76,003.20
Install new .050" Kynar-aluminum gutters & downspouts.	348	linear feet	\$14.35	\$5,000.80	\$12.10	\$4,222.90	\$26.45	\$9,223.70
Install new heat-trace cabling at gutters/downspouts.	1	ALLOW.	\$1,500.00	\$1,500.00	\$2,000.00	\$2,000.00	\$3,500.00	\$3,500.00
Install new protective service pads.	60	unit	\$24.00	\$1,440.00	\$7.00	\$420.00	\$31.00	\$1,860.00
Fabricate & install new expansion-joint detail.	550	linear feet	\$14.50	\$7,975.00	\$15.20	\$8,360.00	\$29.70	\$16,335.00
Remove & replace existing roof drain bowl assemblies.	81	unit	\$230.00	\$18,630.00	\$680.00	\$55,080.00	\$910.00	\$73,710.00
Provide heat-trace cabling at exposed drain-sites.	40	unit	\$100.00	\$4,000.00	\$500.00	\$20,000.00	\$600.00	\$24,000.00
Misc. plumbing repairs at roof drains/piping	1	ALLOW.	\$0.00	\$0.00	\$30,000.00	\$30,000.00	\$30,000.00	\$30,000.00
Misc. HVAC work (temp. disconnects/reconnects).	1	ALLOW.	\$0.00	\$0.00	\$12,000.00	\$12,000.00	\$12,000.00	\$12,000.00
Skylight consolidation - single pyramid structures.	2	ALLOW.	\$7,500.00	\$15,000.00	\$4,500.00	\$9,000.00	\$12,000.00	\$24,000.00
Full-time jobsite inspection/monitoring.	55	days	\$0.00	\$0.00	\$650.00	\$35,750.00	\$650.00	\$35,750.00
Fifteen (15) year roof-system warranty.	1	UNIT	\$17,772.00	\$17,772.00	\$0.00	\$0.00	\$17,772.00	\$17,772.00
Sub Total								
5% Overhead Allowance								\$2,419,876
10% Profit Allowance								\$120,994
Payment & Performance Bonds								\$241,988
TOTAL CONSTRUCTION ESTIMATE								
Engineering / Design Costs (8.5%)								\$2,824,601
TOTAL COMBINED ESTIMATE								
								\$3,064,692

Sectional Roof Replacement

From: "Chip Laffey" <CLaffey@needhamma.gov> Sep 21, 2010 8:07:08 AM 

Subject: FW: Energy Assessment: New Roofing System: Pollard School

To: Anne Gulati

Cc: "Steven Popper" <SPopper@needhamma.gov>
"Carys Lustig" <clustig@needhamma.gov>
"Kate Fitzpatrick" <KFitzpatrick@needhamma.gov>
"Dave Davison" <DDavison@needhamma.gov>
"Richard P. Merson" <RMerson@needhamma.gov>

NEEDHAM PUBLIC SCHOOLS
STATEMENT OF INTEREST
SEPTEMBER 22, 2010
ATTACHMENT B

Attachments:  Attach0.html 27K
 Pollard School - Consolidated Cost-Estimate Report & Drawin.pdf 1.1M

Hi Anne,

Please see below the response from Geoffrey Davis of Tremco. Based on the survey work done back in 2008 of the existing Pollard Roof has an R value of approximately 10.2. With the proposed roofing system the R value would be increased to 28.2. This in effect is almost tripling the present day R value (tripling the present day roof insulating capability). Additionally we could switch from the tan colored aggregate to the light colored aggregate to reduce the cooling load in the warmer months. I believe this roof system to be durable and sustainable and in the best interest of the Town.

Charles (Chip) J. Laffey

Director of Facility Operations

470 Dedham Avenue

Needham, MA 02492

Office (781) 455-0442

Fax (781) 449-9023

From: Geoffrey Davis [<mailto:trembos@aol.com>]
Sent: Tuesday, September 21, 2010 6:40 AM
To: Chip Laffey
Subject: RE: Energy Assessment: New Roofing System: Pollard School

Chip,

I've spent some time going-through the original write-up/assessment (Sept 2008) we provided on the Pollard School. A copy's included, as an attachment.

As you might recall, we completed moisture-survey testing on certain roof sections, in-conjunction with a host of core-samples across the school. We found large portions of the school covered with two (2) separate layers of roofing and insulation (the multi-ply roof systems were overlaid with insulation and the current PVC membrane material).

In regards to energy-savings, the vast majority of the energy savings will be achieved by increasing the insulation in the new roofing assembly. This is particularly important due to the fact that portions of the school do not have dropped-ceilings, with the steel/wood roof deck acting as the ceiling.

There are also potential savings associated with providing insulation/thermal-break improvements at perimeter overhangs, where the roof decking (and interior ceiling) extend beyond the building walls (see report photos). These overhang conditions often represent significant air-leakage issues and heat-loss challenges where the cold roof deck extends out past the building walls.

Finally, there are a number of pyramid/dome skylight assemblies that we've identified as potential candidates for consolidation, elimination or upgrade. Using well-insulated and more energy-efficient skylights can/will have an impact on energy-savings, via reduced heat-loss (or decreased solar-based cooling loads, depending-on glazing options).

A new roofing system installed on this building, will incorporate multiple-layers of thermal insulation (typically 2 base-layers, minimum) to provide staggered-insulation joints and maximum thermal efficiency. To add a suitable traffic-bearing-surface, a high-density cover-board is also adhered over the base-layers of thermal insulation. In the case of the Pollard School, the majority of our test-cuts revealed approximately 2.0" of existing thermal insulation* (polyisocyanurate). **As installed, the current roof insulation materials deliver an R-Value of approximately 10.2 (5.1 per inch).**

Installing a new roofing assembly would typically-involve two (2) base-layers of 2.2" isocyanurate insulation and a high-density cover-board, with a net (LTTR) new R-Value of approximately 28.2 (combined). **Ultimately, the thermal efficiency of the new roofing assembly would increase by almost 275%.**

Calculating estimated savings (in heating/cooling \$'s) involves a complicated-formula, that includes a host of variables (cost/Therm, heating-system efficiencies, degree-day calculations, etc.), which are difficult to calculate in a building with different roof deck-types; different interior ceiling-configurations; multiple-boilers (?), etc..

As mentioned earlier, there are similar energy savings possible through the upgrade/replacement of the existing skylight assemblies. As these represent a relatively-small footprint, the return on these improvements is likely to be smaller, as well.

Finally, the reflectivity/emissivity of the roof system surface can be an important consideration. In New England, the primary concern tends to involve heat-loss, as opposed to air-conditioning loads. The light-colored, aggregate finish on the new roof system provides a generally-reflective surfacing, which helps reduce cooling-loads in summer months. With an added construction cost, this light-colored/tan aggregate can be changed to a bright-white aggregate to provide an even more-elevated reduction in cooling-loads.

I covered a large amount of ground in this e-mail, and know that there may be questions (or additional information required). If there is, please let me know & I'll try to help in any way possible.

Tks.,

Geoff Davis / TREMCO Inc.

* Although there were small-amounts of thermal insulation below the original multi-ply roof systems in various areas, these materials represent inconsequential R-values (< 1), and aren't carried-forward in our calculations.

From: Chip Laffey [<mailto:CLaffey@needhamma.gov>]

Sent: Monday, September 20, 2010 12:35 PM

To: Geoff Davis

Subject: FW: energy assessment

Hi Geoff,

Any idea how much the R factor will increase if we go with the attached Tremco roof vs. the present day PVC roof?

Or any idea on the potential energy savings there may be with the new Tremco roof?

I'm in the process of completing a SOI for the MSBA for a Green Energy Roof repair.

Chip

Charles (Chip) J. Laffey

Director of Facility Operations

470 Dedham Avenue

Needham, MA 02492

Office (781) 455-0442

Fax (781) 449-9023



TOWN OF NEEDHAM

TOWN HALL
1471 Highland Avenue
Needham, MA 02492-2669

Office of the
BOARD OF SELECTMEN

TEL: (781) 455-7512
FAX: (781) 449-4569
TDD: (781) 455-7558

CERTIFICATION OF VOTE Statement of Interest for the Pollard School Roof Project

I, John A. Bulian, Chair of the Needham Board of Selectmen, hereby certify that at its regularly scheduled meeting of Tuesday, September 21, 2010, the Board of Selectmen voted to approve the following motion:

Suggested Motion: Having convened in an open meeting on September 21, 2010, the Board of Selectmen of the Town of Needham, in accordance with its charter, by-laws, and ordinances, has voted to authorize the Superintendent to submit to the Massachusetts School Building Authority the Statement of Interest dated September 22, 2010 for the Pollard Middle School located at 200 Harris Avenue which describes and explains the following deficiencies and the priority category for which the Town of Needham may be invited to apply to the Massachusetts School Building Authority in the future: Priority 5 - Roof Replacement under Green Repair Program; and hereby further specifically acknowledges that by submitting this Statement of Interest, the Massachusetts School Building Authority in no way guarantees the acceptance or the approval of an application, the awarding of a grant or any other funding commitment from the Massachusetts School Building Authority, or commits the Town of Needham to filing an application for funding with the Massachusetts School Building Authority.

John A. Bulian, Chair
Needham Board of Selectmen

Attest:

A True Copy

Attest:

Town Clerk of Needham, MA

Needham School Committee
Minutes of, the Meeting
September 7, 2010

The Chairman of the School Committee, Connie Barr called the meeting to order at 7:05 p.m.

Members of the School Committee present were:

Connie Barr, Chair	Michael Greis
Marianne Cooley, Vice Chair	John O'Leary
Joseph Barnes	Bill Paulson
Heidi Black	

Members of the Central Administration present were:

Dan Gutekanst	Terry Duggan
Christine Brumbach	Anne Gulati
Tom Campbell	

*Connie S. Barr
9.22.10*

Public Comments

Public Comments

Dr. Barr welcomed in a new school year of School Committee meetings and reminded the listening public and audience that as elected officials, School Committee members are responsible for developing and monitoring policy for the school system as well as supporting the Superintendent and his staff in the very important job of teaching and learning. Dr. Barr reported briefly on the School Committee self evaluation that took place over the summer, noting that the welfare of the district's staff, students and schools are particularly important to the Committee. Dr. Barr expressed an appreciation for the collaborative efforts of town officials, stating that the Committee will continue to work with town officials regularly and cooperatively. Dr. Barr also stated that School Committee members serve as liaisons to the schools as well as to various town committees. Dr. Barr stated that questions and comments could be submitted to the Committee online at www.needham.k12.ma.us/.

Dr. Barr offered the opportunity for the public to speak to the School Committee on issues not on the agenda. Dr. Barr recognized members of the Special Education Parent Advisory Council (SEPAC): secretary Margaret Gray, parent liaisons Anne Marie Nicols, Shannon Shavor, Raven Register and Sandy Cisternelli, programming Marjorie Sockol and co-chairs De Springer and Tee Stock. Members expressed their willingness to serve and to assist the School Committee with any help.

Superintendent's Comments

Superintendent's
Comments

Dr. Gutekanst began his commentary period by welcoming back members of the School Committee to a new school year. Dr. Gutekanst presented a piece of artwork created by Needham High School junior Kathryn Cote. Dr. Gutekanst stated that Kathryn's artwork is among thirty chosen, (from close to 40,000 portfolios submitted in the AP Studio Art Exam in May 2010) to be part of the AP Studio Art Exhibit shown at different locations around the United States throughout the year.

Dr. Gutekanst reported that it has been a terrific opening of schools, noting that each principal has reported that their schools have opened well with few glitches. Dr. Gutekanst reported that there have been a few bus issues, but that those issues are being resolved. Dr. Gutekanst noted that the staff began the year with a professional development day and that Needham Times will be doing an article on the district's Food Service and Transportation Department.

School Committee Policy JICFB Bullying - First Reading

School Committee
Policy JICFB
Bullying - First
Reading

Dr. Barr and Dr. Gutekanst introduced this item. Dr. Barr stated that this is the first reading of this policy. Dr. Barr noted that Needham Public Schools has already taken the issue of bullying and behavior very seriously and that with the Social and Emotional Learning program that is already in place, the district is well prepared to address prevention and intervention strategies in the schools. Dr. Gutekanst stated that Chris Brumbach, Director of Student Development and Program Evaluation has taken the lead in helping the school administration work through next steps for Needham.

Ms. Brumbach stated that on May 3, 2010, Governor Patrick signed into law, "An Act Relative to Bullying in Schools." Ms. Brumbach stated that this is a very extensive legislation, which outlines what schools throughout the Commonwealth need to do in order to prepare students, staff, and administrators on how to create a safe school environment. Ms. Brumbach stated that the legislation requires that each school district develop a Bullying Prevention and Intervention Plan, filing it with DESE by December 31, 2010. Ms. Brumbach reported that the school department must provide training for school employees in recognizing bullying, cyber bullying, retaliation, prevention strategies, reporting and investigation process.

Ms. Brumbach stated that the policy is dictated by legislation. Ms. Brumbach outlined what the district has done so far and key components on the policy. Ms. Brumbach also outlined next steps.

Dr. Barr stated that the Superintendent sent a memo to all parents including a link to the school's website where parents can review the policy. Dr. Barr also stated that Town Counsel has reviewed the policy. Ms. Cooley read aloud the School Committee Policy JICFB Bullying. Discussion followed.

Statement of Interest: Green Building Repair/Pollard Roof

Statement of
Interest: Green
Building
Repair/Pollard
Roof

Dr. Gutekanst introduced this item. Dr. Gutekanst stated that the Massachusetts School Building Authority (MSBA) is offering grants to school and districts to assist with the installation of energy efficient roofs, windows, and HVAC systems. Dr. Gutekanst also stated that the Pollard Middle School is due for a roof replacement and this makes it an ideal candidate for a grant that could reimburse the town up to 30 or 40% of the cost of the roof. Dr. Gutekanst reported that the deadline for submission to the MSBA is September 22nd and if the School Committee votes to endorse the Statement of Interest (SOI), the Selectman must also vote to endorse it at their September 21st meeting.

Dr. Gutekanst stated that the Pollard roof project is on the Town's Capital Plan for replacement. Dr. Gutekanst referenced the SOI in the Committee's packet. Dr. Gutekanst stated that design funds are needed and this would be proposed at the Special Town Meeting in November.

Ms. Gulati, Director of Financial Operations stated that there are attachments to the SOI: a preliminary scope of work as well as an energy savings analysis. Discussion followed.

Warrant Articles for November Special Town Meeting

Warrant Articles
for November
Special Town
Meeting

Dr. Gutekanst introduced this item. Dr. Gutekanst stated that there would be three school-related warrant articles at the November Special Town Meeting, two are being proposed by the Board of Selectmen and the Finance Committee is proposing one. Dr. Gutekanst also stated that the School Committee is being asked

Ms. Gulati presented a detailed description of the three warrant articles in draft format, Article X: Appropriate for Pollard School Roof Replacement (inserted by the Board of Selectmen), Article X: Appropriate for Facility Improvements and Repairs/Pollard School (inserted by the Board of Selectmen), and Article X: Amend FY11 School Operating Budget (Inserted by the Finance Committee). Discussion followed.

Proposed FY12 Budget Guidelines

Proposed
FY12
Budget
Guidelines

Dr. Gutekanst introduced this item. Dr. Gutekanst presented a draft FY12 budget guidelines, timeline and priorities for the School Committee's consideration. Dr. Gutekanst stated that the Budget Guidelines will guide School Administration in the development of the budget and will guide School Committee deliberations on the budget. Dr. Gutekanst also stated that the School Committee may wish to encourage parent and community feedback on the draft budget guidelines at the next meeting and prior to the vote on October 5. After a lengthy discussion it was decided to include a link on the Budget Guidelines for staff and parents on the school department's webpage.

Education Jobs Program Update

Education Jobs
Program Update

Dr. Gutekanst introduced this item. Dr. Gutekanst stated that in August, the President signed legislation providing up to \$200 million of one-time funds to help Massachusetts' districts hire back staff cut last spring. Dr. Gutekanst stated that the Needham Public Schools share of this one time grant is approximately \$500,000. Dr. Gutekanst also stated that the grant funds could be used to rehire staff but it may be prudent to preserve this funding to assist with the FY12 budget.

Ms. Gulati presented additional details on the grant, its primary purpose and availability of funding. Ms. Gulati reported that the funds could be used to target a specific area of need or could be carried forward to help with the FY12 budget process. Ms Gulati stressed that funds would not provide ongoing resources to pay personnel hired through this funding sources. Ms. Gulati outlined the tie into Chapter 70 funding formula. Ms. Gulati stated that the actual net to Needham is only \$407,346. Discussion followed.

Regulation of Dogs on DeFazio and Memorial Fields

Regulation of
Dogs on DeFazio
and Memorial
Fields Update

Dr. Gutekanst introduced this item. Dr. Gutekanst stated that this item is from the Board of Selectmen through the Town Manager to the School Committee and has also gone to the Park and Recreation Commission. Dr. Gutekanst stated that the School Committee is being asked to support a ban on dogs and other non-service animals at DeFazio and Memorial Fields. Dr. Gutekanst noted that the School Committee, Park and Recreation Commission and the Board of Selectmen jointly own DeFazio Field, which is why all three boards need to support and endorse this policy. Dr. Gutekanst stated that the School Committee is also being asked to support the Memorial Park Trustees who has already ban dogs from

Memorial field. Dr. Gutekanst stated that the Committee would vote on this item at their next meeting. After a general discussion, School Committee members expressed their support of this item.

ACTION ITEMS

September 7, 2010

Vote on Statement of Interest: Green Building Repair/Pollard Roof

A motion was made:

Upon recommendation of the Superintendent that the Needham School Committee votes to authorize the Superintendent to submit a Statement of Interest (SOI) for the Pollard Middle School Roof Project as submitted:

Vote on
Statement of
Interest: Green
Building
Repair/Pollard
Roof

Resolved: Having convened in an open meeting on September 7, 2010, the School Committee of Needham in accordance with its charter, by-laws, and ordinances, has voted to authorize the Superintendent to submit to the Massachusetts School Building Authority the Statement of Interest dated September 22, 2010 for the Pollard Middle School located at 200 Harris Avenue which describes and explains the following deficiencies and the priority category(s) for which Needham may be invited to apply to the Massachusetts School Building Authority in the future: Priority 5 - Roof Replacement under Green Repair Program and hereby further specifically acknowledges that by submitting this Statement of Interest, the Massachusetts School Building Authority in no way guarantees the acceptance or the approval of an application, the awarding of a grant or any other funding commitment from the Massachusetts School Building Authority, or commits the Town and School District to filing an application for funding with the Massachusetts School Building Authority.

Seconded
Discussion
Vote 7-0-0

Vote to Endorse Warrant Articles for November Special Town Meeting

A motion was made:

Upon recommendation of the Superintendent that the Needham School Committee endorses the warrant articles as submitted.

Seconded
Vote 7-0-0

Vote to Endorse
Warrant Articles
for November
Special Town
Meeting

Approve Minutes of the Meeting of July 13, 2010

A motion was made:

Upon recommendation of the Superintendent that the Needham School Committee approves the minutes of the meeting of July 13, 2010 as submitted.

Seconded
5-0-2

Approve Minutes
of the Meeting
of July 13, 2010

School Committee Comments

Dr. Barr expressed appreciation to Central Office Administration for their hard work and dedication to the Needham Public Schools. Dr. Barr stated that a Needham Broadmeadow family would be featured on NBC news broadcast this Friday in a segment focusing on palliative care in the treatment of cancer.

School Committee
Comments

A motion was made:

At approximately 9:20 pm a motion was made to adjourn the School Committee meeting of September 7, 2010

Seconded
Vote 7-0-0

Adjournment

Respectfully submitted by: Cheryl Gosmon, Note Taker