

**NEEDHAM**  
**ZONING BOARD OF APPEALS**  
**AGENDA**  
**Thursday, March 20, 2025 - 7:30PM**

|                                                                                                                                    |                                                                                                                                                                                                                 |
|------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Charles River Room</b><br><b>Public Service Administration Building</b><br><b>500 Dedham Avenue</b><br><b>Needham, MA 02492</b> | <b>Also livestreamed on Zoom</b><br><b>Meeting ID:820-9352-8479</b><br><b>To join the meeting click this link:</b><br><a href="https://us02web.zoom.us/j/82093528479">https://us02web.zoom.us/j/82093528479</a> |
|------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

Minutes                      Review and approve Minutes from February 27, 2025 meeting.

**7:30 PM**                      **0 Colgate Road (Continued from February 27, 2025)** -Patricia M. Connolly, appellant, has appealed a decision of a Building Inspector (ABID) dated December 2, 2024 who determined that the property “appears to “front” on private property and therefore does not have adequate frontage along a public or private way as defined in the Zoning By-Law.” The ABID asserts that the vacant lot has 95 feet of frontage on a private paved way which satisfies the minimum frontage of 80 feet for parcels in the Single-Residence B per Section 4.2.1 of the By-Law. The property is located at 0 Colgate Road, Needham, MA in the Single-Residence B (SRB) District. **(Request for a Continuance to April 17, 2025)**

**8:00PM**                      **282 Warren Street (Continued from February 27, 2025)** – Stephanie Cox and Joshua A. Shaller applied for a Variance to allow the divestment of a five-foot strip of land to the abutting property at 73 Pleasant Street. This divestment would make 282 Warren Street, currently a conforming lot, into a non-conforming lot with a build factor of 26.69 where a build factor of 20 or less is required under Sections 4.2.5 of the By-Law. The property is located in the Single-Residence B (SRB) District. **(Request for a Continuance to April 17, 2025)**

**8:00PM**                      **76 Fair Oaks Park** – Geoffrey R. Urquhart and Kate P. McDavitt Urquhart, Trustees. applied for a Special Permit to allow the extension, alteration, and enlargement of the lawful, pre-existing non-conforming single-family pursuant to Section 1.4.6. The relief sought would allow the total length of the left side wall on the second floor from 43’1” to 55’3/4”.

**NEEDHAM  
ZONING BOARD OF APPEALS  
MINUTES  
THURSDAY, February 27, 2025 - 7:30PM**

|                                                                                                                  |                                                                |
|------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------|
| <b>Charles River Room<br/>Public Services Administration Bldg.<br/>500 Highland Avenue<br/>Needham, MA 02492</b> | <b>Also livestreamed on Zoom<br/>Meeting ID: 820-9352-8479</b> |
|------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------|

Pursuant to notice published at least 48 hours prior to this date, a meeting of the Needham Board of Appeals was held in the Charles River Room, Public Services Administration Building, 500 Dedham Avenue, Needham, MA 02492 on Thursday, February 27, 2025 at 7:30 p.m.

**BOARD MEMBERS PRESENT:** Jonathan Tamkin, Chair; Howard Goldman, Vice-Chair; Nikolaos Ligris, Member; Peter Friedenberg, Associate Member; Valentina Elzon, Associate Member

**STAFF PRESENT:** Daphne M. Collins, Zoning Specialist

**ATTENDANCE:** See attached Sign-In Form

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Jonathan Tamkin, Chair presided and opened the meeting at 7:30 p.m.

**1. MINUTES OF JANUARY 29, 2025**

Mr. Goldman moved to approve the minutes of January 29, 2025. Mr. Friedenberg seconded the motion. The motion was unanimously approved.

**2. 0 COLGATE ROAD**

**APPEAL OF A BUILDING INSPECTOR DECISION**

**CONTINUED TO MARCH 20, 2025**

The Applicant requested a Continuance. There was an agreement to extend the Action Deadline for 60 days. The Applicant was informed that the submission of additional materials is due on March 11, 2025. Mr. Friedenberg moved to continue the Public Hearing to March 20, 2025 at 7:30pm. Mr. Goldman seconded the motion. The motion was unanimously approved.

**3. 378 MANNING STREET**

**APPEAL OF A BUILDING INSPECTOR DECISION**

**DENIED**

Mr. Friedenbergr moved to grant the Appeal of a Building Inspector Decision (ABID) of Building Permit BC24-11078 issued to Arthur Elzon dated November 19, 2024 for the reconstruction of a two-family structure and that the Building Permit be revoked. Mr. Tamkin called for the vote. Voting in favor: Mr. Friedenbergr and Mr. Tamkin. Voting Against: Mr Goldman. The motion failed to achieve a unanimous vote in favor and the appeal was denied. A written decision will be prepared.

*Ms. Elzon and Mr. Ligris joined the meeting at 9:20 p.m. for the opening of the next meeting.*

#### **4. 282 WARREN STREET**

##### **VARIANCE**

**CONTINUED TO MARCH 20, 2025**

The public hearing was conducted, the Applicant, and the public provided comments. The Applicant requested a Continuance to report back on the hardship for a Variance or alternative findings. Mr. Ligris moved to continue the Public Hearing to March 20, 2025 at 8:00pm. Mr. Goldman seconded the motion. The motion was unanimously approved.

The meeting adjourned at 10:00 p.m.

A summary of the discussions on each subject, a list of the documents and other exhibits used at the meeting, the decisions made, and the actions taken at each meeting, including a record of all votes, are set forth in a detailed decision signed by the members voting on the subject and filed with the Town Clerk. Copies of the Decisions are filed at the Board website linked here:

<https://needhamma.gov/Archive.aspx?AMID=141&Type=&ADID=>

or by contacting Daphne Collins, Zoning Specialist, [dcollins@needhamma.gov](mailto:dcollins@needhamma.gov) or 781-455-7550, ext. 72261.

The hearings can be viewed at <http://www.needhamchannel.org/watch-programs/> and <https://www.youtube.com/@TownofNeedhamMA/videos>

## Daphne Collins

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**From:** jugino@gelermancabral.com  
**Sent:** Tuesday, March 11, 2025 11:52 AM  
**To:** Daphne Collins  
**Cc:** 'Split Rock Construction'; 'Brian Connolly'  
**Subject:** RE: 0 Colgate Road

Daphne,

The applicant for 0 Colgate Road matter for which the hearing is presently continued by the ZBA to its March 20 meeting requests a further continuance to April 17 to allow further research to be undertaken to determine the status of the way in question. The applicant has re-engaged with an engineer who has a backed-up schedule at the moment, but should be addressing the matter soon. The applicant will, of course, agree to further extend the Board's May 27, 2025 deadline to act under G.L. c.40A, s.15, should the Board wish.

Thank you for your attention to this matter.

Jeffery D. Ugino, Esq.  
Gelman and Cabral, LLC  
30 Walpole Street  
Norwood, MA 02062  
Phone: 781.769.6900  
Mobile: 617.818.2418  
[jugino@gelermancabral.com](mailto:jugino@gelermancabral.com)  
Additional offices in Boston and Winchester

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**From:** jugino@gelermancabral.com <jugino@gelermancabral.com>  
**Sent:** Friday, February 28, 2025 2:58 PM  
**To:** 'Daphne Collins' <dcollins@needhamma.gov>  
**Subject:** 0 Colgate Road

Daphne,

I am confirming that the appellant for the 0 Colgate Road matter agrees to extend time for the Board to act under G.L. c.40A, s.15, to May 27, 2025. Please let me know if you need anything further on this issue. Thank you.

Jeff

Jeffery D. Ugino, Esq.  
Gelman and Cabral, LLC  
30 Walpole Street  
Norwood, MA 02062  
Phone: 781.769.6900



March 12, 2025

**VIA ELECTRONIC MAIL (dcollins@needhamma.gov)**

Daphne M. Collins  
Zoning Specialist  
Zoning Board of Appeals  
Planning and Community Development Department  
Town of Needham – Public Services Administration Building  
500 Dedham Street  
Needham, MA 02492

**RE: 282 Warren Street ZBA Application for Variance**

Dear Ms. Collins:

This office is handling the application for a variance of property located at 282 Warren Street, Needham, Massachusetts. It is my understanding that the Town of Needham Zoning Board of Appeals has continued this matter to be heard on March 20, 2025. I write on behalf of the application to request that said hearing be continued until the April 17, 2025 hearing.

Please contact me at tfraser@daintorpy.com or at (857) 229-1627 should you have any questions. Thank you.

Respectfully,  
*/s/ Timothy A.M. Fraser*  
Timothy A.M. Fraser

cc: Kim K. Dooley  
Jonathan Chan  
Jamie Chan

TAMF / kkd

GEORGE GIUNTA, JR.  
ATTORNEY AT LAW\*  
281 CHESTNUT STREET  
NEEDHAM, MASSACHUSETTS 02492

\*Also admitted in Maryland

TELEPHONE (781) 449-4520

FAX (781) 465-6059

February 24, 2025

Town of Needham  
Zoning Board of Appeals  
Needham, Massachusetts 02492

Attn: Daphne M. Collins, Zoning Specialist

Re: Geoffrey R. Urquhart and Kate P. McDavitt Urquhart, Trustees  
76 Fair Oaks Park, Needham, MA

Dear Ms. Collins,

Please be advised this office represents Geoffrey R. Urquhart and Kate P. McDavitt Urquhart, Trustees, Geoffrey R. Urquhart 2022 Trust and Kate P. McDavitt Urquhart 2022 Trust (hereinafter, jointly, the Applicant and the "Urquharts") in connection with the proposed renovation of their single-family residential dwelling at the property known and numbered 76 Fair Oaks Park, Needham, MA (hereinafter the "Premises"). In connection therewith, submitted herewith, please find the following:

1. Seven copies of a Completed Application for Hearing;
2. Seven copies of plot plan and architectural plans;
3. Seven copies of Memorandum in Support of Application of Geoffrey R. Urquhart and Kate P. McDavitt Urquhart, Trustees; and
4. Check in the amount of \$200 for the applicable filing fee.

The Premises, which has been owned by the Urquharts since late 2014, is improved with a single-family residential dwelling, built in or around 1920. The Urquharts are currently in the process of renovating and expanding the existing dwelling, and such expansion includes a proposed addition to the left rear portion of the house, on the second floor. However, the left side wall of the second floor of the existing house is approximately 43' 1" long, and therefore does not comply with the current requirements of footnote (e) to the zoning table at Section 4.2.1 of the Zoning By-Law. As interpreted by the Building Commissioner, that footnote limits the length of a side wall to no more than 32' feet without a 2' offset no matter how far from the sideline the wall is located.

The proposed second floor addition would be set back approximately 18' from the left side lot line, and therefore well outside the required side setback. However, as noted above, pursuant to the language of footnote (e), the fact the affected wall is outside the side setback is irrelevant, and the addition is subject to the limitation on a side wall of no more than 32'. As a result, it requires a special permit pursuant to Section 1.4.6 to proceed. In all other respects the house will comply with applicable dimensional and density requirements.<sup>1</sup>

Kindly schedule this matter for the next hearing of the Board of Appeals. If you have any comments, questions or concerns, or if you require any further information in the meantime, please contact me so that I may be of assistance.

Sincerely,

A handwritten signature in black ink, appearing to read "George Giunta, Jr.", with a stylized, cursive script.

George Giunta, Jr.

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<sup>1</sup> Note that the existing dwelling is non-conforming as to the current applicable 14' side setback. However, pursuant to footnote (f) to the zoning table at Section 4.2.1, the house may be altered or structurally changed as of right to a 10' setback.



# ZBA Application For Hearing

**Applicants must consult with the Building Inspector prior to filing this Application. Failure to do so will delay the scheduling of the hearing.**

## Applicant Information

|                                                                                                                                                                              |                                                                                                                                          |       |                                |       |           |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------|-------|--------------------------------|-------|-----------|
| Applicant Name                                                                                                                                                               | Geoffrey R. Urquhart and Kate P. McDavitt Urquhart, Trustees<br>Geoffrey R. Urquhart 2022 Trust and Kate P. McDavitt Urquhart 2022 Trust |       |                                | Date: | 2/24/2025 |
| Applicant Address                                                                                                                                                            | 76 Fair Oaks Park, Needham, MA 02492                                                                                                     |       |                                |       |           |
| Phone                                                                                                                                                                        | 347-405-0087                                                                                                                             | email | kurquhart3@gmail.com           |       |           |
| Applicant is <input checked="" type="checkbox"/> Owner; <input type="checkbox"/> Tenant; <input type="checkbox"/> Purchaser; <input type="checkbox"/> Other_____             |                                                                                                                                          |       |                                |       |           |
| If not the owner, a letter from the owner certifying authorization to apply must be included                                                                                 |                                                                                                                                          |       |                                |       |           |
| Representative Name                                                                                                                                                          | George Giunta, Jr., Esq.                                                                                                                 |       |                                |       |           |
| Address                                                                                                                                                                      | 281 Chestnut Street, Needham, MA 02492                                                                                                   |       |                                |       |           |
| Phone                                                                                                                                                                        | 617-840-3570                                                                                                                             | email | george.giuntajr@needhamlaw.net |       |           |
| Representative is <input checked="" type="checkbox"/> Attorney; <input type="checkbox"/> Contractor; <input type="checkbox"/> Architect; <input type="checkbox"/> Other_____ |                                                                                                                                          |       |                                |       |           |
| Contact <input checked="" type="checkbox"/> Me <input checked="" type="checkbox"/> Representative in connection with this application.                                       |                                                                                                                                          |       |                                |       |           |

## Subject Property Information

|                                                                                                                                                                                                                                                                           |                                      |                  |                          |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------|------------------|--------------------------|
| Property Address                                                                                                                                                                                                                                                          | 76 Fair Oaks Park, Needham, MA 02492 |                  |                          |
| Map/Parcel Number                                                                                                                                                                                                                                                         | Map 49 / Parcel 79                   | Zone of Property | Single Residence B (SRB) |
| Is property within 100 feet of wetlands, 200 feet of stream or in flood Plain?<br><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No                                                                                                                     |                                      |                  |                          |
| Is property <input checked="" type="checkbox"/> Residential or <input type="checkbox"/> Commercial                                                                                                                                                                        |                                      |                  |                          |
| If residential renovation, will renovation constitute "new construction"?<br><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No                                                                                                                          |                                      |                  |                          |
| If commercial, does the number of parking spaces meet the By-Law requirement? <input type="checkbox"/> Yes <input type="checkbox"/> No                                                                                                                                    |                                      |                  |                          |
| Do the spaces meet design requirements? <input type="checkbox"/> Yes <input type="checkbox"/> No                                                                                                                                                                          |                                      |                  |                          |
| Application Type ( <i>select one</i> ): <input checked="" type="checkbox"/> Special Permit <input type="checkbox"/> Variance <input type="checkbox"/> Comprehensive Permit <input type="checkbox"/> Amendment <input type="checkbox"/> Appeal Building Inspector Decision |                                      |                  |                          |



# ZBA Application For Hearing

**Existing Conditions:**

Lawful, pre-existing, non-conforming, single-family dwelling on a conforming lot.

**Statement of Relief Sought:**

Special Permit pursuant to Section 1.4.6 of the Needham Zoning By-Law and a finding pursuant to Section 6 of M.G.L. c.40A, to permit the extension, alteration, and enlargement of the existing, lawful, pre-existing, non-conforming, single-family dwelling, as shown on the plans submitted herewith.

**Applicable Section(s) of the Zoning By-Law:**

1.4.6, 4.2, 7.5.2 and any other applicable section or by-law.

**If application under Zoning Section 1.4 above, list non-conformities:**

|                                                                                     | Existing Conditions | Proposed Conditions |
|-------------------------------------------------------------------------------------|---------------------|---------------------|
| <b>Use</b>                                                                          |                     |                     |
| <b># Dwelling Units</b>                                                             | 1                   | 1                   |
| <b>Lot Area (square feet)</b>                                                       | 13,350 SF           | 13,350 SF           |
| <b>Front Setback (feet)</b>                                                         | 44.4                | 44.4                |
| <b>Rear Setback (feet)</b>                                                          | 46.4                | 46.4                |
| <b>Left Setback (feet)</b>                                                          | 13.0                | 13.0                |
| <b>Right Setback (feet)</b>                                                         | 28.8                | 28.8                |
| <b>Frontage (feet)</b>                                                              | 89                  | 89                  |
| <b>Lot Coverage (%)</b>                                                             | 19.5%               | 20%                 |
| <b>FAR (Floor area divided by the lot area)</b>                                     | .30                 | .34                 |
| <i>Numbers must match those on the certified plot plan and supporting materials</i> |                     |                     |



## ZBA Application For Hearing

|                                                                                                |                                                   |
|------------------------------------------------------------------------------------------------|---------------------------------------------------|
| <b>Date Structure Constructed including additions:</b><br>Approximately 1920, expanded in 1992 | <b>Date Lot was created:</b><br>On or before 1919 |
|------------------------------------------------------------------------------------------------|---------------------------------------------------|

| Submission Materials                                                                                                                                                                                                          | Provided |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------|
| Certified Signed Plot Plan of Existing and Proposed Conditions<br><i>(Required)</i>                                                                                                                                           |          |
| Application Fee, check made payable to the Town of Needham<br>Check holders name, address, and phone number to appear on<br>check and in the Memo line state: "ZBA Fee – Address of Subject<br>Property"<br><i>(Required)</i> |          |
| If applicant is tenant, letter of authorization from owner <i>(Required)</i>                                                                                                                                                  |          |
| Electronic submission of the complete application with attachments<br><i>(Required)</i>                                                                                                                                       |          |
| Elevations of Proposed Conditions <i>(when necessary)</i>                                                                                                                                                                     |          |
| Floor Plans of Proposed Conditions <i>(when necessary)</i>                                                                                                                                                                    |          |

Feel free to attach any additional information relative to the application.  
Additional information may be requested by the Board at any time during the  
application or hearing process.



I hereby request a hearing before the Needham Zoning Board of Appeals. I have  
reviewed the Board Rules and instructions.

I certify that I have consulted with the Building Inspector February 12, 2025  
*date of consult*

Geoffrey R. Urquhart and Kate P. McDavitt Urquhart, Trustees,  
by their attorney

Date: February 24, 2025 Applicant Signature *George Giunta Jr*  
George Giunta, Jr., Esq.

*An application must be submitted to the Town Clerk's Office at  
[townclerk@needhamma.gov](mailto:townclerk@needhamma.gov) and the ZBA Office at [dcollins@needhamma.gov](mailto:dcollins@needhamma.gov)*

TO: THE MEMBERS OF THE BOARD OF APPEALS  
TOWN OF NEEDHAM, MA

February 24, 2025

MEMORANDUM IN SUPPORT OF  
APPLICATION OF  
GEOFFREY R. URQUHART and KATE P. MCDAVITT URQUHART, TRUSTEES  
76 Fair Oaks Park, Needham, MA

The applicants, Geoffrey R. Urquhart and Kate P. McDavitt Urquhart, Trustees Geoffrey R. Urquhart 2022 Trust and Kate P. McDavitt Urquhart 2022 Trust (hereinafter, jointly and interchangeably, the “Applicants” and the “Urquharts”), seek a Special Permit pursuant to Section 1.4.6 of the Needham Zoning By-Law and a finding pursuant to Section 6 of M.G.L. c.40A, to permit the extension, alteration, and enlargement of the lawful, pre-existing, non-conforming, single-family dwelling at 76 Fair Oaks Park (hereinafter the “Premises”); and all other relief as may be necessary and appropriate to permit the proposed renovation and expansion thereof, as shown on the plans submitted herewith.

PRESENT USE / EXISTING CONDITIONS

The Premises is shown as parcel 79 on sheet 49 of the Assessor’s Map for the Town of Needham and is located in the Single Residence B (SRB) Zoning District. It contains approximately 13,350 square feet of land with 89 feet of frontage on Fair Oaks Park. It is occupied by an existing two and one-half story, single-family residential dwelling and detached garage, associated driveway and walkways.

The existing house, which appears to have been initially built in or around 1920, consists of approximately 3,844 square feet of living area, distributed among 10 total rooms, including 5 bedrooms and 4 full baths.<sup>1</sup> The original structure was altered and expanded in 1992 pursuant to Building Permit No. 16827 as amended in 1993.<sup>2</sup> The detached garage was built in 1998 pursuant to Building Permit No. 22187.<sup>3</sup> The existing house is nonconforming on the left side with respect to both the current applicable side-yard setback requirement of 14’ as well as the requirements of footnote (e) to the Zoning Table at Section 4.2.1, set forth below.

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<sup>1</sup> See Exhibit A, Assessor’s Information, attached hereto.

<sup>2</sup> See Exhibit B, Building Permit 16827 and amendment d. 1/5/1993, attached hereto.

<sup>3</sup> See Exhibit C, Building Permit 22187, Application and Plot Plan, attached hereto.

### PROPOSED ALTERATION

The Urquharts are currently in the process of remodeling a substantial portion of the existing house. One part of the planned remodel includes a somewhat small addition to the second floor, in the left rear corner of the house, above the existing kitchen / dining area. This new area will be used as the primary bedroom and will extend over the existing bay window on the back left side of the house.

The outside left wall of the proposed addition is set back from the left side lot line by approximately 18 feet, well beyond the required setback. The total length of the left side wall, at the second floor, from the left front corner of the house to the back left corner will be approximately 55' 3/4". This is just slightly longer than the length of the first-floor wall, which is 53' 7" and a bit longer than the existing second-floor wall, which is approximately 43' 1".

### LAW

Massachusetts General Laws, Chapter 40A, Section 6 provides that "pre-existing nonconforming structures or uses may be extended or altered, provided, that no such extension or alteration shall be permitted unless there is a finding by the permit granting authority or by the special permit granting authority designated by ordinance or by-law that such change, extension or alteration shall not be substantially more detrimental than the existing nonconforming use to the neighborhood."

Massachusetts General Laws, Chapter 40A, Section 9 states as follows: "Special Permits may be issued only for uses that are in harmony with the general purpose and intent of the ordinances of the by-law, and shall be subject to general or specific provisions set forth therein; and that such permits may also impose conditions, safeguards, and limitations on time and use."

Section 1.4.6 of the Town of Needham Zoning By-Law (Alteration) authorizes the Board of Appeals to issue special permits for the change, extension, alteration, enlargement and reconstruction of lawful, pre-existing, non-conforming structures, provided the Board determines that the proposed new structure would not be substantially more detrimental to the neighborhood than the existing non-conforming structure. Furthermore, while a special permit pursuant to



Section 1.4.6 may not authorize the violation of any new dimensional, parking or intensity regulation, it does not prohibit the issuance of a special permit that maintains an existing non-conformity.

Footnote (e) to the zoning table at Section 4.2.1 provides, in pertinent part, that “In no case shall a side wall extension extend more than 32 linear feet without a 2 foot offset, regardless of an increased side setback”.

Section 7.5.2.1 of the By-Laws (Finding and Determination), as applicable to the application of the Urquharts, requires that prior to granting the requested special permit, the Board must make a finding and determination that the proposed extension, alteration and enlargement:

(a) complies with the criteria or standards of section 3.2. of the By-Law which refers to the granting of the requested special permit;

(b) is consistent with 1) the general purposes of the By-Law as set forth in paragraph 1.1,<sup>4</sup> and 2) the more specific objectives and purposes applicable to the requested special permit which may be set forth elsewhere in the By-Laws; and

(c) is designed in a manner that is compatible with the existing natural features of the site and is compatible with the characteristics of the surrounding area.

### DISCUSSION / ANALYSIS

The single-family dwelling at the Premises includes an existing side wall that is currently approximately 43’ 1” long. This is more than 11’ longer than the maximum currently allowed pursuant to footnote (e) to Section 4.2.1. As a result, such wall, and the structure to which it is attached, are non-conforming.<sup>5</sup> The applicable language of footnote (e) was adopted pursuant to

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<sup>4</sup> Section 1.1 states that it is “The purpose of [the] By-Law [to] promote the health, safety, convenience, morals or welfare of the inhabitants of Needham; to lessen congestion in the streets; to conserve health; to secure safety from fire, panic and other dangers; to provide adequate light and air; to prevent overcrowding of land; to avoid undue concentration of population; to facilitate the adequate provision of transportation, water, sewerage, schools, parks, and other public requirements; to conserve the value of land and buildings; to encourage the most appropriate use of land and buildings; to encourage the most appropriate use of land throughout the Town and to preserve and increase amenities under the provisions of General Laws, Chapter 40A. The use, construction, alteration, height, area and location of buildings and structures and the use of premises in the town of Needham are regulated as [provided by the By-Laws]”

<sup>5</sup> As mentioned above, the existing dwelling is also non-conforming as to the applicable 14’ side setback. However, pursuant to footnote (f) to the zoning table at Section 4.2.1, the house may be altered or structurally changed as of right to a 10’ setback.

Article 20 of the 2023 Annual Town Meeting.<sup>6</sup> Whereas the wall and the structure to which it was attached were in existence as of such adoption, they were rendered lawfully pre-existing.

Both Section 1.4.6 of the By-Law and Section 6 of M.G.L. c.40A permit the contemplated extension, alteration, and enlargement of the existing dwelling, provided the Board finds that the proposed change is not *substantially* more detrimental than the existing nonconforming structure. The proposed second floor addition will be located above an existing portion of the house and is approximately four feet further from the sideline than the required setback. It is located in a portion of the existing house that already does not comply with the current 32' limitation in the above referenced footnote (e). The addition will not alter the use of the Premises for single-family purposes, will not extend closer to the sideline than the existing structure, and will not result in any additional bedrooms. Therefore, the proposed addition will not be substantially more detrimental than the existing nonconforming structure.

Furthermore, whereas the wall in question is already non-conforming with respect to footnote (e), the allowance of the proposed addition will not authorize or enable the violation of any new dimensional regulation with which the Premises was previously in compliance. Therefore, the proposed addition meets the applicable criteria for the granting of a special permit pursuant to Section 1.4.6 and a finding pursuant to M.G.L. c.40A, Section 6 and the Urquarts assert that the issuance of the requested special permit is both proper and appropriate and should be granted.

Respectfully submitted,  
Geoffrey R. Urquhart and  
Kate P. McDavitt Urquhart, Trustees  
Geoffrey R. Urquhart 2022 Trust and  
Kate P. McDavitt Urquhart 2022 Trust  
by their attorney,



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George Giunta, Jr., Esq.  
281 Chestnut Street  
Needham, Massachusetts 02492  
781-449-4520

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<sup>6</sup> See Exhibit D, certification of vote, attached hereto.

**EXHIBIT A**  
**Assessor's Information**

PARID: 1990490007900000  
URQUHART, GEOFFREY R. TR. &

MUNICIPALITY: NEEDHAM  
76 FAIR OAKS PK

LUC: 101  
PARCEL YEAR: 2025

**Residential Card Summary**

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|                             |                     |
|-----------------------------|---------------------|
| Card/Building:              | 1                   |
| Stories:                    | 2.5                 |
| Condition:                  | 3 - GOOD            |
| Grade:                      | B+ - GOOD/VERY GOOD |
| CDU:                        | GD - GOOD           |
| Exterior Wall:              | FB - FRAME-CLAPBD   |
| Style:                      | CL - COLONIAL       |
| Year Built:                 | 1920                |
| Effective Year:             | 1920                |
| Square Feet of Living Area: | 3844                |
| Total Rooms:                | 10                  |
| Bedrooms:                   | 5                   |
| Full Baths:                 | 4                   |
| Half Baths:                 | 0                   |
| Additional Fixtures:        | 1                   |
| Roofing Material:           | AS - ASPHALT-SHNG   |
| Heating:                    | C - HOT WATER - AC  |
| Fuel Type:                  | G - GAS             |
| Dwelling Value:             | \$739,100           |

**Sections**

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| Card # | Addition # | Lower | First | Second | Third | Area | RCNLD  |
|--------|------------|-------|-------|--------|-------|------|--------|
| 1      | 0          |       |       |        |       | 868  | 0      |
| 1      | 1          |       | FM    | FU     |       | 496  | 114000 |
| 1      | 2          |       | FM    | W      |       | 378  | 62800  |
| 1      | 3          |       | FM    |        |       | 200  | 28100  |
| 1      | 4          |       | FM    |        |       | 84   | 11800  |
| 1      | 5          |       | E     |        |       | 32   | 7200   |
| 1      | 6          |       | FMY   |        |       | 20   | 2800   |
| 1      | 7          |       | W     |        |       | 200  | 6800   |
| 1      | 8          |       | W     |        |       | 49   | 3200   |

EXHIBIT B  
Building Permit 16827  
and related Plot Plan

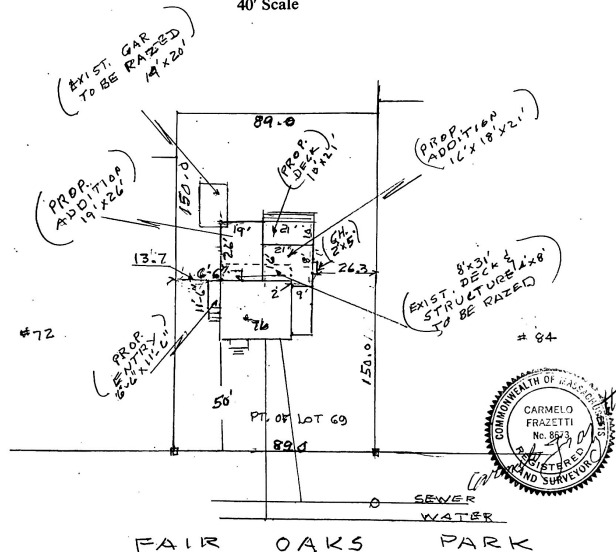
| BUILDING PERMIT                                                              |                                              | FIELD COPY                                 |                                         |
|------------------------------------------------------------------------------|----------------------------------------------|--------------------------------------------|-----------------------------------------|
| TOWN OF NEEDHAM<br>470 DEDHAM AVE.<br>NEEDHAM, MA 02192<br>TEL. 617-455-7542 |                                              | DATE 11/19/92 19 PERMIT # 16827            |                                         |
| APPLICANT Kevin Danehy                                                       | ADDRESS 76 Fair Oaks Park                    |                                            |                                         |
| CONTRACTOR Thomas Gallagher                                                  | ADDRESS 81 Curve St. Needham MA              | LICENSE # 004403                           |                                         |
| PERMIT TO Addition                                                           | Alterations Deck                             | USE Residential                            | # UNITS 1                               |
| LOCATION 76 Fair Oaks Park                                                   |                                              | ZONING SR-B                                |                                         |
| BETWEEN cross streets Great Plain Ave.                                       |                                              | and Harris Ave.                            |                                         |
| SUBDIVISION                                                                  |                                              | LOT 13,350.00                              | LOT SIZE                                |
| BUILDING IS TO BE 19'x26' FT. WIDE, BY 16'x21' FT. LONG, BY 1                |                                              | NUMBER OF STORIES.                         |                                         |
| CONST. TYPE 5-B                                                              | USE GROUP R-4                                | FOUNDATION TYPE poured concrete w/footings |                                         |
| REMARKS Alt; Bath, Pantry, Sunroom                                           |                                              |                                            |                                         |
| AREA 923.00                                                                  | 332.00                                       | 221.00                                     | ESTIMATED COST \$60,800.00 FEE \$502.00 |
| OWNER Kevin Danehy                                                           | ADDRESS 76 Fair Oaks Park, Needham, MA 02192 |                                            | BUILDING DEPT BY Armand H. Lavigne      |

TOWN OF NEEDHAM, MASSACHUSETTS  
Building Inspection Department

Sewer ☐  
Water ☐  
Drain ☐

Building Permit No. 16827 At No. 76 FAIR OAKS PARK  
Lot Area 13,350 SF Zone Setback "B"  
Owner KEVIN DANEHY Builder

PLOT PLAN  
40' Scale



Notes: Plot Plans shall be drawn in accordance with Sections 7.2.1 and 7.2.2 of the Zoning By-Laws for the Town of Needham. All plot plans shall show existing structures and public utilities, including water mains, sewer, drains, gaslines, etc.; driveways, Flood Plain and Wetland Areas, lot dimensions, dimensions of proposed structures, sideline offsets and setback distances, (allowing for overhangs) and elevation of top of foundations and garage floor. For new construction, elevation of lot corners at street line and existing and approved street grades shall be shown for grading along lot line bordering streetline. For pool permits, plot plans shall also show fence surrounding pool with a gate, proposed pool and any accessory structures', offsets from all structures and property lines, existing elevations at nearest house corners and pool corners, nearest storm drain catch basin (if any) and, sewage disposal system location in unsewered area.  
(\*Accessory structures may require a separate building permit—See Building Code)

I hereby certify that the information provided on this plan is accurately shown and correct as indicated.

The above is subscribed to and executed by me this 14th day of NOV. 1992

Approved: Carmelo Frazetti Registered Land Surveyor No. 8673

Approved: [Signature] Director of Public Works Date 1/20/92

Approved: [Signature] Building Inspector Date 11/19/92

Occupancy permit will not be issued until the conditions as to lines and grades and drainage facilities have been fully complied with.

EXHIBIT B  
(cont.)  
Amendment d. 1/5/1993



Information, ownership and detail must be correct, complete and legible.

Duplicate application required for every building.  
Plans must be filed with this application when required.

APPLICATION FOR PERMISSION TO AMEND PERMIT/PLANS

#16027.1

Town of Needham

Needham, Mass. 1/5 1993

To the

BUILDING INSPECTOR:

The undersigned applies for permission to amend Permit/Plans on file of the following described building:

Location 76 FAIROAKS PK Zoning District \_\_\_\_\_  
Name of Owner KENIN DANAHY Address \_\_\_\_\_  
Name of Builder GALLAGHER BROS Address \_\_\_\_\_

Material of Building WOOD Material of Roofing ASHFELT  
What was the Building last used for? RESIDENCE  
Building to be occupied for RESIDENCE  
Progress of work to date PUTTING ON ROOF.

DETAIL OF PROPOSED AMENDMENTS

ADD 2 BEDROOMS OVER NEW ADDITION  
NEW BATHROOM

Estimated Value of Changes \$ 15000

Fee: \$279.00

Signature of Owner or Authorized Representative

Thomas Gallagher

Address 81 CORVET ST Needham

Do Not Write Below This Line

Add 2nd fl  
 $16'6" \times 31'6" = 520 \text{ sq ft}$   
 $11'6" \times 20'6" = 236 \text{ sq ft}$   
Add 2nd fl

Approved by: Richard Harvey  
Inspector of Buildings

Date: Jan 7 1993

EXHIBIT C  
Building Permit 22187 – Application

TOWN OF



NEEDHAM

FILE  
FOR OFFICIAL USE ONLY

Acc. By # 317.

DATE 10-30-98  
PERMIT NUMBER 22187

BUILDING DEPARTMENT APPLICATION

|                                                                                                                                 |                                                       |                                                                            |                                                                                    |
|---------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------|----------------------------------------------------------------------------|------------------------------------------------------------------------------------|
| LOCATION<br>OF<br>BUILDING                                                                                                      | AT (LOCATION) <u>76 FAIR OAKS PARK</u> (NO) (STREET)  | ZONING DISTRICT <u>B</u>                                                   |                                                                                    |
|                                                                                                                                 | BETWEEN _____ (CROSS STREET) AND _____ (CROSS STREET) |                                                                            |                                                                                    |
|                                                                                                                                 | SUBDIVISION _____ LOT(S) _____ (PLAT) _____           |                                                                            |                                                                                    |
| TYPE AND COST OF BUILDING                                                                                                       |                                                       |                                                                            |                                                                                    |
| A. TYPE OF IMPROVEMENT                                                                                                          |                                                       | D. PROPOSED USE — For "Wrecking" most recent use                           |                                                                                    |
| 1 <input type="checkbox"/> New Construction                                                                                     |                                                       | Residential                                                                |                                                                                    |
| 2 <input checked="" type="checkbox"/> Addition (If residential, enter number of new housing units added, if any, in Part D, 13) |                                                       | 12 <input checked="" type="checkbox"/> One Family                          | Nonresidential                                                                     |
| 3 <input type="checkbox"/> Alteration (See 2 above)                                                                             |                                                       | 13 <input type="checkbox"/> Two or more family Enter number of units _____ | 18 <input type="checkbox"/> Amusement, recreational                                |
| 4 <input type="checkbox"/> Wood stove or fireplace (See Part P)                                                                 |                                                       | 14 <input type="checkbox"/> Swimming Pool                                  | 19 <input type="checkbox"/> Church, other religious                                |
| 5 <input type="checkbox"/> Wrecking (If multifamily residential, enter number of units in building in Part D, 13. See Part Q)   |                                                       | 15 <input checked="" type="checkbox"/> Garage                              | 20 <input type="checkbox"/> Industrial                                             |
| 6 <input type="checkbox"/> Moving (relocation) (See Part Q)                                                                     |                                                       | 16 <input type="checkbox"/> Carport                                        | 21 <input type="checkbox"/> Parking garage                                         |
| 7 <input type="checkbox"/> Foundation only                                                                                      |                                                       |                                                                            | 22 <input type="checkbox"/> Service station, repair garage                         |
| B. OWNERSHIP                                                                                                                    |                                                       | Brief Description                                                          | 23 <input type="checkbox"/> Hospital, institutional                                |
| 8 <input checked="" type="checkbox"/> Private (individual, corporation, nonprofit institution, etc.)                            |                                                       | 2-CAR GARAGE WITH STUDIO                                                   | 24 <input type="checkbox"/> Office, bank, professional                             |
| 9 <input type="checkbox"/> Public (Federal, State or local government)                                                          |                                                       | STORAGE WITH SMALL BATH                                                    | 25 <input type="checkbox"/> Public utility                                         |
| C. COST                                                                                                                         |                                                       |                                                                            | 26 <input type="checkbox"/> School, library, other educational                     |
| 10 Cost of improvement _____                                                                                                    | (One Cent)                                            | E. ALL USES                                                                | 27 <input type="checkbox"/> Stores, mercantile                                     |
| To be installed but not included in the above cost                                                                              | \$59,220-                                             | 30 Use Group _____                                                         | 28 <input type="checkbox"/> Tanks, towers                                          |
| a. Electrical _____                                                                                                             | 1600-                                                 | 31 Const. Type _____                                                       | 29 <input type="checkbox"/> Other—Specify _____                                    |
| b. Plumbing _____                                                                                                               | 2500-                                                 | 32 Wind Load _____                                                         |                                                                                    |
| c. Heating, air conditioning _____                                                                                              | 1800-                                                 | 34 Floor load 1st _____ 2nd _____ 3rd _____                                |                                                                                    |
| d. Other (elevator, etc.) _____                                                                                                 |                                                       | 35 Size of Bldg. Front _____ Right _____                                   |                                                                                    |
| 11 TOTAL COST OF IMPROVEMENT _____                                                                                              | \$65,120-                                             | Rear _____ Left _____                                                      |                                                                                    |
|                                                                                                                                 |                                                       | 36 Sprinkler System _____                                                  | 37 Emergency Lights _____                                                          |
| F. IS ANY PART OF THE BUILDING IN FLOOD PLAIN OR WETLANDS? <u>NO</u>                                                            |                                                       |                                                                            |                                                                                    |
| G. PRINCIPAL TYPE OF FRAME                                                                                                      |                                                       | I. TYPE OF SEWAGE DISPOSAL                                                 | L. DIMENSIONS                                                                      |
| 38 <input type="checkbox"/> Masonry (wall bearing)                                                                              |                                                       | 48 <input checked="" type="checkbox"/> Public or private company           | 54 Number of stories _____                                                         |
| 39 <input checked="" type="checkbox"/> Wood frame                                                                               |                                                       | 49 <input type="checkbox"/> Private (septic tank, etc.)                    | 55 Total square feet of floor area, all floors, based on exterior dimensions _____ |
| 40 <input type="checkbox"/> Structural steel                                                                                    |                                                       | J. TYPE OF WATER SUPPLY                                                    | 56 Total land area, sq. ft. _____                                                  |
| 41 <input type="checkbox"/> Reinforced concrete                                                                                 |                                                       | 50 <input checked="" type="checkbox"/> Public or private company           | M. NUMBER OF OFF-STREET PARKING SPACES                                             |
| 42 <input type="checkbox"/> Other—Specify _____                                                                                 |                                                       | 49 <input type="checkbox"/> Private (well, cistern)                        | 57 Enclosed _____                                                                  |
| H. PRINCIPAL TYPE OF HEATING FUEL                                                                                               |                                                       | K. TYPE OF MECHANICAL                                                      | 58 Outdoors _____                                                                  |
| 43 <input checked="" type="checkbox"/> Gas                                                                                      |                                                       | 52 Will there be central air conditioning?                                 | N.                                                                                 |
| 44 <input type="checkbox"/> Oil                                                                                                 |                                                       | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No        | 59 Number of Bedrooms _____                                                        |
| 45 <input type="checkbox"/> Electricity                                                                                         |                                                       | 53 Will there be an elevator?                                              | 60 Number of bathrooms { Full _____ Partial _____                                  |
| 46 <input type="checkbox"/> Coal                                                                                                |                                                       | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No        |                                                                                    |
| 47 <input type="checkbox"/> Other—Specify _____                                                                                 |                                                       |                                                                            |                                                                                    |

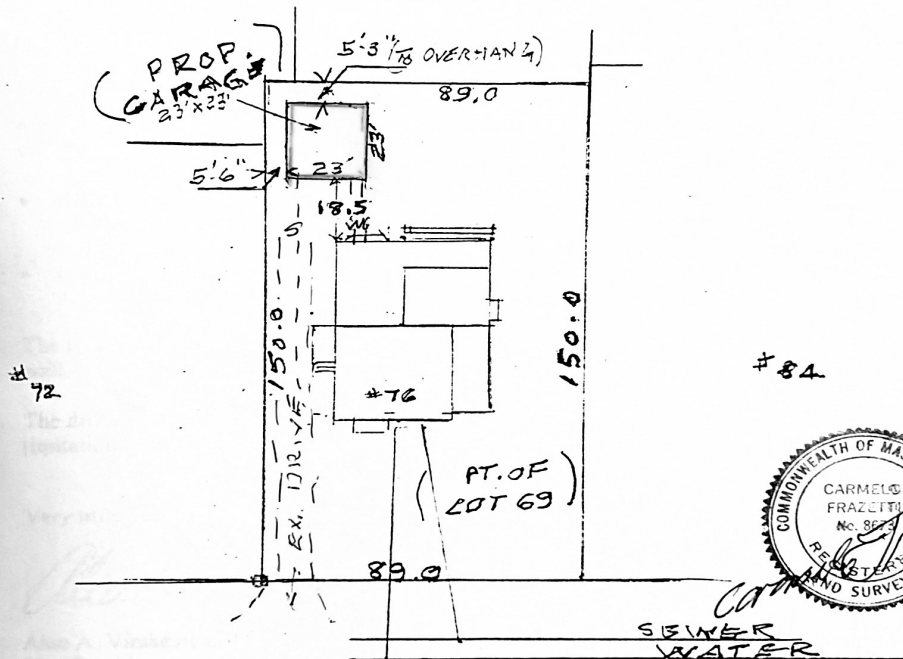
EXHIBIT C  
Building Permit 22187 - Plot Plan

TOWN OF NEEDHAM, MASSACHUSETTS

Building Inspection Department

Building Permit No. 22187 At No. 76 FAIR OAKS PARK  
Lot Area 13350 SF Zoning District "B"  
Owner KEVIN DANEHY Builder \_\_\_\_\_

PLOT PLAN  
40' Scale



FAIR OAKS PARK

Note: Plot Plans shall be drawn in accordance with Sections 7.2.1 and 7.2.2 of the Zoning By-Laws for the Town of Needham. All plot plans shall show existing structures and public utilities, including water mains, sewers, drains, gaslines, etc.; driveways, Flood Plain and Wetland Areas, lot dimensions, dimensions of proposed structures, sideline offsets and setback distances, (allowing for overhangs) and elevation of top of foundations and garage floor. For new construction, elevation of lot corners at street line and existing and approved street grades shall be shown for grading along lot line bordering streetline. For pool permits, plot plans shall also show fence surrounding pool with a gate, proposed pool and any accessory structures, offsets from all structures and property lines, existing elevations at nearest house corners and pool corners, nearest storm drain catch basin (if any) and, sewage disposal system location in unsewered area.  
(\*Accessory structures may require a separate building permit - See Building Code)

I hereby certify that the information provided on this plan is accurately shown and correct as indicated.

The above is subscribed to and executed by me this 22<sup>nd</sup> day of OCT. 1998

Name Carmelo Frazzetti Registered Land Surveyor No. 8673

Address 45 STONYLAND ST. City NEEDHAM State MA Zip 04192 Tel. No. 444-0963

Approved [Signature] Director of Public Works Date 11/2/98

Approved [Signature] Building Inspector Date 10-30-98

Bldg.



Copy  
11/2/98

EXHIBIT D  
Certificate of Vote



Theodora K. Eaton, MMC  
*Town Clerk*

**TOWN OF NEEDHAM**

*Office of the Town Clerk*

1471 Highland Avenue, Needham, MA 02492-0909

Telephone (781) 455-7500 x216

Fax (781) 449-1246

Email: Teaton@needhamma.gov

**AT THE ANNUAL TOWN MEETING**

**HELD ON WEDNESDAY, MAY 3, 2023**

**UNDER ARTICLE 20**

VOTED: That the Town will vote to amend the Needham Zoning By-Law as follows:

- (1) Amend Section 4.2, Dimensional Regulations for Rural Residence-Conservation, Single Residence A, Single Residence B, General Residence, and Institutional Districts, Subsection 4.2.1 Table of Regulations for Rural Residence-Conservation, Single Residence A, Single Residence B, and General Residence Districts, for Buildings and Structures on Lots Created by Deed or Plan Endorsed or Recorded Prior to January 9, 1986 and Not Including New Construction, footnote (e) by revising footnote (e) to now read as follows:

“(e) The minimum side yard setback is 14 feet as measured parallel to the side lot line, and a maximum of 32 linear feet of structure may be built at or farther back from 14 feet, provided that any additional length of structure in the side yard in excess of 32 linear feet must be offset an additional 2 feet. Notwithstanding the above, the minimum side yard setback requirement for all buildings and structures on any lot that contains less than 80 feet of frontage shall be 12 feet as measured parallel to the side lot line, and a maximum of 32 linear feet of structure may be built at or farther back from 12 feet, provided that any additional length of structure in excess of 32 linear feet must be offset an additional 2 feet. In no case shall a side wall extension extend more than 32 linear feet without a 2-foot offset, regardless of an increased side setback.”

- (2) Amend Section 4.2, Dimensional Regulations for Rural Residence-Conservation, Single Residence A, Single Residence B, General Residence, and Institutional Districts, Subsection 4.2.2 Table of Regulations for Rural Residence-Conservation, Single Residence A, Single Residence B, and General Residence Districts, for Buildings and Structures, on Lots Created by Deed or Plan, Endorsed or Recorded on or After January 9, 1986 and Not Including New Construction, footnote (a) by revising footnote (a) to now read as follows:

“(a) The minimum side yard setback is 14 feet as measured parallel to the side lot line, and a maximum of 32 linear feet of structure may be built at or farther back from 14 feet, provided that any additional length of structure in the side yard in excess of 32 linear feet must be



offset an additional 2 feet. Notwithstanding the above, the minimum side yard setback requirement for all buildings and structures on any lot that contains less than 80 feet of frontage shall be 12 feet as measured parallel to the side lot line, and a maximum of 32 linear feet of structure may be built at or farther back from 12 feet, provided that any additional length of structure in excess of 32 linear feet must be offset an additional 2 feet. In no case shall a side wall extension extend more than 32 linear feet without a 2-foot offset, regardless of an increased side setback.”

- (3) Amend Section 4.2, Dimensional Regulations for Rural Residence-Conservation, Single Residence A, Single Residence B, General Residence, and Institutional Districts, Subsection 4.2.3 Table of Regulations for Rural Residence-Conservation, Single Residence A, Single Residence B, and General Residence Districts, for Buildings and Structures Created Through New Construction on any Lot, footnote (a) by revising footnote (a) to now read as follows:

“ (a) The minimum side yard setback is 14 feet as measured parallel to the side lot line, and a maximum of 32 linear feet of structure may be built at or farther back from 14 feet, provided that any additional length of structure in the side yard in excess of 32 linear feet must be offset an additional 2 feet. Notwithstanding the above, the minimum side yard setback requirement for all buildings and structures on any lot that contains less than 80 feet of frontage shall be 12 feet as measured parallel to the side lot line, and a maximum of 32 linear feet of structure may be built at or farther back from 12 feet, provided that any additional length of structure in excess of 32 linear feet must be offset an additional 2 feet. In no case shall a side wall extension extend more than 32 linear feet without a 2-foot offset, regardless of an increased side setback.”

UNANIMOUS VOTE

A true copy  
ATTEST:

  
Theodora K. Eaton, MMC, Town Clerk

# TOWN OF NEEDHAM, MASSACHUSETTS

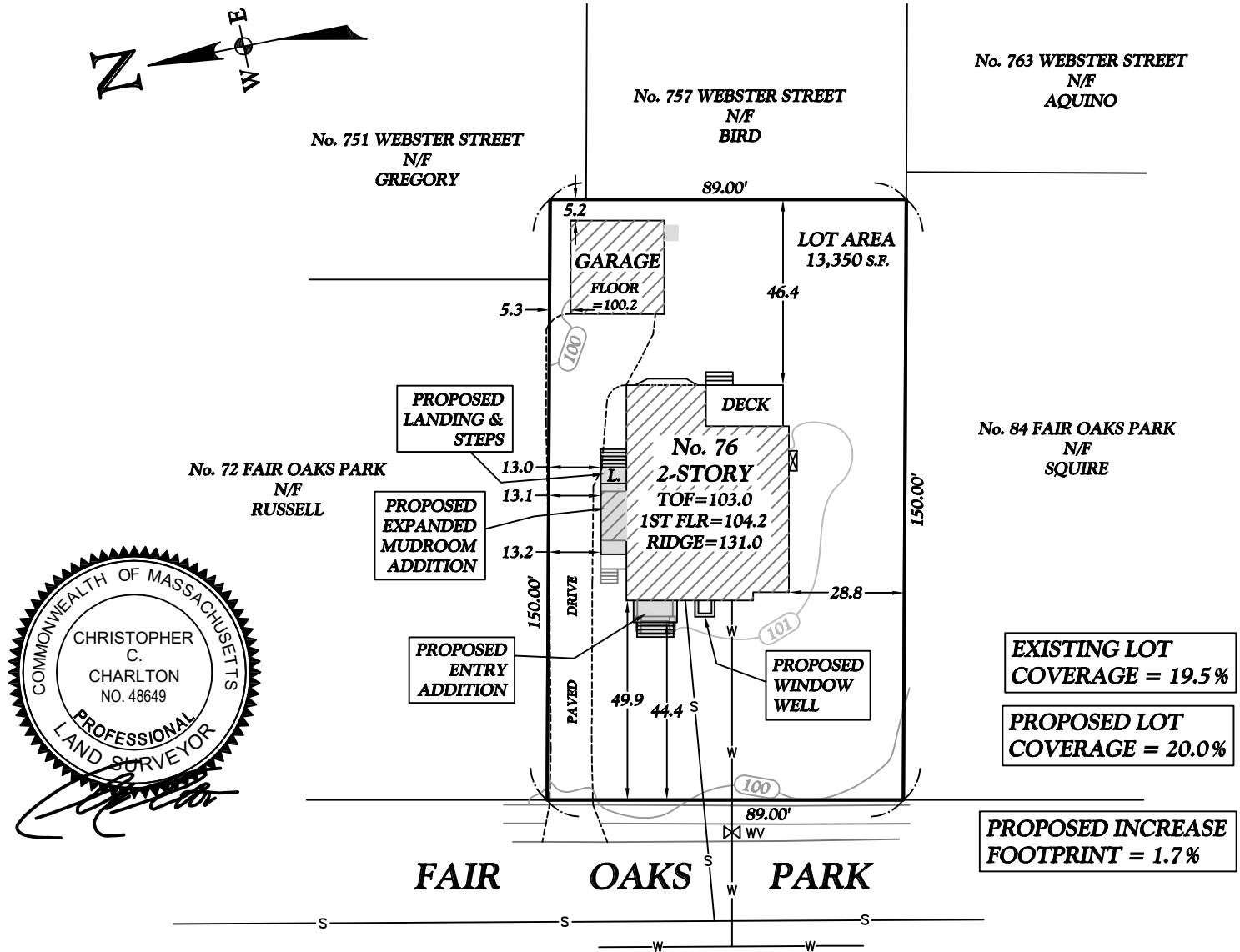
## Building Inspection Department

Building Permit Number: \_\_\_\_\_  
Lot Area: **13,350 S.F.**  
Owner: **Geoffrey R. & Kate P. McDavitt Urquhart**

Assessor's Map & Parcel Number: **MAP NO. 49, PARCEL 79**  
Zoning District: **SR-B**  
Address: **No. 76 FAIR OAKS PARK**  
Builder: \_\_\_\_\_

### PROPOSED ADDITIONS PLOT PLAN

40' Scale



Note: Plot Plans shall be drawn in accordance with Sections 7.2.1 and 7.2.2 of the Zoning By-Laws for the town of Needham. All plot plans shall show existing structures and public & private utilities, including water mains, sewers, drains, gaslines, etc.; driveways, septic systems, wells, Flood Plain and Wetland Areas, lot dimensions, lot size, dimensions of proposed structures, sideline, front and rear offsets and setback distances, (measured to the face of structure) and elevation of top of foundations and garage floor. For new construction, lot coverage, building height calculations proposed grading and drainage of recharge structures. For pool permits, plot plans shall also show fence surrounding pool with a gate, proposed pool and any accessory structures\*, offsets from all structures and property lines, existing elevations at nearest house corners and pool corners, nearest storm drain catch basin (if any) and, sewage disposal system location in areas with no public sewer.

(\*Accessory structures may require a separate building permit — See Building Code)

I hereby certify that the information provided on this plan is accurately shown and correct as indicated.

The above is subscribed to and executed by me this 18 th day of DECEMBER 20 24.

Name CHRISTOPHER C. CHARLTON Registered Land Surveyor No. 48649 License Expiration Date 06/30/2026

Address 105 BEAVER STREET City FRANKLIN State MA Zip 02038 Tel. No. (508) 528-2528

Approved \_\_\_\_\_ Director of Public Works Date \_\_\_\_\_

Approved \_\_\_\_\_ Building Inspector Date \_\_\_\_\_



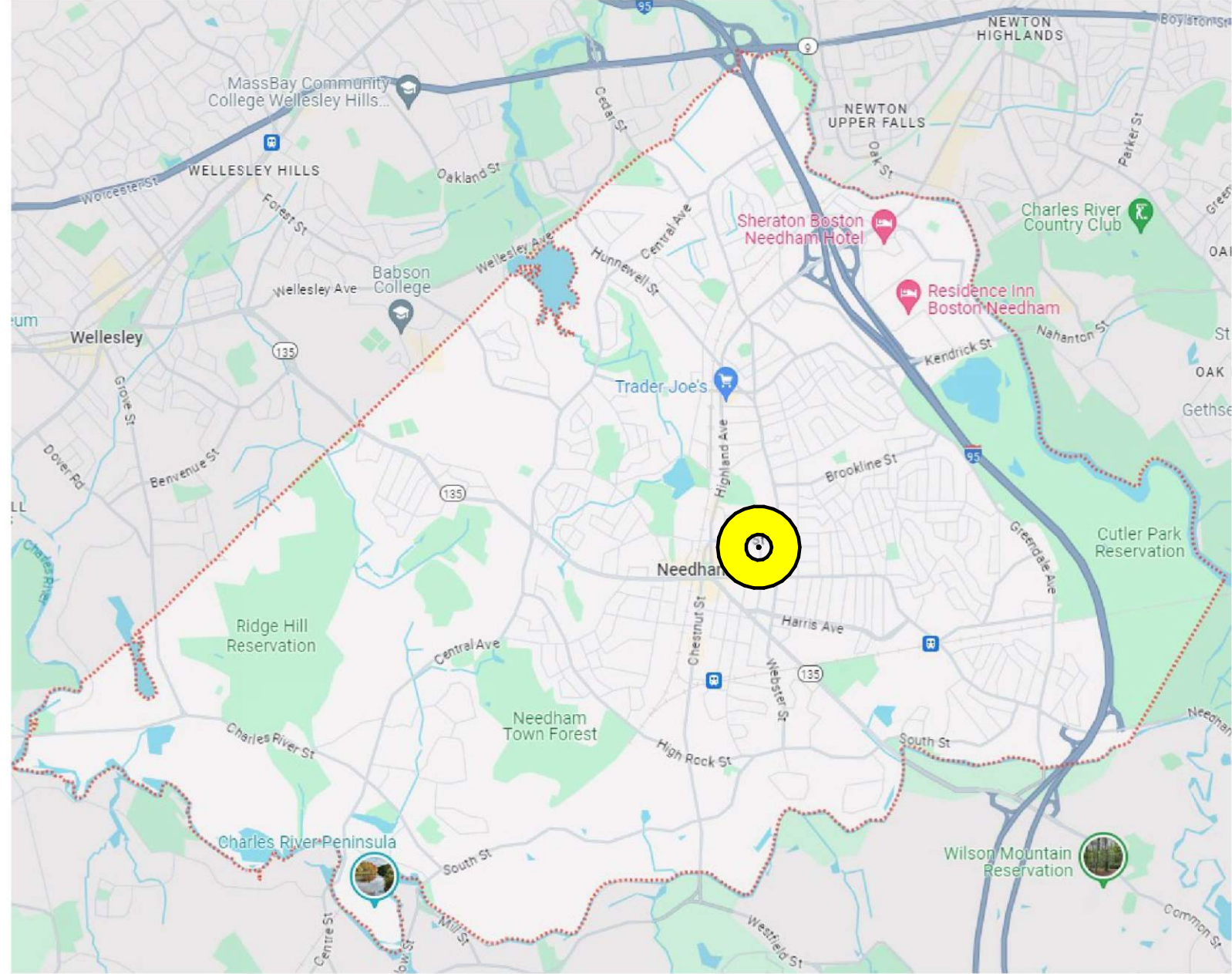
SHEET LIST

|              |                                          |
|--------------|------------------------------------------|
| GENERAL      |                                          |
| 000          | COVER SHEET                              |
| EXISTING     |                                          |
| EX100        | EXISTING FLOOR PLANS                     |
| EX200        | EXISTING EXTERIOR ELEVATIONS             |
| EX300        | EXISTING BUILDING SECTIONS               |
| DEMOLITION   |                                          |
| D100         | DEMOLITION PLANS                         |
| ARCHITECTURE |                                          |
| A100         | BASEMENT FLOOR PLAN                      |
| A101         | GROUND FLOOR PLAN                        |
| A102         | SECOND FLOOR PLAN                        |
| A103         | ATTIC FLOOR PLAN                         |
| A104         | ROOF PLAN                                |
| A105         | GARAGE FLOOR PLANS                       |
| A110         | BASEMENT REFLECTED CEILING PLAN          |
| A111         | GROUND FLOOR REFLECTED CEILING PLAN      |
| A112         | SECOND FLOOR REFLECTED CEILING PLAN      |
| A113         | ATTIC REFLECTED CEILING PLAN             |
| A200         | EXTERIOR ELEVATIONS                      |
| A201         | EXTERIOR ELEVATIONS                      |
| A202         | GARAGE EXTERIOR ELEVATIONS               |
| A300         | BUILDING SECTIONS & TYPICAL WALL SECTION |
| A301         | BUILDING SECTIONS & DETAILS              |
| A600         | VERTICAL CIRCULATION                     |
| STRUCTURAL   |                                          |
| S-1          | STRUCTURAL DRAWINGS                      |
| S-2          | STRUCTURAL DRAWINGS                      |
| S-3          | STRUCTURAL DRAWINGS                      |
| S-4          | STRUCTURAL DRAWINGS                      |

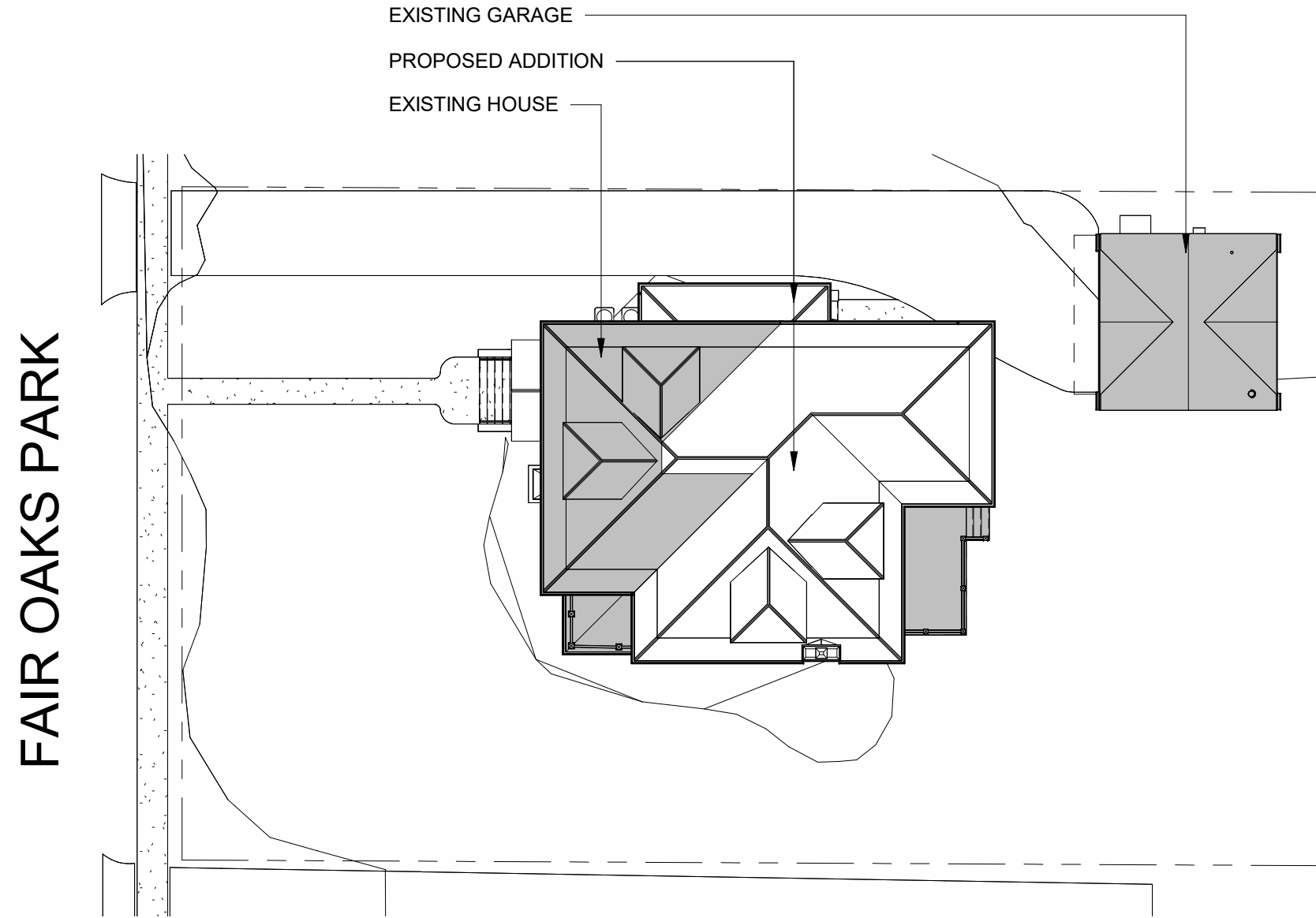
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GENERAL NOTES



ARCHITECTURAL SITE PLAN      SEE PLOT PLAN FOR ZONING COMPLIANCE



DESIGN TEAM

|                                                                                                          |                                                                                                               |
|----------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------|
| <b>ARCHITECT:</b><br>HINTERSPACE ARCHITECTURE PLLC<br>34 PINE STREET<br>NATICK, MA 01760<br>617.270.5207 | <b>STRUCTURAL ENGINEER:</b><br>DESIGN BY SAMI LLC<br>81 OCEANSIDE DRIVE<br>SCITUATE, MA 02066<br>617.460.1041 |
|----------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------|

PROJECT DESCRIPTION

THE PROJECT IS THE RENOVATION AND ADDITION TO A WOOD-FRAMED SINGLE-FAMILY RESIDENCE. WORK INCLUDES: DEMOLITION OF INTERIOR & EXTERIOR FINISHES, REPLACEMENT OF WINDOWS, EXPANSION OF THE FOUNDATION AND SECOND FLOOR, AND ELECTRICAL, PLUMBING & HVAC WORK.

CODE

BUILDING CODE: MASSACHUSETTS CMR 780 10TH EDITION  
ENERGY CODE COMPLIANCE: SEE ATTACHED HERS RATING  
ZONING: ZONING BY-LAW OF THE TOWN OF NEEDHAM PUBLISHED JUNE 2024

ABBREVIATIONS

|        |                           |
|--------|---------------------------|
| ACT    | Acoustical Tile           |
| ADJ    | Adjacent                  |
| AFF    | Above Finished Floor      |
| CLG HT | Ceiling Height            |
| COL    | Column                    |
| CONC   | Concrete                  |
| CLG    | Ceiling                   |
| DIA    | Diameter                  |
| DWG    | Drawing                   |
| ELEV   | Elevation                 |
| EXIST  | Existing                  |
| GWB    | Gypsum (GYP) Wall Board   |
| NIC    | Not in Contract           |
| NO     | Number                    |
| NTS    | Not to Scale              |
| OC     | On Center                 |
| PLAM   | Plastic Laminat           |
| TOS    | Top of Steel              |
| TYP    | Typical                   |
| UON    | Unless Otherwise Noted    |
| VERT   | Vertical                  |
| VCT    | Vinyl Composite Tile      |
| VWC    | Vinyl Wall Covering       |
| VB     | Vinyl Base                |
| VIF    | Verify in Field           |
| WC     | Water Closet              |
| WRB    | Weather Resistant Barrier |

SYMBOLS

|  |                    |  |               |
|--|--------------------|--|---------------|
|  | SECTION            |  | DOOR TAG      |
|  | INTERIOR ELEVATION |  | ROOM TAG      |
|  | DETAIL             |  | WALL TYPE TAG |
|  | BUILDING ELEVATION |  | WINDOW TAG    |
|  | GRID LINE          |  | REVISION      |
|  | ELEVATION          |  |               |

GENERAL NOTES

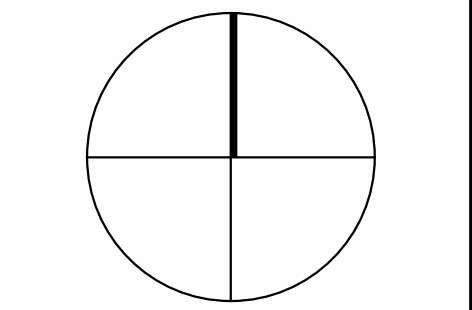
- THESE DOCUMENTS HAVE BEEN COMPILED WITH THE BEST AVAILABLE INFORMATION AND ARE NOT INTENDED TO LIMIT THE SCOPE OF WORK. THE CONTRACTOR MAY ENCOUNTER HIDDEN OR COVERED CONDITIONS NOT INDICATED IN THE DOCUMENTS, REQUIRING ADDITIONAL WORK FOR THE COMPLETION OF THIS CONTRACT.
- THE CONTRACTOR SHALL INSPECT THE SITE PRIOR TO BIDDING AND VERIFY ALL CONDITIONS, DIMENSIONS, AND OTHER INFORMATION HEREIN SUPPLIED.
- THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY UNEXPECTED FIELD CONDITIONS OR DISCREPANCIES PRIOR TO THE COMMENCEMENT OF WORK.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND DISTRIBUTING DRAWINGS CONSIDERED TO BE CURRENT, UPDATED AND COORDINATED FOR CONSTRUCTION, INCLUDING STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
- ALL DIMENSIONS AND LAYOUTS SHALL BE FIELD COORDINATED BY THE CONTRACTOR WITH THE ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.
- THE DRAWINGS SHALL NOT BE SCALED TO OBTAIN NECESSARY DIMENSIONS.
- THE CONTRACTOR SHALL REPORT ANY INCONSISTENCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL RESOLVE AT NO COST TO THE OWNER AND TO THE SATISFACTION OF THE ARCHITECT, ANY AND ALL CONFLICTS BETWEEN THE WORK OF THE VARIOUS TRADES ARISING FROM ERRORS IN COORDINATION BETWEEN TRADES OR WITH EXISTING CONDITIONS HIDDEN OR OTHERWISE.



HINTERSPACE  
ARCHITECTURE  
HINTERSPACE.COM  
617.270.5207



Urquhart Residence  
76 Fair Oaks Park, Needham, MA 02492  
NO: 2402

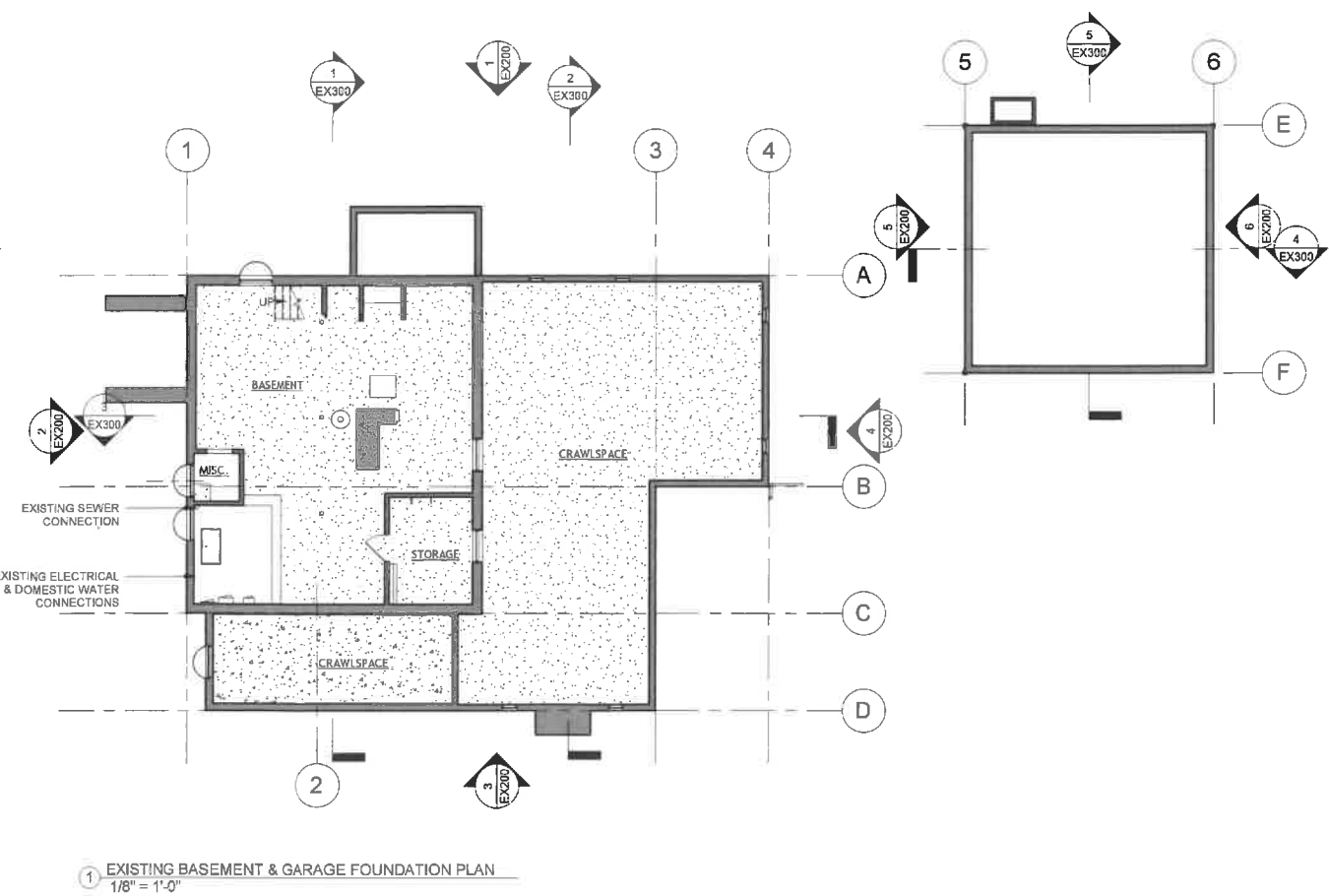
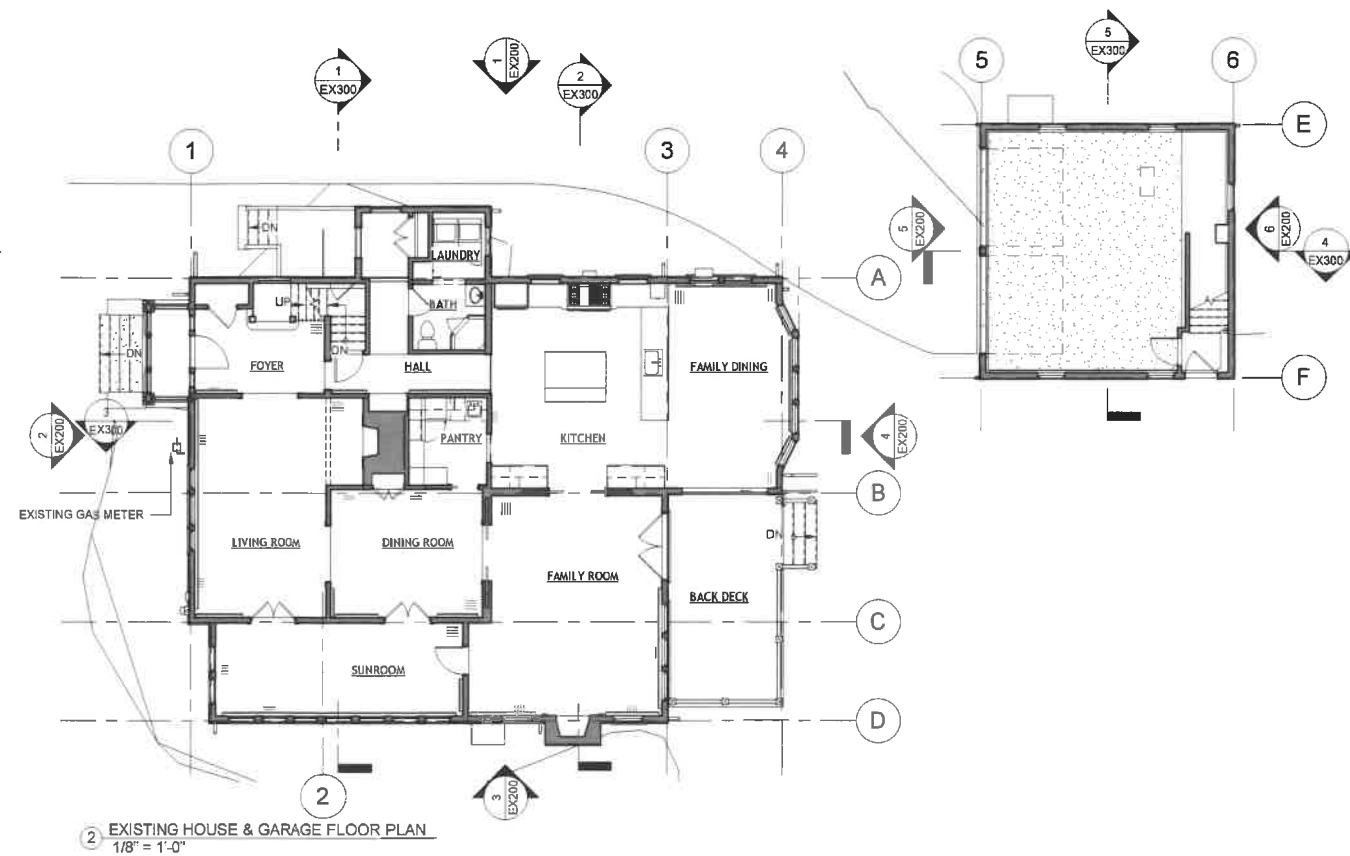
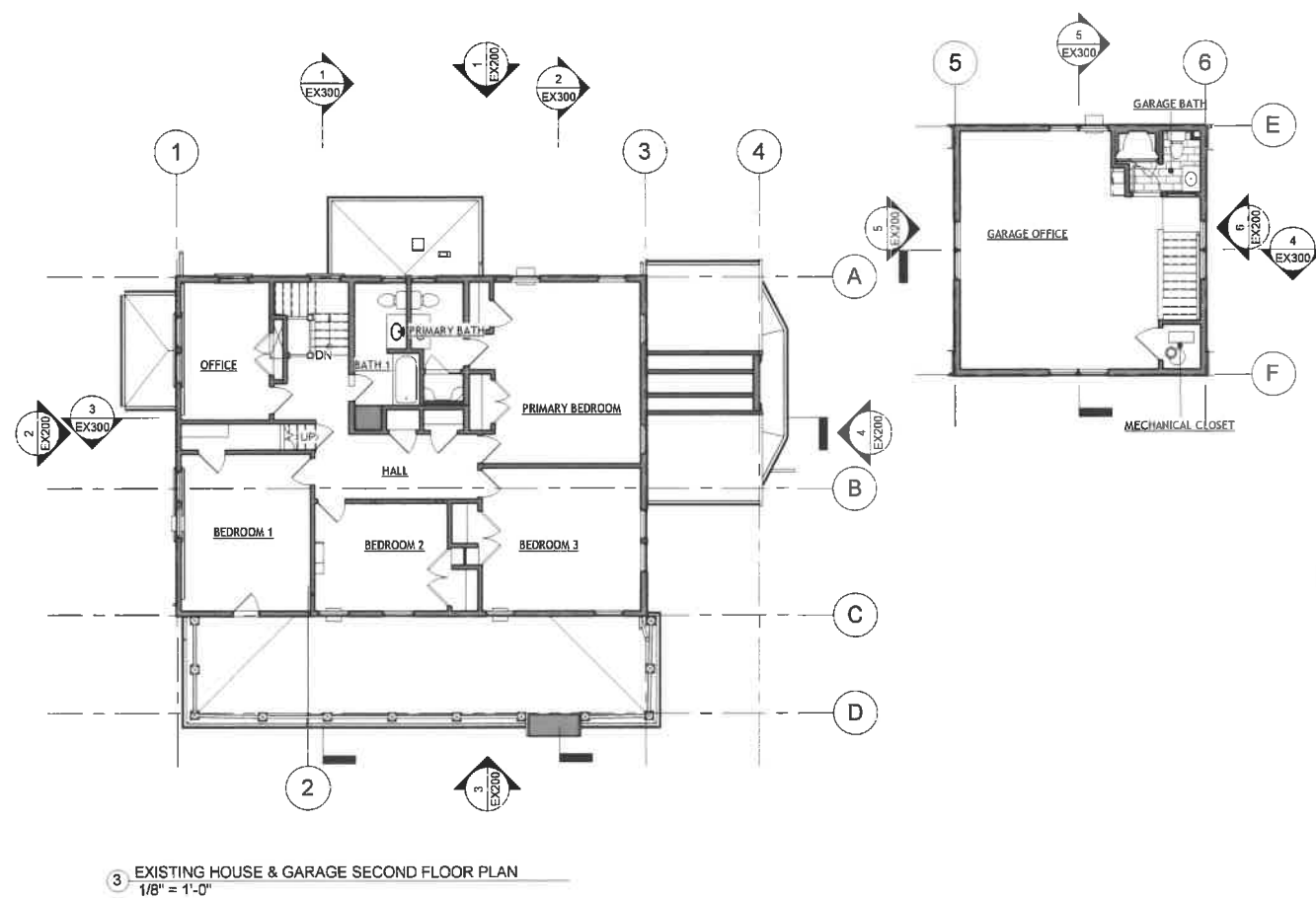
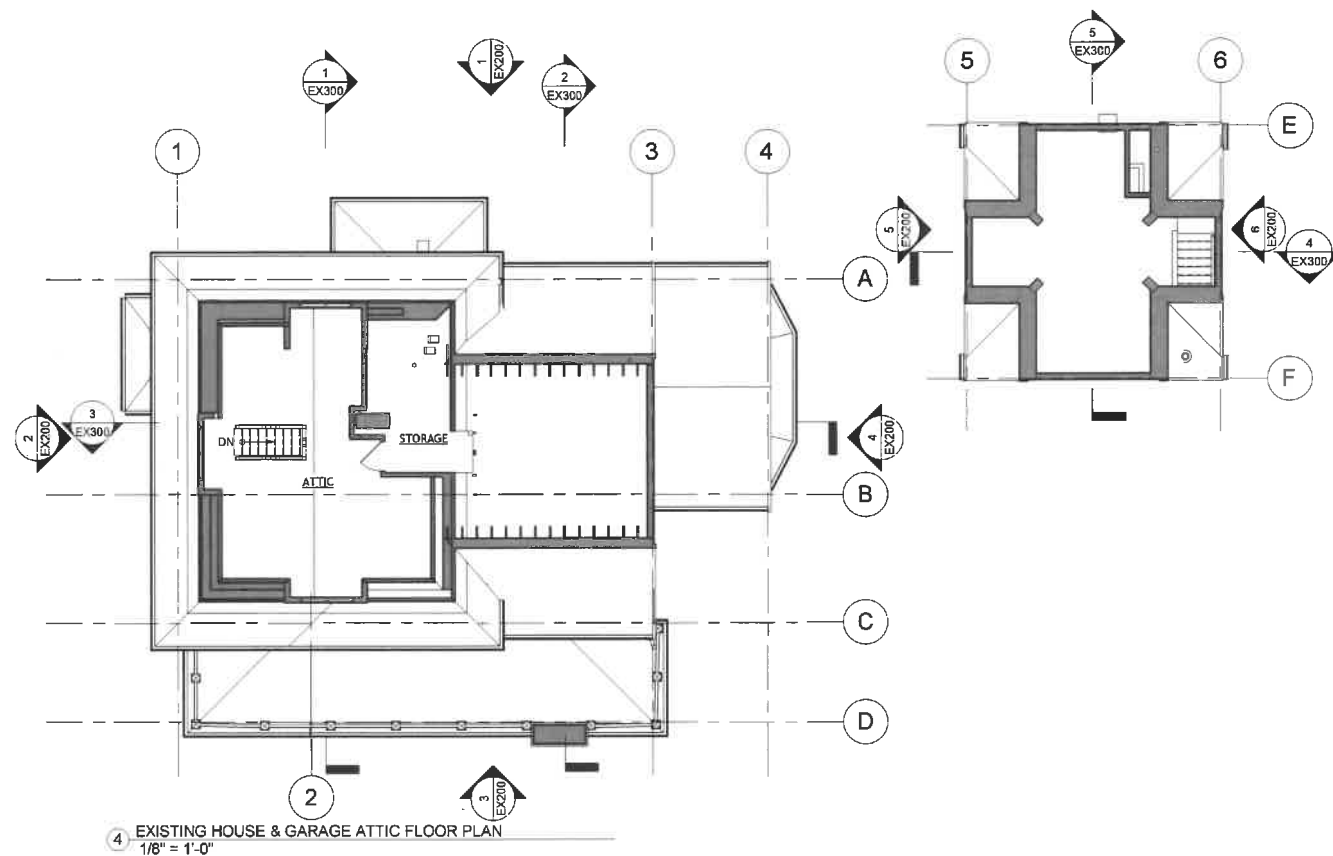


|                  |             |
|------------------|-------------|
| ISSUANCE:        |             |
| CONSTRUCTION     |             |
| DATE: 01/12/2025 |             |
| REV              | DESCRIPTION |
|                  | DATE        |

|             |  |
|-------------|--|
| COVER SHEET |  |
| 000         |  |



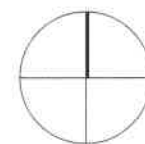
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NO. 2402



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EXISTING FLOOR  
PLANS

EX100

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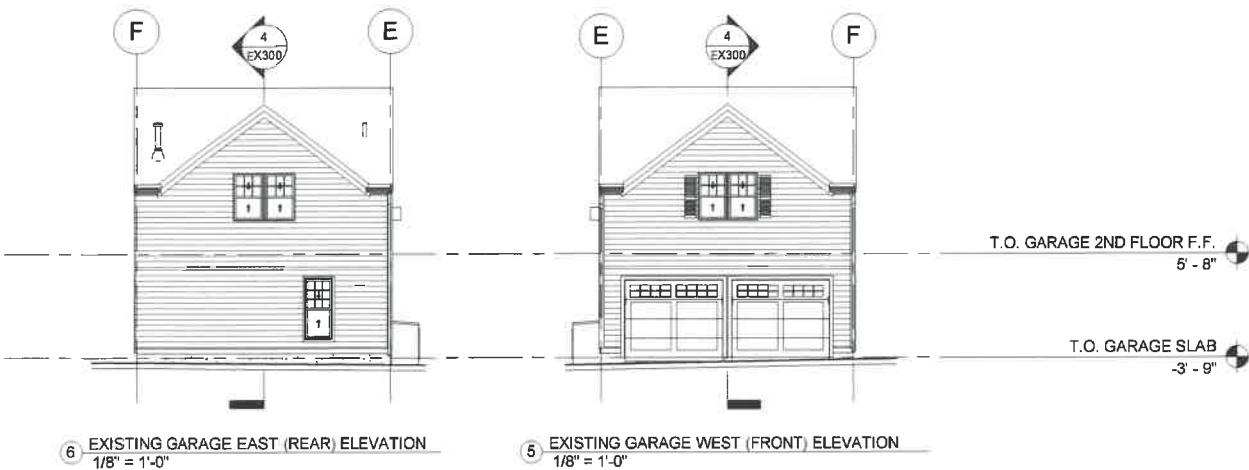


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NO: 2402

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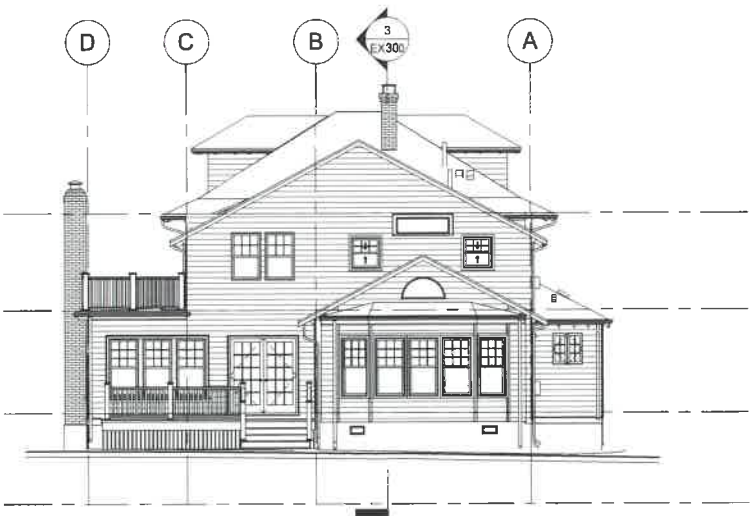
EXISTING EXTERIOR  
ELEVATIONS

EX200



6 EXISTING GARAGE EAST (REAR) ELEVATION  
1/8" = 1'-0"

5 EXISTING GARAGE WEST (FRONT) ELEVATION  
1/8" = 1'-0"



4 EXISTING HOUSE EAST (REAR) ELEVATION  
1/8" = 1'-0"



3 EXISTING HOUSE & GARAGE SOUTH ELEVATIONS  
1/8" = 1'-0"

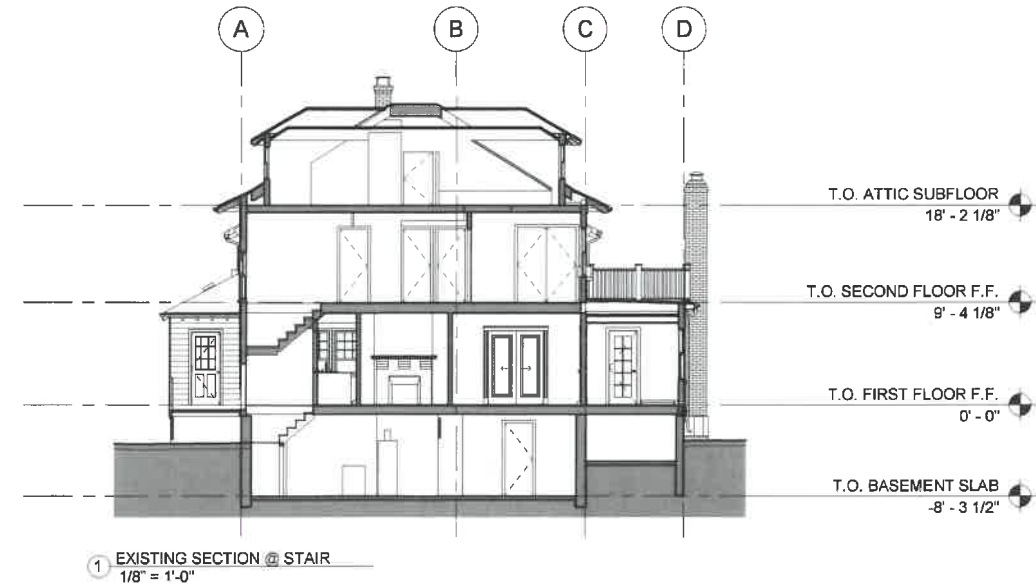
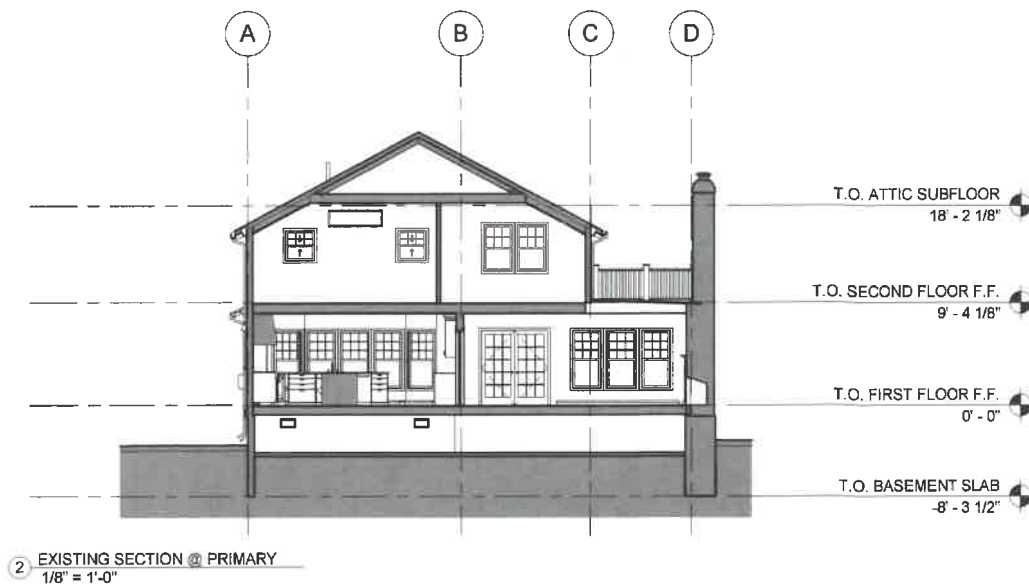
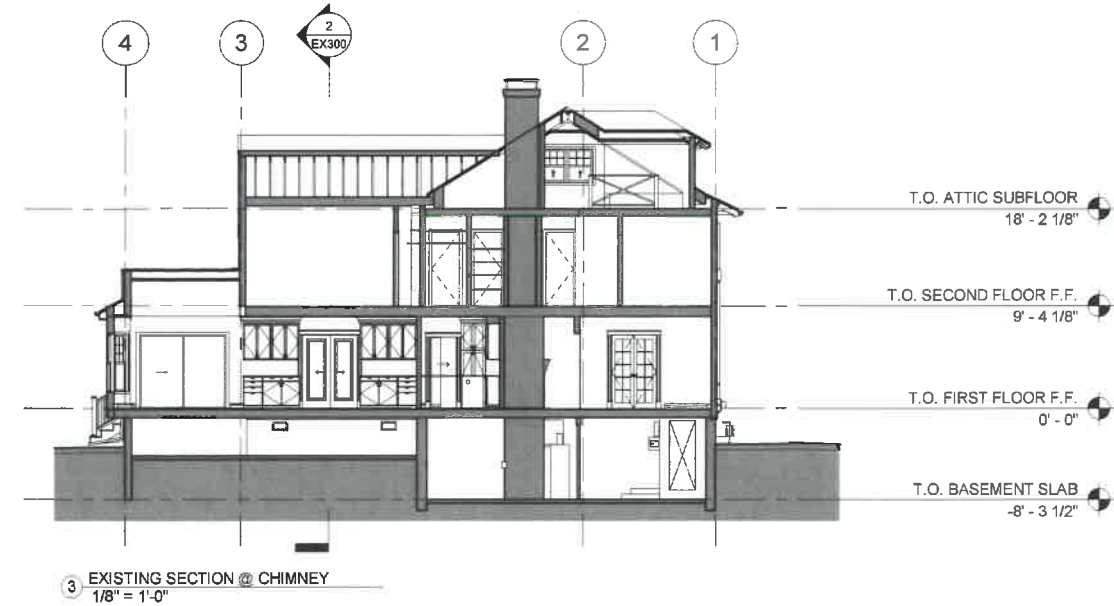
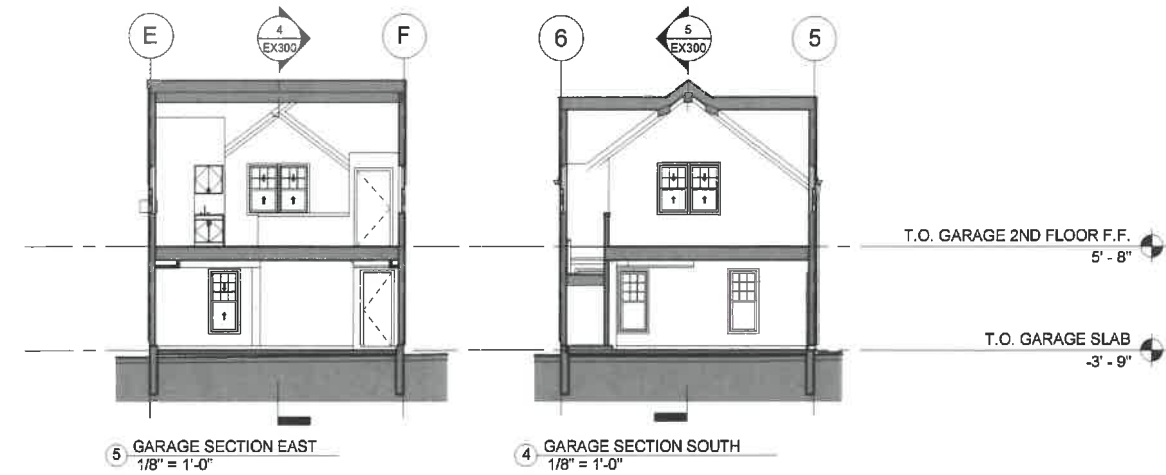


2 EXISTING HOUSE WEST (FRONT) ELEVATION  
1/8" = 1'-0"



1 EXISTING HOUSE & GARAGE NORTH ELEVATIONS  
1/8" = 1'-0"

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EXISTING BUILDING  
SECTIONS

EX300



01/13/25 09:32:14

## GENERAL DEMOLITION NOTES

1. CONSULT WITH STRUCTURAL ENGINEER BEFORE REMOVING ANY PARTITIONS THAT APPEAR TO BE LOAD-BEARING.
2. REMOVE ALL EXISTING INTERIOR FINISHES UNLESS NOTED OTHERWISE.
3. REMOVE ALL EXISTING ELECTRICAL FIXTURES & ROUGH WIRING - RETAIN ELECTRIC METER FOR USE DURING PROJECT.
4. REMOVE EXISTING WINDOWS AS SHOWN - EXTERIOR WINDOW CASINGS ARE TO REMAIN
5. COMPLETELY REMOVE EXISTING HVAC SYSTEM.
6. COMPLETELY REMOVE EXISTING PLUMBING SYSTEM.

## LEGEND

- EXISTING SURFACES TO REMAIN
- EXISTING ITEMS TO REMAIN (CUT IN SECTION)
- EXISTING TO BE REMOVED

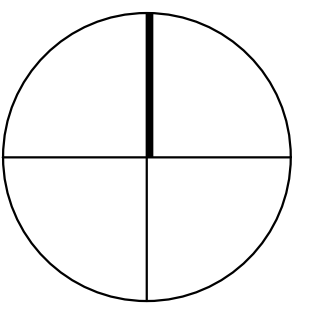


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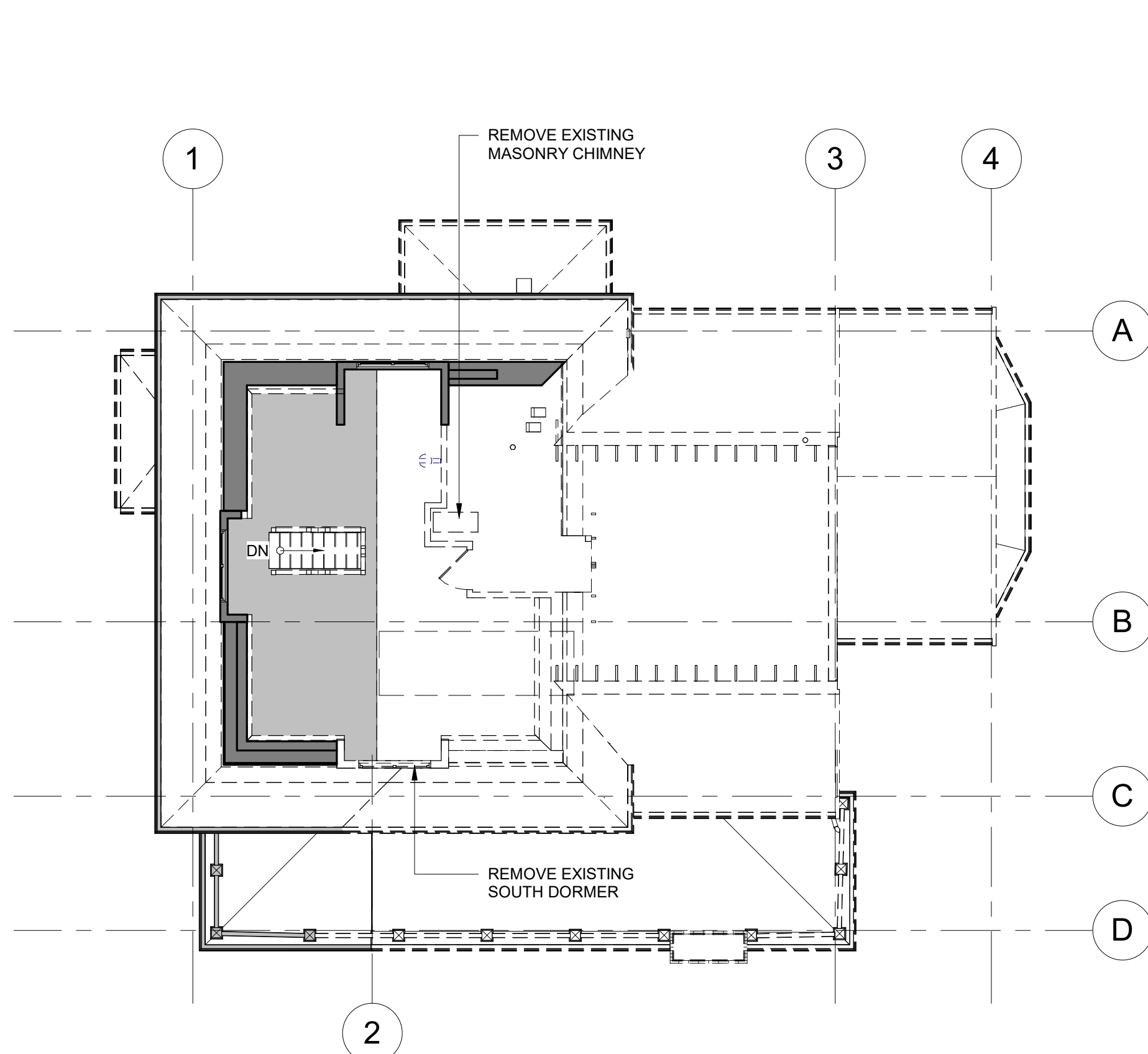
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NO: 2402



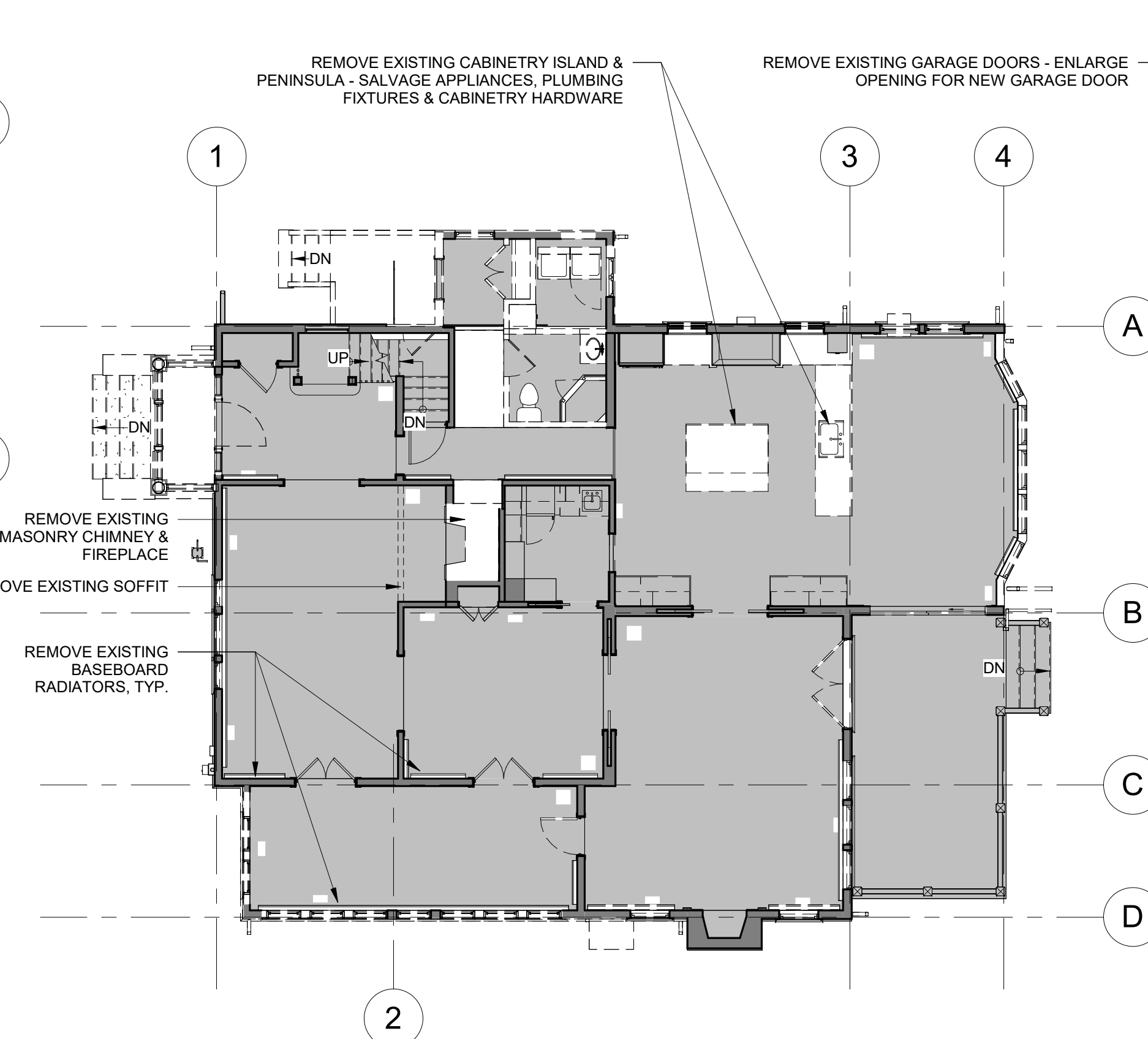
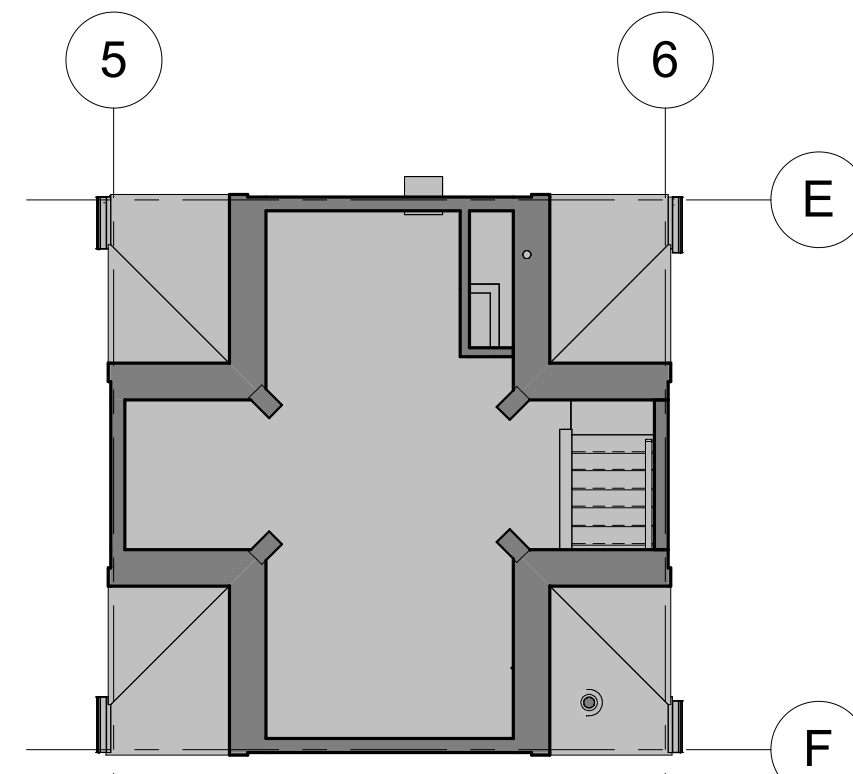
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DEMOLITION PLANS

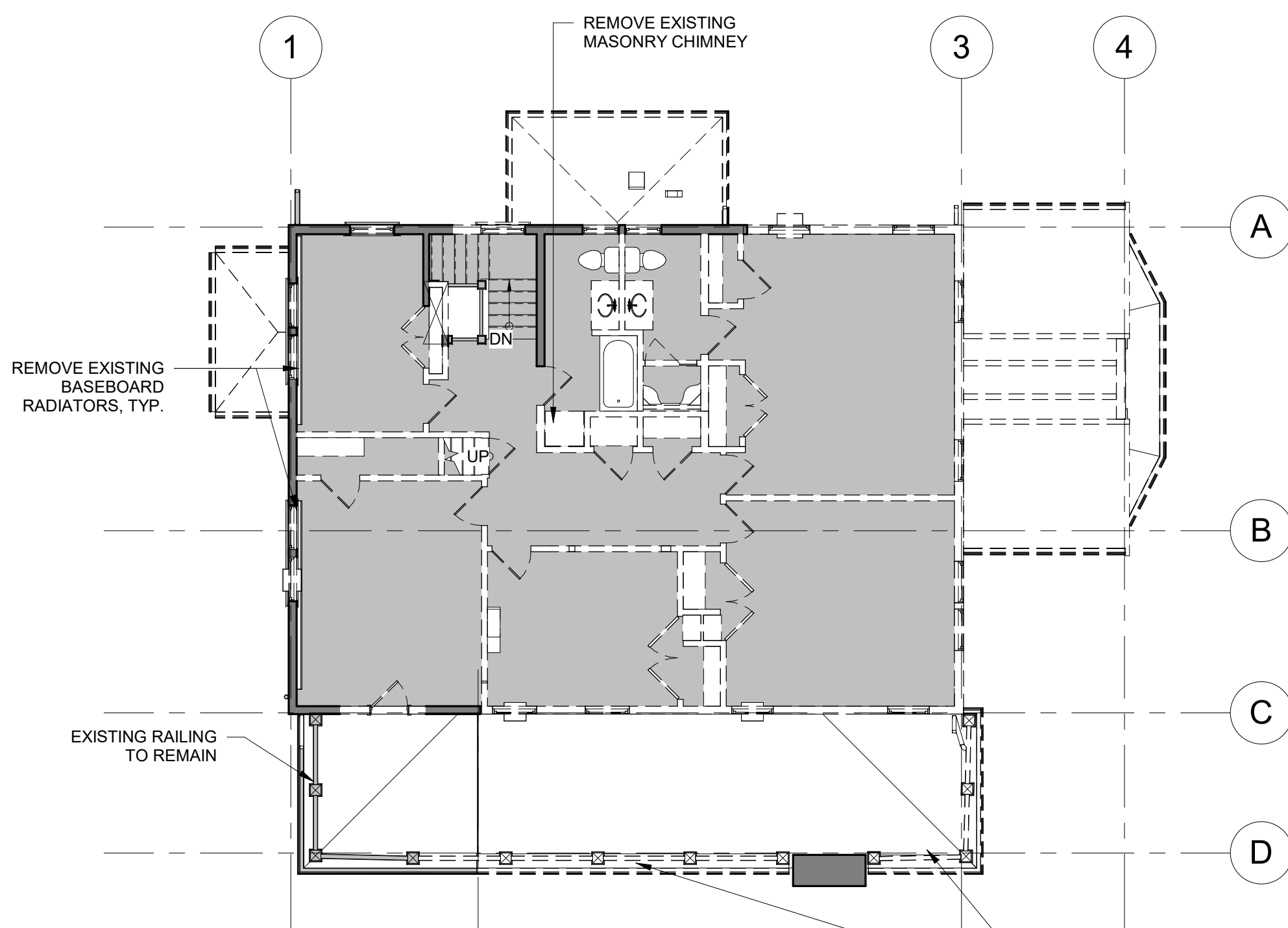
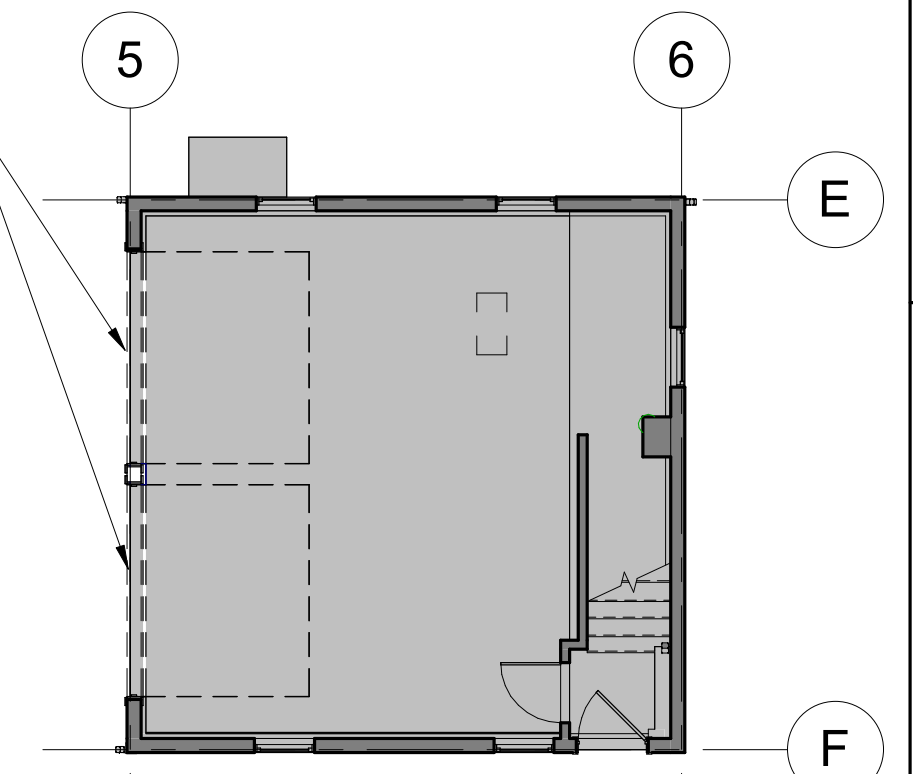
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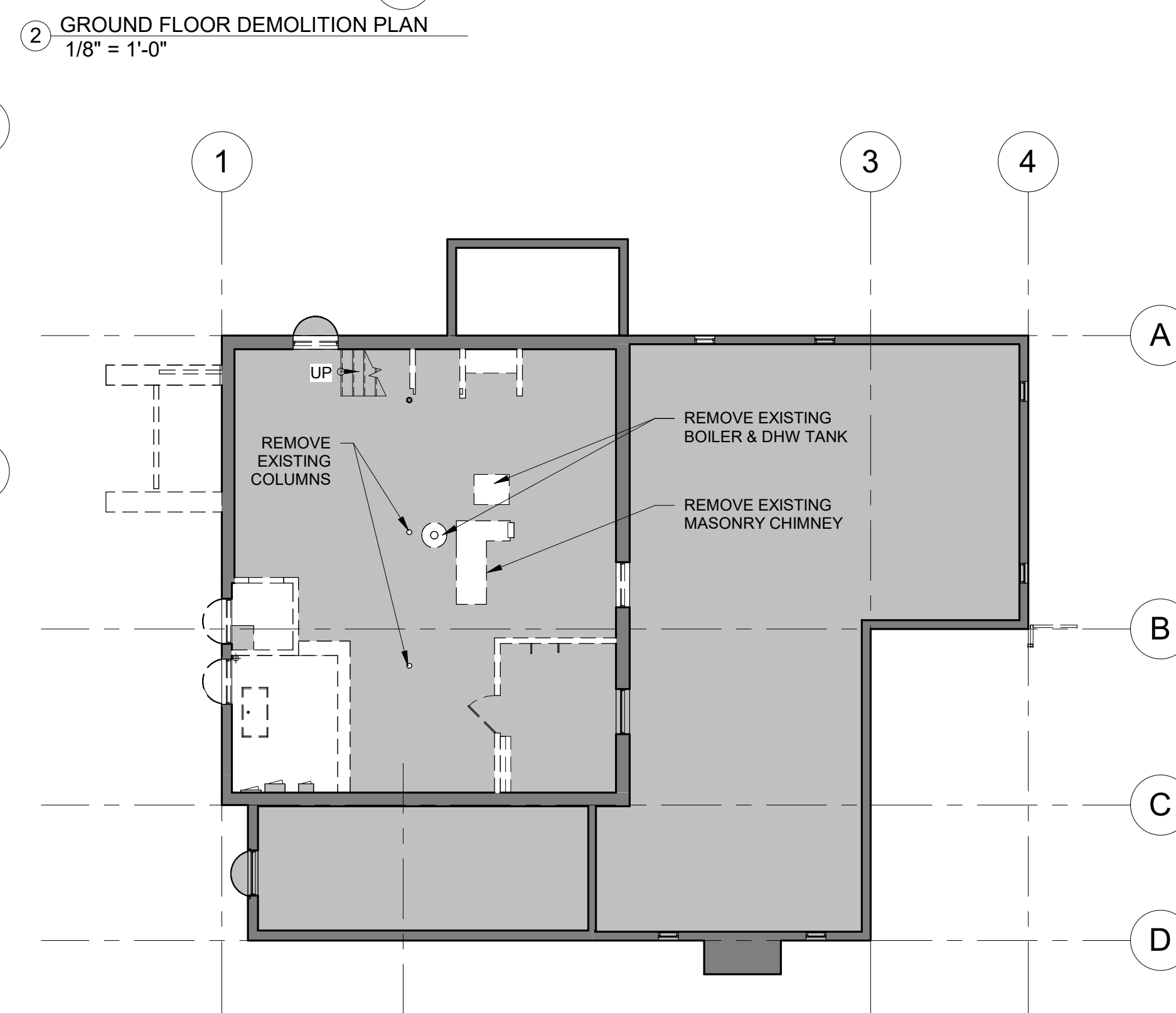
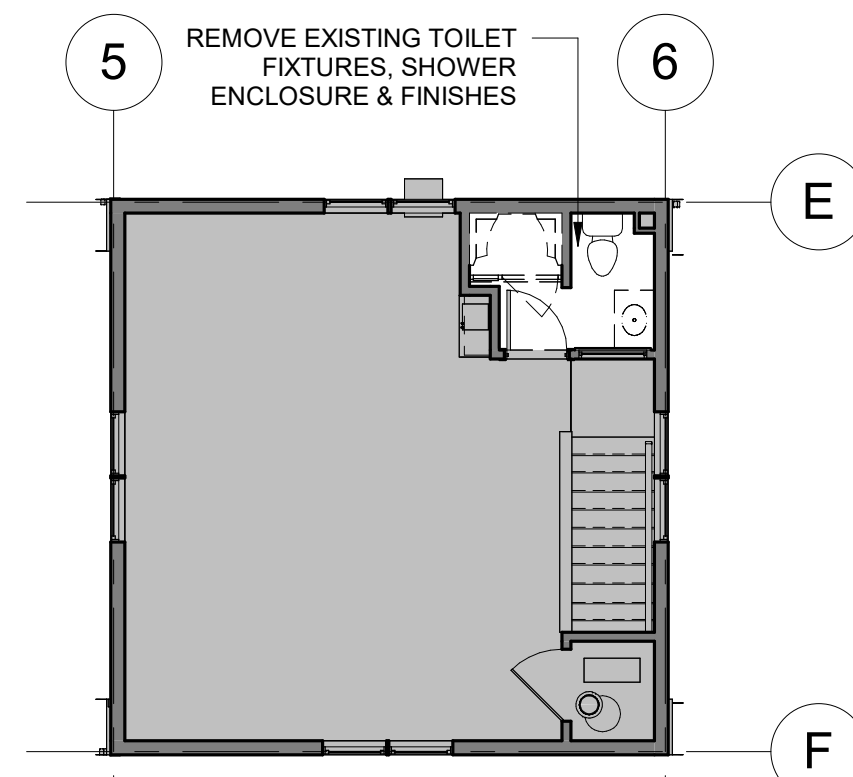
4 ATTIC DEMOLITION PLAN  
1/8" = 1'-0"



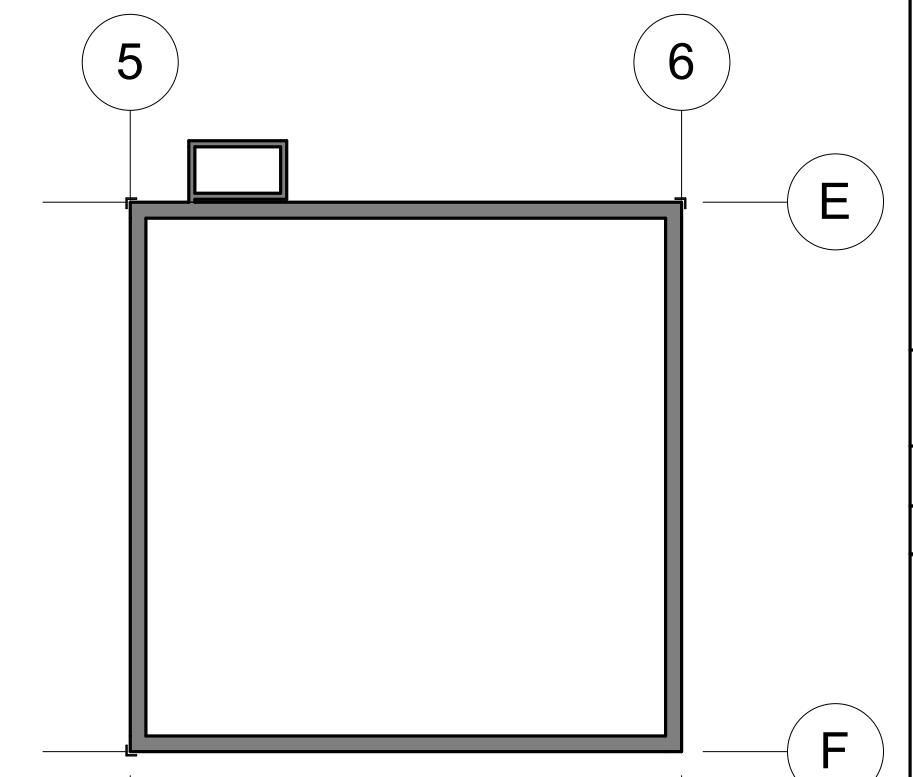
2 GROUND FLOOR DEMOLITION PLAN  
1/8" = 1'-0"



3 SECOND FLOOR DEMOLITION PLAN  
1/8" = 1'-0"



1 BASEMENT DEMOLITION PLAN  
1/8" = 1'-0"





ROOM FINISH SCHEDULE

| NUMBER | NAME                 | APPROX. AREA | FLOOR        | BASE           | FINISH            | WALL          | CEILING       | NOTES |
|--------|----------------------|--------------|--------------|----------------|-------------------|---------------|---------------|-------|
| 000    | PLAY AREA            | 254 SF       | CARPET - TBD | WOOD - PAINTED | GWB - PAINTED     | GWB - PAINTED | GWB - PAINTED |       |
| 001    | TV AREA              | 238 SF       | CARPET - TBD | WOOD - PAINTED | GWB - PAINTED     | GWB - PAINTED | GWB - PAINTED |       |
| 002    | HVAC                 | 77 SF        | CONCRETE     | N/A            | GWB - PAINTED     | GWB - PAINTED | GWB - PAINTED |       |
| 003    | STORAGE              | 88 SF        | CARPET - TBD | WOOD - PAINTED | GWB - PAINTED     | GWB - PAINTED | GWB - PAINTED |       |
| 004    | ELECTRICAL           | 38 SF        | CONCRETE     | N/A            | PLYWOOD - PAINTED | N/A           | N/A           |       |
| 005    | AREAWAY              | 11 SF        | GRAVEL       | N/A            | CONCRETE          | N/A           | N/A           |       |
| 006    | CRAWLSPACE 1         | 181 SF       | N/A          | N/A            | EXISTING CONCRETE | N/A           | N/A           |       |
| 007    | CRAWLSPACE 2         | 813 SF       | N/A          | N/A            | EXISTING CONCRETE | N/A           | N/A           |       |
| 009    | EXISTING UNEXCAVATED | 63 SF        | N/A          | N/A            | EXISTING CONCRETE | N/A           | N/A           |       |

DOOR SCHEDULE

| NUMBER | FROM ROOM  | TO ROOM   | WIDTH    | HEIGHT  | THICKNESS | NOTES |
|--------|------------|-----------|----------|---------|-----------|-------|
| 002A   | TV AREA    | HVAC      | 2' - 6"  | 6' - 6" | 1 3/4"    |       |
| 003A   | STORAGE    | PLAY AREA | 2' - 10" | 6' - 6" | 1 1/2"    |       |
| 004A   | ELECTRICAL | PLAY AREA | 2' - 10" | 6' - 6" | 1 1/2"    |       |

DOOR NOTES

- SEE DOOR SCHEDULE FOR DOOR SIZES
- NEW INTERIOR DOOR LEAFS TO BE SOLID CORE WITH A LEAF STYLE TO MATCH EXISTING
- NEW INTERIOR DOOR HARDWARE TO MATCH EXISTING CRYSTAL KNOBS & BRASS HARDWARE
- NEW POCKET DOOR HARDWARE: ACCURATE LOCK & HARDWARE S161.PA.US3.238.134.SD

HVAC NOTES

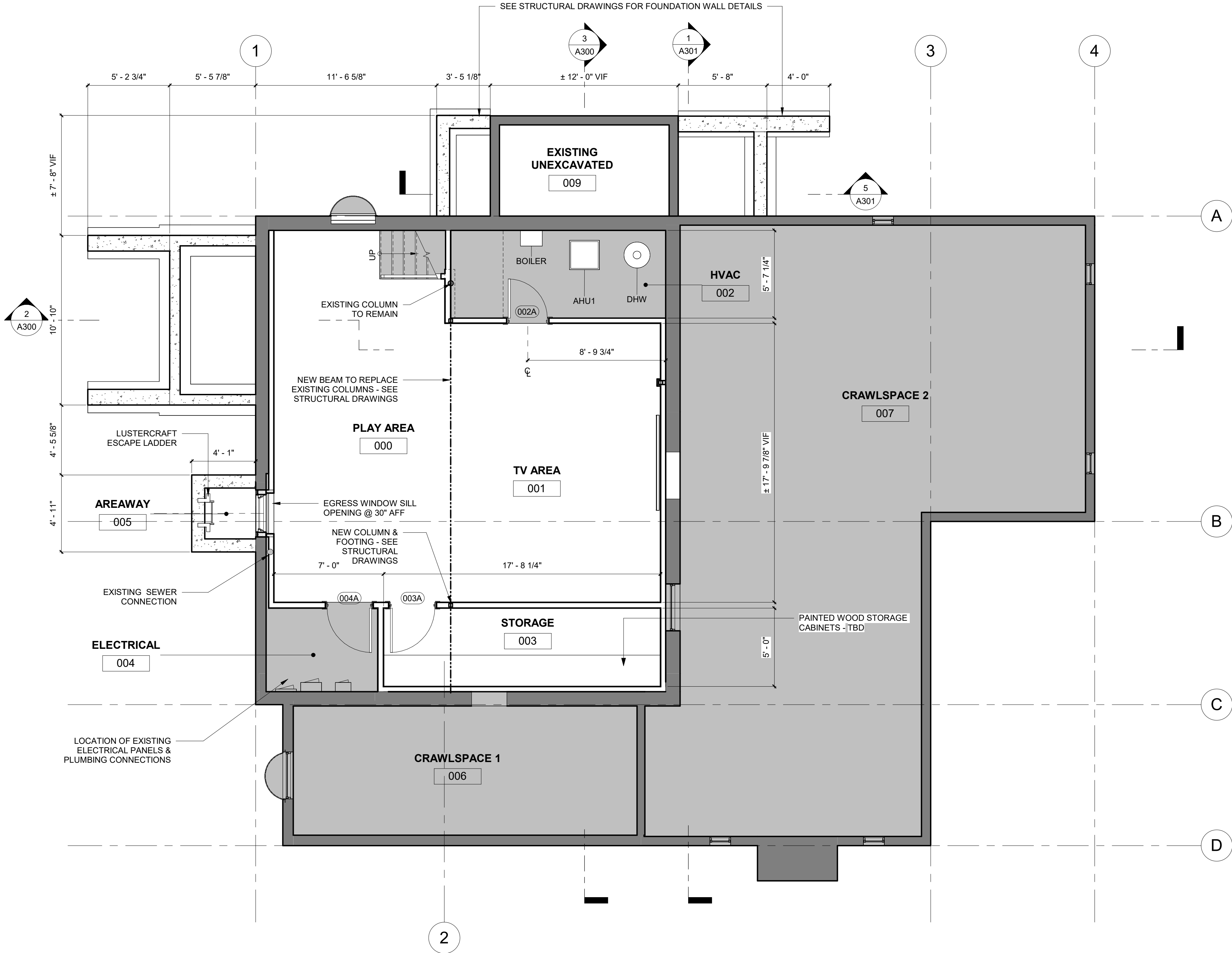
- PROVIDE DESIGN-BUILD SERVICES FOR A HYDRO-AIR HEATING & COOLING SYSTEM USING NATURAL GAS FUEL FOR HEATING WITH INSULATED DUCTWORK
- AIR-HANDLER 1 (AHU 1) TO BE LOCATED IN BASEMENT HVAC SPACE TO SERVE BASEMENT & GROUND FLOOR SPACES WITH THE EXCEPTION OF THE FAMILY ROOM
  - EXISTING FAMILY ROOM TO RETAIN THE EXISTING MINI-SPLIT SYSTEM
- AIR-HANDLER 2 (AHU 2) TO BE LOCATED IN ATTIC HVAC SPACE 302 TO SERVE PRIMARY SUITE, LAUNDRY ROOM, BATH 2, ATTIC STORAGE, EXERCISE ROOM & ATTIC OFFICE
- AIR-HANDLER 3 (AHU 3) TO BE LOCATED IN ATTIC HVAC SPACE 304 TO SERVE HALL 200, CAROLINE'S ROOM, MAE'S ROOM, ELLIE'S ROOM, BATH 1 & OFFICE 201
- FLOOR GRILLES TO BE STAINED WOOD TO MATCH HARDWOOD FLOORS
- CEILING & WALL GRILLES TO BE PAINTED METAL

GENERAL FLOOR PLAN NOTES

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW PROPOSED DIMENSIONS AND ALIGNMENTS AND CONFIRM LOCATIONS AND ALIGNMENTS SHOWN CAN BE ACHIEVED. DISCREPANCIES BETWEEN PROPOSED ALIGNMENTS AND LOCATIONS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION OF THE WORK.
- AS-BUILT DIMENSIONS MUST BE FIELD-VERIFIED PRIOR TO FABRICATION OF CASEWORK, FIXTURES, FURNISHINGS AND EQUIPMENT TO CONFIRM FIT AND LOCATIONS AS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE ARCHITECT. DISCREPANCIES MUST BE BROUGHT TO THE ARCHITECTS ATTENTION PRIOR TO ORDERING OR FABRICATING.
- GRID AND GRID DIMENSIONS ARE TO FACE OF FOUNDATION, EXTERIOR FACE OF FRAMING OR AS NOTED.
- EXTERIOR DIMENSIONS ARE TO FACE OF FRAMING AND CENTERLINE OF OPENINGS OR AS NOTED.
- INTERIOR DIMENSIONS ARE TO FINISH FACE OF WALL BOARD FINISH, FINISH EDGE, FINISH OPENING, CENTERLINE OF OPENING AND CENTERLINE OF FIXTURES OR AS NOTED.
- PROVIDE ROUGH OPENINGS PER WINDOW AND DOOR MANUFACTURER RECOMMENDATIONS UNLESS NOTED OR DETAILED OTHERWISE.
- SEE ROOF PLAN FOR ROOF INFORMATION.
- SEE DOOR SCHEDULE FOR DOOR INFORMATION.
- SEE ROOM FINISH SCHEDULE FOR INTERIOR FINISH INFORMATION.
- SEE WINDOW SCHEDULE FOR WINDOW INFORMATION.

LEGEND

- EXISTING SURFACES TO REMAIN
- EXISTING ITEMS TO REMAIN (CUT IN SECTION)
- PROPOSED NEW CONSTRUCTION



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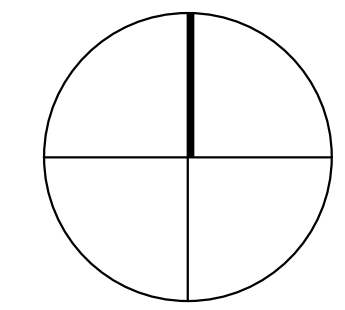
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BASEMENT FLOOR  
PLAN

A100



ROOM FINISH SCHEDULE

| NUMBER | NAME          | APPROX AREA | FLOOR              | BASE               | WALL                 | CEILING              | NOTES |
|--------|---------------|-------------|--------------------|--------------------|----------------------|----------------------|-------|
| 100    | ENTRY         | 47 SF       | TILE - TBD         | WOOD - PAINTED     | GWB - PAINTED        | GWB - PAINTED        |       |
| 101    | FOYER         | 85 SF       | EXISTING HARDWOOD  | EXISTING TO REMAIN | EXISTING - NEW PAINT | EXISTING - NEW PAINT |       |
| 102    | COAT CLOSET   | 9 SF        | EXISTING HARDWOOD  | EXISTING TO REMAIN | EXISTING TO REMAIN   | EXISTING TO REMAIN   |       |
| 103    | LIVING ROOM   | 265 SF      | EXISTING HARDWOOD  | EXISTING TO REMAIN | EXISTING - NEW PAINT | EXISTING - NEW PAINT |       |
| 104    | SUNROOM       | 189 SF      | EXISTING HARDWOOD  | EXISTING TO REMAIN | EXISTING - NEW PAINT | EXISTING - NEW PAINT |       |
| 105    | DINING ROOM   | 163 SF      | EXISTING HARDWOOD  | EXISTING TO REMAIN | EXISTING - NEW PAINT | EXISTING - NEW PAINT |       |
| 106    | FAMILY ROOM   | 328 SF      | EXISTING HARDWOOD  | EXISTING TO REMAIN | EXISTING - NEW PAINT | EXISTING - NEW PAINT |       |
| 107    | HALL          | 49 SF       | HARDWOOD           | WOOD - PAINTED     | EXISTING - NEW PAINT | EXISTING - NEW PAINT |       |
| 108    | POWDER        | 37 SF       | TILE - TBD         | WOOD - PAINTED     | GWB - PAINTED        | GWB - PAINTED        |       |
| 109    | MUDROOM       | 110 SF      | TILE - TBD         | WOOD - PAINTED     | GWB - PAINTED        | GWB - PAINTED        |       |
| 110    | KITCHEN       | 300 SF      | EXISTING HARDWOOD  | EXISTING TO REMAIN | EXISTING - NEW PAINT | EXISTING - NEW PAINT |       |
| 111    | PANTRY        | 56 SF       | EXISTING HARDWOOD  | EXISTING TO REMAIN | EXISTING - NEW PAINT | EXISTING - NEW PAINT |       |
| 112    | FAMILY DINING | 200 SF      | EXISTING HARDWOOD  | EXISTING TO REMAIN | EXISTING - NEW PAINT | EXISTING - NEW PAINT |       |
| 113    | BROOM CLOSET  | 21 SF       | HARDWOOD           | WOOD - PAINTED     | GWB - PAINTED        | GWB - PAINTED        |       |
| 114    | BACK DECK     | 203 SF      | EXISTING TO REMAIN | N/A                | N/A                  | N/A                  |       |
| 119    | MUDROOM PORCH | 42 SF       | STONE - TBD        | N/A                | N/A                  | N/A                  |       |
| 120    | FRONT STEPS   | 44 SF       | STONE - TBD        | N/A                | N/A                  | N/A                  |       |

DOOR SCHEDULE

| NUMBER | FROM ROOM     | TO ROOM      | WIDTH    | HEIGHT  | THICKNESS | NOTES           |
|--------|---------------|--------------|----------|---------|-----------|-----------------|
| 100A   | FRONT STEPS   | ENTRY        | 3' - 0"  | 7' - 0" | 2"        |                 |
| 100B   | ENTRY         | FOYER        | 1' - 6"  | 7' - 0" | 1 3/4"    | FIXED SIDELITE  |
| 100C   | FOYER         | ENTRY        | 1' - 6"  | 7' - 0" | 1 3/4"    | FIXED SIDELITE  |
| 108A   | MUDROOM       | POWDER       | 2' - 6"  | 6' - 8" | 1 3/4"    |                 |
| 109A   | MUDROOM PORCH | MUDROOM      | 2' - 10" | 7' - 0" | 1 1/2"    | DUTCH DOOR LEAF |
| 113A   | HALL          | BROOM CLOSET | 2' - 4"  | 6' - 8" | 1 3/4"    |                 |

DOOR NOTES

- SEE DOOR SCHEDULE FOR DOOR SIZES
- NEW INTERIOR DOOR LEAFS TO BE SOLID CORE WITH A LEAF STYLE TO MATCH EXISTING
- NEW INTERIOR DOOR HARDWARE TO MATCH EXISTING CRYSTAL KNOBS & BRASS HARDWARE
- NEW POCKET DOOR HARDWARE: ACCURATE LOCK & HARDWARE S161.PA.US3.238.134.SD

PLUMBING FIXTURE SCHEDULE

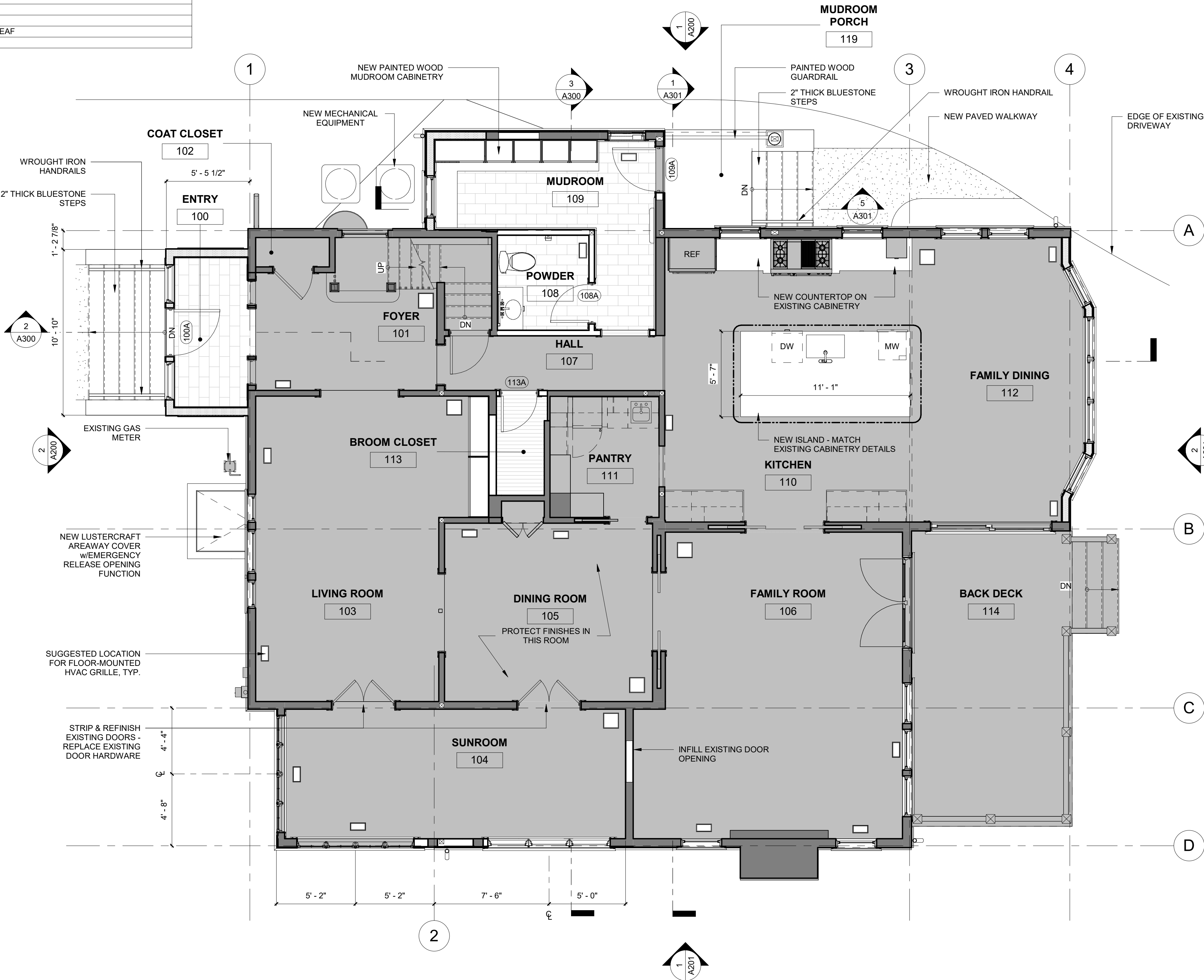
| MARK            | TYPE                       | MANUFACTURER | MODEL | NOTES |
|-----------------|----------------------------|--------------|-------|-------|
| HVAC            |                            |              |       |       |
| BOILER          |                            |              |       |       |
| KITCHEN         |                            |              |       |       |
| F3              | FAUCET                     | TBD          | TBD   |       |
| S3              | SINK                       | TBD          | TBD   |       |
| POWDER          |                            |              |       |       |
| F2              | FAUCET                     | TBD          | TBD   |       |
| T1              | TOILET                     | TBD          | TBD   |       |
| S3              | SINK                       | TBD          | TBD   |       |
| GARAGE BATHROOM |                            |              |       |       |
| SH1             | SHOWER HEAD & ARM          | TBD          | TBD   |       |
| SH2             | SHOWER CONTROL             | TBD          | TBD   |       |
| T1              | TOILET                     | TBD          | TBD   |       |
| F4              | FAUCET                     | TBD          | TBD   |       |
| S1              | UNDERMOUNT SINK            | TBD          | TBD   |       |
| BATH 1          |                            |              |       |       |
| SH2             | SHOWER CONTROL             | TBD          | TBD   |       |
| SH3             | HANDSHOWER                 | TBD          | TBD   |       |
| SH2             | SHOWER CONTROL             | TBD          | TBD   |       |
| SH1             | SHOWER HEAD & ARM          | TBD          | TBD   |       |
| SH4             | RAIN SHOWERHEAD            | TBD          | TBD   |       |
| SH1             | SHOWER HEAD & ARM          | TBD          | TBD   |       |
| BATH 2          |                            |              |       |       |
| T1              | TOILET                     | TBD          | TBD   |       |
| S3              | SINK                       | TBD          | TBD   |       |
| F4              | FAUCET                     | TBD          | TBD   |       |
| LAUNDRY         |                            |              |       |       |
| S4              | SINK                       | TBD          | TBD   |       |
| F3              | FAUCET                     | TBD          | TBD   |       |
| W1              | WASHING MACHINE CONNECTION | OATEY        | 38530 |       |
| PRIMARY BATH    |                            |              |       |       |
| F4              | FAUCET                     | TBD          | TBD   |       |
| T1              | TOILET                     | TBD          | TBD   |       |
| F4              | FAUCET                     | TBD          | TBD   |       |
| F5              | FLOOR MOUNT TUB FILLER     | TBD          | TBD   |       |
| TUB3            | FLOOR MOUNTED TUB          | TBD          | TBD   |       |
| S2              | UNDERMOUNT SINK            | TBD          | TBD   |       |
| S2              | UNDERMOUNT SINK            | TBD          | TBD   |       |

GENERAL FLOOR PLAN NOTES

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- SEE WINDOW SCHEDULE FOR WINDOW INFORMATION.

LEGEND

- EXISTING SURFACES TO REMAIN
- EXISTING ITEMS TO REMAIN (CUT IN SECTION)
- PROPOSED NEW CONSTRUCTION



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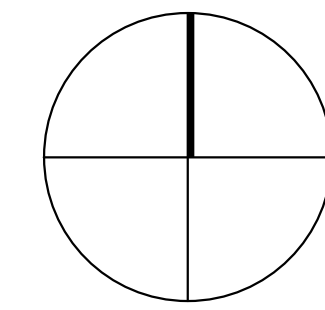
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GROUND FLOOR  
PLAN

A101



ROOM FINISH SCHEDULE

| NUMBER | NAME            | APPROX. AREA | FLOOR             | FINISH             | WALL          | CEILING       | NOTES |
|--------|-----------------|--------------|-------------------|--------------------|---------------|---------------|-------|
| 119    | MUDROOM PORCH   | 42 SF        | STONE - TBD       | N/A                | N/A           | N/A           |       |
| 200    | HALL            | 251 SF       | HARDWOOD          | WOOD - PAINTED     | GWB - PAINTED | GWB - PAINTED |       |
| 201    | OFFICE          | 86 SF        | EXISTING HARDWOOD | EXISTING TO REMAIN | GWB - PAINTED | GWB - PAINTED |       |
| 202    | ELLIE'S ROOM    | 165 SF       | HARDWOOD          | WOOD - PAINTED     | GWB - PAINTED | GWB - PAINTED |       |
| 203    | CLOSET          | 11 SF        | HARDWOOD          | WOOD - PAINTED     | GWB - PAINTED | GWB - PAINTED |       |
| 204    | BATH 1          | 33 SF        | TILE - TBD        | WOOD - PAINTED     | GWB - PAINTED | GWB - PAINTED |       |
| 205    | LINEN           | 7 SF         | HARDWOOD          | WOOD - PAINTED     | GWB - PAINTED | GWB - PAINTED |       |
| 206    | LAUNDRY         | 63 SF        | TILE - TBD        | WOOD - PAINTED     | GWB - PAINTED | GWB - PAINTED |       |
| 207    | PRIMARY HALL    | 48 SF        | HARDWOOD          | WOOD - PAINTED     | GWB - PAINTED | GWB - PAINTED |       |
| 208    | PRIMARY BATH    | 135 SF       | TILE - TBD        | WOOD - PAINTED     | GWB - PAINTED | GWB - PAINTED |       |
| 209    | DRESSING        | 127 SF       | HARDWOOD          | WOOD - PAINTED     | GWB - PAINTED | GWB - PAINTED |       |
| 210    | PRIMARY BEDROOM | 220 SF       | HARDWOOD          | WOOD - PAINTED     | GWB - PAINTED | GWB - PAINTED |       |
| 211    | BATH 2          | 81 SF        | TILE - TBD        | WOOD - PAINTED     | GWB - PAINTED | GWB - PAINTED |       |
| 212    | CAROLINE'S ROOM | 202 SF       | HARDWOOD          | WOOD - PAINTED     | GWB - PAINTED | GWB - PAINTED |       |
| 213    | CLOSET          | 11 SF        | HARDWOOD          | WOOD - PAINTED     | GWB - PAINTED | GWB - PAINTED |       |
| 214    | MAE'S ROOM      | 196 SF       | HARDWOOD          | WOOD - PAINTED     | GWB - PAINTED | GWB - PAINTED |       |
| 215    | CLOSET          | 11 SF        | HARDWOOD          | WOOD - PAINTED     | GWB - PAINTED | GWB - PAINTED |       |
| 216    | EXTERIOR DECK   | 32 SF        | N/A               | N/A                | N/A           | N/A           |       |

DOOR SCHEDULE

| NUMBER | FROM ROOM    | TO ROOM         | WIDTH   | HEIGHT  | THICKNESS | NOTES |
|--------|--------------|-----------------|---------|---------|-----------|-------|
| 201A   | HALL         | OFFICE          | 2' - 4" | 6' - 8" | 1 3/4"    |       |
| 202A   | HALL         | ELLIE'S ROOM    | 2' - 8" | 6' - 8" | 1 3/4"    |       |
| 203A   | CLOSET       | ELLIE'S ROOM    | 4' - 0" | 6' - 8" | 1 3/4"    |       |
| 204A   | OFFICE       | BATH 1          | 2' - 4" | 6' - 8" | 1 3/4"    |       |
| 204B   | ELLIE'S ROOM | BATH 1          | 2' - 4" | 6' - 8" | 1 3/4"    |       |
| 205A   | LINEN        | HALL            | 2' - 0" | 6' - 0" | 1 1/2"    |       |
| 206A   | HALL         | LAUNDRY         | 2' - 6" | 6' - 8" | 1 3/4"    |       |
| 207A   | HALL         | PRIMARY HALL    | 2' - 8" | 6' - 8" | 1 3/4"    |       |
| 208A   | PRIMARY HALL | PRIMARY BATH    | 3' - 0" | 6' - 6" | 1 1/2"    |       |
| 209A   | PRIMARY BATH | DRESSING        | 2' - 6" | 6' - 8" | 1 3/4"    |       |
| 211A   | HALL         | BATH 2          | 2' - 4" | 6' - 8" | 1 3/4"    |       |
| 211B   | BATH 2       | BATH 2          | 2' - 4" | 6' - 8" | 1 3/4"    |       |
| 212A   | HALL         | CAROLINE'S ROOM | 2' - 8" | 6' - 8" | 1 3/4"    |       |
| 213B   | CLOSET       | CAROLINE'S ROOM | 4' - 0" | 6' - 8" | 1 3/4"    |       |
| 214A   | HALL         | MAE'S ROOM      | 2' - 8" | 6' - 8" | 1 3/4"    |       |
| 215B   | CLOSET       | MAE'S ROOM      | 4' - 0" | 6' - 8" | 1 3/4"    |       |

DOOR NOTES

- SEE DOOR SCHEDULE FOR DOOR SIZES
- NEW INTERIOR DOOR LEAFS TO BE SOLID CORE WITH A LEAF STYLE TO MATCH EXISTING
- NEW INTERIOR DOOR HARDWARE TO MATCH EXISTING CRYSTAL KNOBS & BRASS HARDWARE
- NEW POCKET DOOR HARDWARE: ACCURATE LOCK & HARDWARE S161.PA.US3.238.134.SD

PLUMBING FIXTURE SCHEDULE

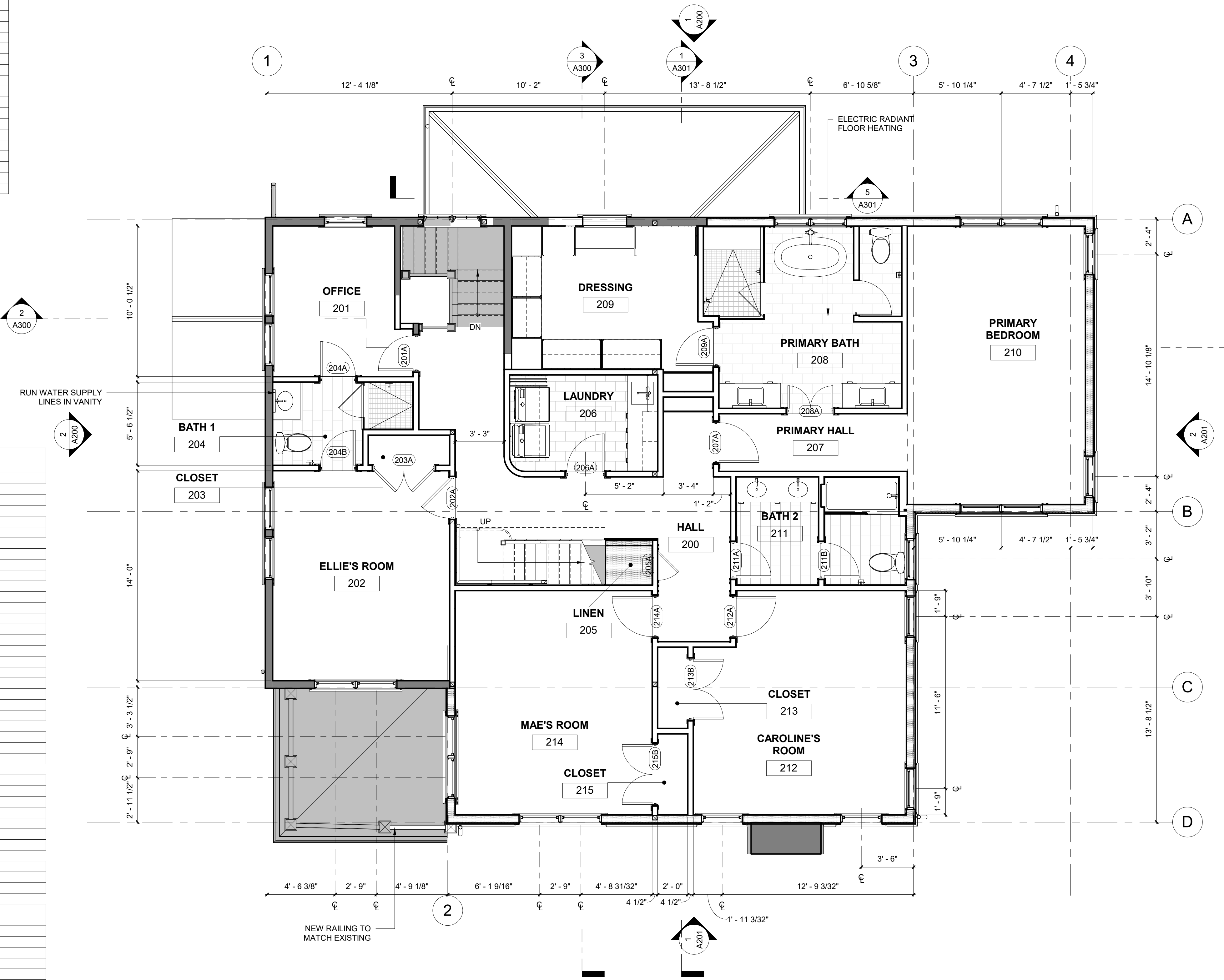
| MARK            | TYPE                       | MANUFACTURER | MODEL | NOTES |
|-----------------|----------------------------|--------------|-------|-------|
| HVAC            |                            |              |       |       |
| BOILER          |                            |              |       |       |
| KITCHEN         |                            |              |       |       |
| F3              | FAUCET                     | TBD          | TBD   |       |
| S3              | SINK                       | TBD          | TBD   |       |
| POWDER          |                            |              |       |       |
| F2              | FAUCET                     | TBD          | TBD   |       |
| T1              | TOILET                     | TBD          | TBD   |       |
| S3              | SINK                       | TBD          | TBD   |       |
| GARAGE BATHROOM |                            |              |       |       |
| SH1             | SHOWER HEAD & ARM          | TBD          | TBD   |       |
| SH2             | SHOWER CONTROL             | TBD          | TBD   |       |
| T1              | TOILET                     | TBD          | TBD   |       |
| F4              | FAUCET                     | TBD          | TBD   |       |
| S1              | UNDERMOUNT SINK            | TBD          | TBD   |       |
| BATH 1          |                            |              |       |       |
| T1              | TOILET                     | TBD          | TBD   |       |
| S3              | SINK                       | TBD          | TBD   |       |
| F4              | FAUCET                     | TBD          | TBD   |       |
| BATH 2          |                            |              |       |       |
| S3              | SINK                       | TBD          | TBD   |       |
| S3              | SINK                       | TBD          | TBD   |       |
| TUB1            | BATH TUB                   | TBD          | TBD   |       |
| T1              | TOILET                     | TBD          | TBD   |       |
| F4              | FAUCET                     | TBD          | TBD   |       |
| F4              | FAUCET                     | TBD          | TBD   |       |
| TF1             | BATH/SHOWER FIXTURES       | TBD          | TBD   |       |
| LAUNDRY         |                            |              |       |       |
| S4              | SINK                       | TBD          | TBD   |       |
| F3              | FAUCET                     | TBD          | TBD   |       |
| W1              | WASHING MACHINE CONNECTION | OATEY        | 38530 |       |
| PRIMARY BATH    |                            |              |       |       |
| F4              | FAUCET                     | TBD          | TBD   |       |
| T1              | TOILET                     | TBD          | TBD   |       |
| F4              | FAUCET                     | TBD          | TBD   |       |
| F5              | FLOOR MOUNT TUB FILLER     | TBD          | TBD   |       |
| TUB3            | FLOOR MOUNTED TUB          | TBD          | TBD   |       |
| S2              | UNDERMOUNT SINK            | TBD          | TBD   |       |
| S2              | UNDERMOUNT SINK            | TBD          | TBD   |       |

GENERAL FLOOR PLAN NOTES

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW PROPOSED DIMENSIONS AND ALIGNMENTS AND CONFIRM LOCATIONS AND ALIGNMENTS SHOWN CAN BE ACHIEVED. DISCREPANCIES BETWEEN PROPOSED ALIGNMENTS AND LOCATIONS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION OF THE WORK.
- AS-BUILT DIMENSIONS MUST BE FIELD VERIFIED PRIOR TO FABRICATION OF CASEWORK, FIXTURES, FURNISHINGS AND EQUIPMENT TO CONFIRM FIT AND LOCATIONS AS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE ARCHITECT. DISCREPANCIES MUST BE BROUGHT TO THE ARCHITECTS ATTENTION PRIOR TO ORDERING OR FABRICATING.
- GRID AND GRID DIMENSIONS ARE TO FACE OF FOUNDATION, EXTERIOR FACE OF FRAMING OR AS NOTED.
- EXTERIOR DIMENSIONS ARE TO FACE OF FRAMING AND CENTERLINE OF OPENINGS OR AS NOTED.
- INTERIOR DIMENSIONS ARE TO FINISH FACE OF WALL BOARD FINISH, FINISH EDGE, FINISH OPENING, CENTERLINE OF OPENING AND CENTERLINE OF FIXTURES OR AS NOTED.
- PROVIDE ROUGH OPENINGS PER WINDOW AND DOOR MANUFACTURER RECOMMENDATIONS UNLESS NOTED OR DETAILED OTHERWISE.
- SEE ROOF PLAN FOR ROOF INFORMATION.
- SEE DOOR SCHEDULE FOR DOOR INFORMATION.
- SEE ROOM FINISH SCHEDULE FOR INTERIOR FINISH INFORMATION.
- SEE WINDOW SCHEDULE FOR WINDOW INFORMATION.

LEGEND

- EXISTING SURFACES TO REMAIN
- EXISTING ITEMS TO REMAIN (CUT IN SECTION)
- PROPOSED NEW CONSTRUCTION



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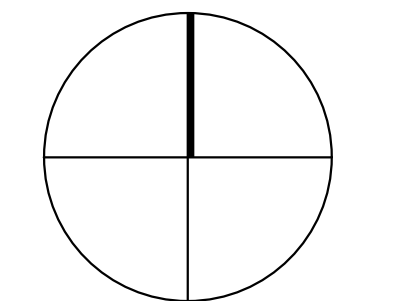
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Urquhart Residence

76 Fair Oaks Park, Needham, MA 02492

NO: 2402



ISSUANCE:  
CONSTRUCTION  
DATE: 01/12/2025  
REV DESCRIPTION DATE

SECOND FLOOR  
PLAN

A102



ROOM FINISH SCHEDULE

| NUMBER | NAME          | APPROX. AREA | FLOOR    | BASE           | FINISH WALL                    | CEILING                        | NOTES |
|--------|---------------|--------------|----------|----------------|--------------------------------|--------------------------------|-------|
| 014    | ATTIC STAIR   | 60 SF        |          |                |                                |                                |       |
| 300    | ATTIC OFFICE  | 1153 SF      | HARDWOOD | WOOD - PAINTED | GWB - PAINTED                  | GWB - PAINTED                  |       |
| 301    | STORAGE       | 61 SF        | PLYWOOD  | WOOD - PAINTED | GWB - PAINTED                  | GWB - PAINTED                  |       |
| 302    | ATTIC HVAC    | 95 SF        | PLYWOOD  | N/A            | INSULATION w/INTUMESCENT PAINT | INSULATION w/INTUMESCENT PAINT |       |
| 303    | EXERCISE ROOM | 299 SF       | HARDWOOD | WOOD - PAINTED | GWB - PAINTED                  | GWB - PAINTED                  |       |

DOOR SCHEDULE

| NUMBER | FROM ROOM    | TO ROOM       | WIDTH   | HEIGHT  | THICKNESS | NOTES           |
|--------|--------------|---------------|---------|---------|-----------|-----------------|
| 300A   | ATTIC STAIR  | ATTIC OFFICE  | 2' - 6" | 6' - 6" | 1 3/4"    | FULL GLASS LITE |
| 301A   | STORAGE      | EXERCISE ROOM | 2' - 8" | 5' - 8" | 1 3/4"    |                 |
| 301B   | ATTIC HVAC   | STORAGE       | 2' - 8" | 3' - 0" | 1 3/4"    |                 |
| 303A   | ATTIC OFFICE | EXERCISE ROOM | 2' - 6" | 6' - 6" | 1 3/4"    | FULL GLASS LITE |
| 303B   | ATTIC OFFICE | EXERCISE ROOM | 2' - 8" | 3' - 0" | 1 3/4"    |                 |

DOOR NOTES

- SEE DOOR SCHEDULE FOR DOOR SIZES
- NEW INTERIOR DOOR LEAFS TO BE SOLID CORE WITH A LEAF STYLE TO MATCH EXISTING
- NEW INTERIOR DOOR HARDWARE TO MATCH EXISTING CRYSTAL KNOBS & BRASS HARDWARE
- NEW POCKET DOOR HARDWARE: ACCURATE LOCK & HARDWARE S161.PA.US3.238.134.SD

GENERAL FLOOR PLAN NOTES

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW PROPOSED DIMENSIONS AND ALIGNMENTS AND CONFIRM LOCATIONS AND ALIGNMENTS SHOWN CAN BE ACHIEVED. DISCREPANCIES BETWEEN PROPOSED ALIGNMENTS AND LOCATIONS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION OF THE WORK.
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- GRID AND GRID DIMENSIONS ARE TO FACE OF FOUNDATION, EXTERIOR FACE OF FRAMING OR AS NOTED.
- EXTERIOR DIMENSIONS ARE TO FACE OF FRAMING AND CENTERLINE OF OPENINGS OR AS NOTED.
- INTERIOR DIMENSIONS ARE TO FINISH FACE OF WALL BOARD FINISH, FINISH EDGE, FINISH OPENING, CENTERLINE OF OPENING AND CENTERLINE OF FIXTURES OR AS NOTED.
- PROVIDE ROUGH OPENINGS PER WINDOW AND DOOR MANUFACTURER RECOMMENDATIONS UNLESS NOTED OR DETAILED OTHERWISE.
- SEE ROOF PLAN FOR ROOF INFORMATION.
- SEE DOOR SCHEDULE FOR DOOR INFORMATION.
- SEE ROOM FINISH SCHEDULE FOR INTERIOR FINISH INFORMATION.
- SEE WINDOW SCHEDULE FOR WINDOW INFORMATION.

LEGEND

- EXISTING SURFACES TO REMAIN
- EXISTING ITEMS TO REMAIN (CUT IN SECTION)
- PROPOSED NEW CONSTRUCTION



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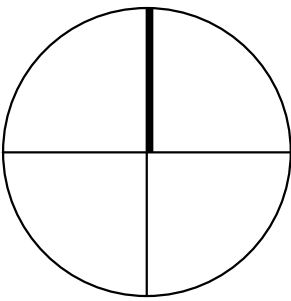
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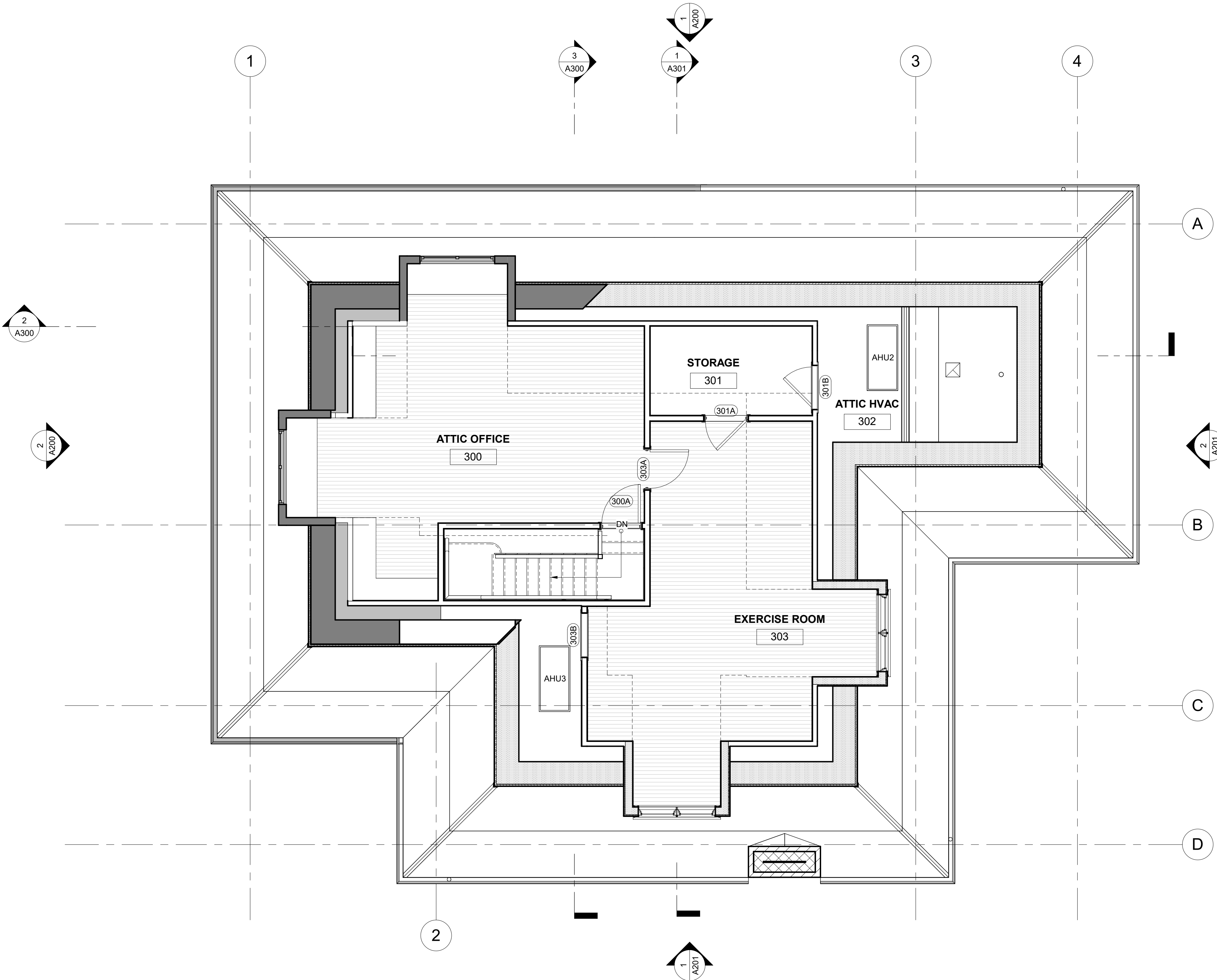
CONSTRUCTION

DATE: 01/12/2025

| REV | DESCRIPTION | DATE |
|-----|-------------|------|
|-----|-------------|------|

ATTIC FLOOR PLAN

A103





01/13/25 09:32:21

GENERAL FLOOR PLAN NOTES

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW PROPOSED DIMENSIONS AND ALIGNMENTS AND CONFIRM LOCATIONS AND ALIGNMENTS SHOWN CAN BE ACHIEVED. DISCREPANCIES BETWEEN PROPOSED ALIGNMENTS AND LOCATIONS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION OF THE WORK.
2. AS-BUILT DIMENSIONS MUST BE FIELD VERIFIED PRIOR TO FABRICATION OF CASEWORK, FIXTURES, FURNISHINGS AND EQUIPMENT TO CONFIRM FIT AND LOCATIONS AS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE ARCHITECT. DISCREPANCIES MUST BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO ORDERING OR FABRICATING.
3. GRID AND GRID DIMENSIONS ARE TO FACE OF FOUNDATION, EXTERIOR FACE OF FRAMING OR AS NOTED.
4. EXTERIOR DIMENSIONS ARE TO FACE OF FRAMING AND CENTERLINE OF OPENINGS OR AS NOTED.
5. INTERIOR DIMENSIONS ARE TO FINISH FACE OF WALL, BOARD FINISH, FINISH EDGE, FINISH OPENING, CENTERLINE OF OPENING AND CENTERLINE OF FIXTURES OR AS NOTED.
6. PROVIDE ROUGH OPENINGS PER WINDOW AND DOOR MANUFACTURER RECOMMENDATIONS UNLESS NOTED OR DETAILED OTHERWISE.
7. SEE ROOF PLAN FOR ROOF INFORMATION.
8. SEE DOOR SCHEDULE FOR DOOR INFORMATION.
9. SEE ROOM FINISH SCHEDULE FOR INTERIOR FINISH INFORMATION.
10. SEE WINDOW SCHEDULE FOR WINDOW INFORMATION.

LEGEND

- EXISTING SURFACES TO REMAIN
- EXISTING ITEMS TO REMAIN (CLUT IN SECTION)
- PROPOSED NEW CONSTRUCTION

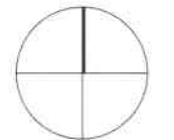


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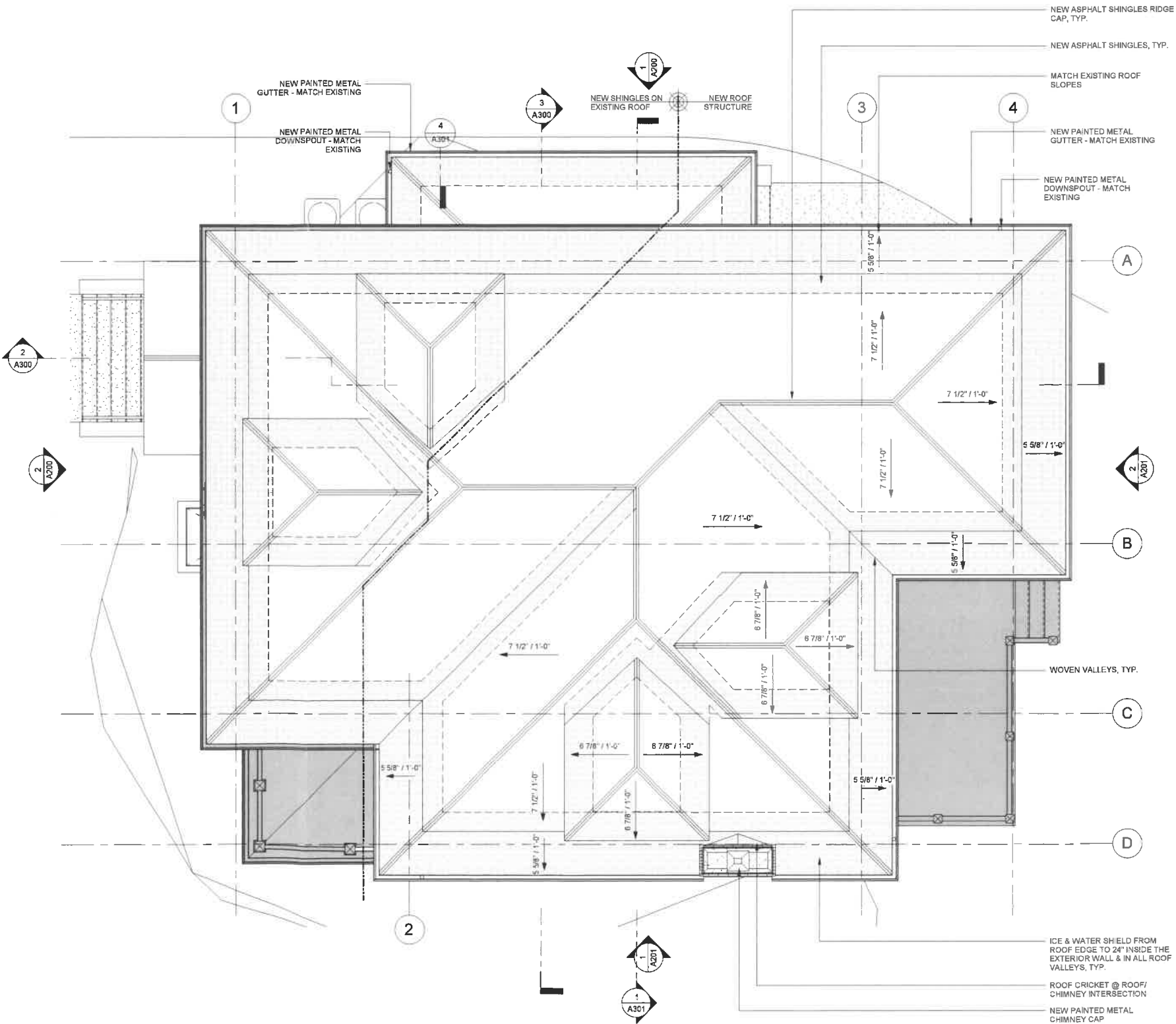
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ROOF PLAN

A104



WINDOW SCHEDULE

| MARK | FRAME WIDTH | FRAME HEIGHT | TYPE                | MANUFACTURER | MODEL | EGRESS | NOTES                                                 |
|------|-------------|--------------|---------------------|--------------|-------|--------|-------------------------------------------------------|
| 001  | 2'-10"      | 1'-10"       | AWNING              | PELLA        | TBD   | NO     | NEW DOOR IN EXISTING OPENING - VERIFY SIZE IN FIELD   |
| 002  | 2'-5"       | 3'-11"       | CASEMENT            | PELLA        | 2947  | YES    |                                                       |
| 101  | 2'-8"       | 5'-4"        | DOUBLE HUNG         | PELLA        | TBD   | N/A    | NEW WINDOW IN EXISTING OPENING - VERIFY SIZE IN FIELD |
| 102  | 2'-8"       | 5'-4"        | DOUBLE HUNG         | PELLA        | TBD   | N/A    | NEW WINDOW IN EXISTING OPENING - VERIFY SIZE IN FIELD |
| 103  | 2'-8"       | 3'-4"        | CASEMENT            | ANDERSEN     | TBD   | NO     | REPLACE SASH IN EXISTING FRAME                        |
| 104  | 2'-8"       | 3'-4"        | CASEMENT            | ANDERSEN     | TBD   | NO     | REPLACE SASH IN EXISTING FRAME                        |
| 105  | 2'-5 1/2"   | 3'-7 1/2"    | FIXED OVAL WINDOW   | PELLA        | TBD   | N/A    |                                                       |
| 106  | 2'-9"       | 5'-5"        | DOUBLE HUNG         | PELLA        | 3365  | YES    |                                                       |
| 107  | 2'-6"       | 3'-11 1/8"   | FIXED CASEMENT      | PELLA        | 3048  | N/A    |                                                       |
| 108  | 2'-6"       | 3'-11 1/8"   | FIXED CASEMENT      | PELLA        | 3048  | N/A    |                                                       |
| 109  | 1'-10"      | 4'-8"        | DOUBLE HUNG         | PELLA        | TBD   | VIF    | NEW WINDOW IN EXISTING OPENING - VERIFY SIZE IN FIELD |
| 110  | 2'-10"      | 4'-8"        | DOUBLE HUNG         | PELLA        | TBD   | VIF    | NEW WINDOW IN EXISTING OPENING - VERIFY SIZE IN FIELD |
| 111  | 1'-10"      | 4'-8"        | DOUBLE HUNG         | PELLA        | TBD   | VIF    | NEW WINDOW IN EXISTING OPENING - VERIFY SIZE IN FIELD |
| 112  | 3'-10"      | 5'-5"        | CASEMENT            | PELLA        | 2365  | NO     |                                                       |
| 113  | 3'-10"      | 5'-5"        | CASEMENT            | PELLA        | 2365  | NO     |                                                       |
| 114  | 3'-10"      | 5'-5"        | CASEMENT            | PELLA        | 2365  | NO     |                                                       |
| 115  | 3'-10"      | 5'-5"        | CASEMENT            | PELLA        | 2365  | NO     |                                                       |
| 116  | 2'-8"       | 4'-5"        | CASEMENT            | PELLA        | 3253  | YES    | SIMULATED CHECK RAIL                                  |
| 117  | 2'-8"       | 4'-5"        | CASEMENT            | PELLA        | 3253  | YES    | SIMULATED CHECK RAIL                                  |
| 118  | 2'-8"       | 4'-5"        | CASEMENT            | PELLA        | 3253  | YES    | SIMULATED CHECK RAIL                                  |
| 119  | 2'-8"       | 5'-4"        | DOUBLE HUNG         | PELLA        | TBD   | N/A    | NEW WINDOW IN EXISTING OPENING - VERIFY SIZE IN FIELD |
| 120  | 2'-8"       | 5'-4"        | DOUBLE HUNG         | PELLA        | TBD   | N/A    | NEW WINDOW IN EXISTING OPENING - VERIFY SIZE IN FIELD |
| 121  | 2'-8"       | 5'-4"        | DOUBLE HUNG         | PELLA        | TBD   | N/A    | NEW WINDOW IN EXISTING OPENING - VERIFY SIZE IN FIELD |
| 122  | 2'-8"       | 5'-4"        | DOUBLE HUNG         | PELLA        | TBD   | N/A    | NEW WINDOW IN EXISTING OPENING - VERIFY SIZE IN FIELD |
| 123  | 2'-8"       | 5'-4"        | DOUBLE HUNG         | PELLA        | TBD   | N/A    | NEW WINDOW IN EXISTING OPENING - VERIFY SIZE IN FIELD |
| 124  | 5'-11 1/4"  | 6'-10 3/8"   | INSWING FRENCH DOOR | PELLA        | TBD   | YES    | NEW DOOR IN EXISTING OPENING - VERIFY SIZE IN FIELD   |
| 125  | 7'-11 1/4"  | 6'-9 1/2"    | SLIDING DOOR        | PELLA        | 9882  | YES    | NEW DOOR IN EXISTING OPENING - VERIFY SIZE IN FIELD   |
| 126  | 2'-9"       | 5'-5"        | DOUBLE HUNG         | PELLA        | 3365  | YES    |                                                       |
| 127  | 2'-9"       | 5'-5"        | DOUBLE HUNG         | PELLA        | 3365  | YES    |                                                       |
| 128  | 2'-9"       | 5'-5"        | DOUBLE HUNG         | PELLA        | 3365  | YES    |                                                       |
| 129  | 2'-9"       | 5'-5"        | DOUBLE HUNG         | PELLA        | 3365  | YES    |                                                       |
| 130  | 2'-9"       | 5'-5"        | DOUBLE HUNG         | PELLA        | 3365  | YES    |                                                       |
| 200  | 2'-9"       | 4'-11"       | DOUBLE HUNG         | PELLA        | 3359  | YES    |                                                       |
| 201  | 2'-9"       | 4'-11"       | DOUBLE HUNG         | PELLA        | 3359  | YES    |                                                       |
| 202  | 2'-5"       | 4'-5"        | DOUBLE HUNG         | PELLA        | TBD   | NO     |                                                       |
| 203  | 2'-5"       | 4'-5"        | DOUBLE HUNG         | PELLA        | TBD   | NO     |                                                       |
| 204  | 2'-11"      | 2'-8"        | AWNING              | PELLA        | 3529  | NO     |                                                       |
| 205  | 3'-10"      | 4'-5"        | CASEMENT            | PELLA        | 2553  | NO     |                                                       |
| 206  | 2'-10"      | 4'-4"        | DOUBLE HUNG         | PELLA        | TBD   | VIF    | NEW WINDOW IN EXISTING OPENING - VERIFY SIZE IN FIELD |
| 207  | 2'-10"      | 4'-4"        | DOUBLE HUNG         | PELLA        | TBD   | VIF    | NEW WINDOW IN EXISTING OPENING - VERIFY SIZE IN FIELD |
| 208  | 2'-10"      | 4'-4"        | DOUBLE HUNG         | PELLA        | TBD   | VIF    | NEW WINDOW IN EXISTING OPENING - VERIFY SIZE IN FIELD |
| 209  | 2'-10"      | 4'-4"        | DOUBLE HUNG         | PELLA        | TBD   | VIF    | NEW WINDOW IN EXISTING OPENING - VERIFY SIZE IN FIELD |
| 210  | 2'-10"      | 4'-4"        | DOUBLE HUNG         | PELLA        | TBD   | VIF    | NEW WINDOW IN EXISTING OPENING - VERIFY SIZE IN FIELD |
| 211  | 2'-9"       | 4'-11"       | DOUBLE HUNG         | PELLA        | 3359  | YES    |                                                       |
| 212  | 2'-9"       | 4'-11"       | DOUBLE HUNG         | PELLA        | 3359  | YES    |                                                       |
| 213  | 2'-9"       | 4'-11"       | DOUBLE HUNG         | PELLA        | 3359  | YES    |                                                       |
| 214  | 2'-9"       | 4'-11"       | DOUBLE HUNG         | PELLA        | 3359  | YES    |                                                       |
| 215  | 2'-9"       | 4'-11"       | DOUBLE HUNG         | PELLA        | 3359  | YES    |                                                       |
| 216  | 2'-9"       | 4'-11"       | DOUBLE HUNG         | PELLA        | 3359  | YES    |                                                       |
| 217  | 2'-9"       | 4'-11"       | DOUBLE HUNG         | PELLA        | 3359  | YES    |                                                       |
| 218  | 2'-9"       | 4'-11"       | DOUBLE HUNG         | PELLA        | 3359  | YES    |                                                       |
| 219  | 2'-9"       | 4'-11"       | DOUBLE HUNG         | PELLA        | 3359  | YES    |                                                       |
| 220  | 2'-9"       | 4'-11"       | DOUBLE HUNG         | PELLA        | 3359  | YES    |                                                       |
| 221  | 2'-9"       | 4'-5"        | DOUBLE HUNG         | PELLA        | 3359  | YES    |                                                       |
| 222  | 2'-9"       | 4'-5"        | DOUBLE HUNG         | PELLA        | 3359  | YES    |                                                       |
| 223  | 2'-9"       | 4'-11"       | DOUBLE HUNG         | PELLA        | 3359  | YES    |                                                       |
| 224  | 2'-9"       | 4'-11"       | DOUBLE HUNG         | PELLA        | 3359  | YES    |                                                       |
| 225  | 2'-9"       | 4'-11"       | DOUBLE HUNG         | PELLA        | 3359  | YES    |                                                       |
| 300  | 2'-6"       | 3'-3 1/8"    | CASEMENT            | PELLA        | 3040  | YES    | SIMULATED CHECK RAIL                                  |
| 301  | 2'-6"       | 3'-3 1/8"    | CASEMENT            | PELLA        | 3040  | YES    | SIMULATED CHECK RAIL                                  |
| 302  | 2'-6"       | 3'-3 1/8"    | CASEMENT            | PELLA        | 3040  | YES    | SIMULATED CHECK RAIL                                  |
| 303  | 2'-6"       | 3'-3 1/8"    | CASEMENT            | PELLA        | 3040  | YES    | SIMULATED CHECK RAIL                                  |

WINDOW NOTES

1. SEE EXTERIOR ELEVATIONS & WINDOW SCHEDULE FOR WINDOW TYPES, SIZES & DIVIDED LITE PATTERNS

CASEMENT, DOUBLE HUNG & FIXED WINDOW SPECIFICATIONS

- GLASS: CLEAR, INSULATING LOW-E II WITH ARGON GAS, INTEGRAL LITE TECHNOLOGY
- USE TEMPERED GLASS WHERE REQUIRED BY CODE
- EXTERIOR FINISH: ALUMINUM CLAD, WHITE
- INTERIOR FINISH: FACTORY PRIMED PINE - FIELD PAINTED
- EXTERIOR MUNTIN PROFILE: PUTTY GLAZED
- INTERIOR MUNTIN PROFILE: OGEE
- CASEMENT HARDWARE: FOLDING, FINISH: SATIN NICKEL
- DOUBLE HUNG HARDWARE: SPOON LATCH, FINISH: SATIN NICKEL
- INSET SCREENS: WIND VIEW FULL SCREEN WITH WHITE ALUMINUM FRAME
- GASKETS & WEATHERSTRIPPING: BLACK
- JAMB EXTENSIONS WHERE NECESSARY

LEGEND

- EXISTING SURFACES TO REMAIN
- PROPOSED NEW CONSTRUCTION



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Urquhart Residence

76 Fair Oaks Park, Needham, MA 02492

NO: 2402

ISSUANCE:

CONSTRUCTION

DATE: 01/12/2025

REV DESCRIPTION DATE

EXTERIOR  
ELEVATIONS

A200



| MARK | FRAME WIDTH | FRAME HEIGHT | TYPE                | MANUFACTURER | MODEL | EGRESS | NOTES                                                 |
|------|-------------|--------------|---------------------|--------------|-------|--------|-------------------------------------------------------|
| 001  | 2'-10"      | 1'-10"       | AWNING              | PELLA        | TBD   | NO     | NEW DOOR IN EXISTING OPENING - VERIFY SIZE IN FIELD   |
| 002  | 2'-5"       | 3'-11"       | CASEMENT            | PELLA        | 2847  | YES    |                                                       |
| 101  | 2'-8"       | 5'-4"        | DOUBLE HUNG         | PELLA        | TBD   | N/A    | NEW WINDOW IN EXISTING OPENING - VERIFY SIZE IN FIELD |
| 102  | 2'-8"       | 5'-4"        | DOUBLE HUNG         | PELLA        | TBD   | N/A    | NEW WINDOW IN EXISTING OPENING - VERIFY SIZE IN FIELD |
| 103  | 2'-8"       | 3'-4"        | CASEMENT            | ANDERSEN     | TBD   | NO     | REPLACE SASH IN EXISTING FRAME                        |
| 104  | 2'-8"       | 3'-4"        | CASEMENT            | ANDERSEN     | TBD   | NO     | REPLACE SASH IN EXISTING FRAME                        |
| 105  | 2'-5 1/2"   | 3'-7 1/2"    | FIXED OVAL WINDOW   | PELLA        | TBD   | N/A    |                                                       |
| 106  | 2'-9"       | 5'-5"        | DOUBLE HUNG         | PELLA        | 3348  | YES    |                                                       |
| 107  | 2'-6"       | 3'-11 1/8"   | FIXED CASEMENT      | PELLA        | 3045  | N/A    |                                                       |
| 108  | 2'-6"       | 3'-11 1/8"   | FIXED CASEMENT      | PELLA        | 3048  | N/A    |                                                       |
| 109  | 1'-10"      | 4'-8"        | DOUBLE HUNG         | PELLA        | TBD   | VIF    | NEW WINDOW IN EXISTING OPENING - VERIFY SIZE IN FIELD |
| 110  | 2'-10"      | 4'-8"        | DOUBLE HUNG         | PELLA        | TBD   | VIF    | NEW WINDOW IN EXISTING OPENING - VERIFY SIZE IN FIELD |
| 111  | 1'-10"      | 4'-8"        | DOUBLE HUNG         | PELLA        | TBD   | VIF    | NEW WINDOW IN EXISTING OPENING - VERIFY SIZE IN FIELD |
| 112  | 3'-10"      | 5'-5"        | CASEMENT            | PELLA        | 2365  | NO     |                                                       |
| 113  | 3'-10"      | 5'-5"        | CASEMENT            | PELLA        | 2365  | NO     |                                                       |
| 114  | 3'-10"      | 5'-5"        | CASEMENT            | PELLA        | 2365  | NO     |                                                       |
| 115  | 3'-10"      | 5'-5"        | CASEMENT            | PELLA        | 2365  | NO     |                                                       |
| 116  | 2'-8"       | 4'-5"        | CASEMENT            | PELLA        | 3253  | YES    | SIMULATED CHECK RAIL                                  |
| 117  | 2'-8"       | 4'-5"        | CASEMENT            | PELLA        | 3253  | YES    | SIMULATED CHECK RAIL                                  |
| 118  | 2'-8"       | 4'-5"        | CASEMENT            | PELLA        | 3253  | YES    | SIMULATED CHECK RAIL                                  |
| 119  | 2'-8"       | 5'-4"        | DOUBLE HUNG         | PELLA        | TBD   | N/A    | NEW WINDOW IN EXISTING OPENING - VERIFY SIZE IN FIELD |
| 120  | 2'-8"       | 5'-4"        | DOUBLE HUNG         | PELLA        | TBD   | N/A    | NEW WINDOW IN EXISTING OPENING - VERIFY SIZE IN FIELD |
| 121  | 2'-8"       | 5'-4"        | DOUBLE HUNG         | PELLA        | TBD   | N/A    | NEW WINDOW IN EXISTING OPENING - VERIFY SIZE IN FIELD |
| 122  | 2'-8"       | 5'-4"        | DOUBLE HUNG         | PELLA        | TBD   | N/A    | NEW WINDOW IN EXISTING OPENING - VERIFY SIZE IN FIELD |
| 123  | 2'-8"       | 5'-4"        | DOUBLE HUNG         | PELLA        | TBD   | N/A    | NEW WINDOW IN EXISTING OPENING - VERIFY SIZE IN FIELD |
| 124  | 5'-11 1/4"  | 6'-10 3/8"   | INSWING FRENCH DOOR | PELLA        | TBD   | YES    | NEW DOOR IN EXISTING OPENING - VERIFY SIZE IN FIELD   |
| 125  | 7'-11 1/4"  | 6'-9 1/2"    | SLIDING DOOR        | PELLA        | 6682  | YES    | NEW DOOR IN EXISTING OPENING - VERIFY SIZE IN FIELD   |
| 126  | 2'-9"       | 5'-5"        | DOUBLE HUNG         | PELLA        | 3365  | YES    |                                                       |
| 127  | 2'-9"       | 5'-5"        | DOUBLE HUNG         | PELLA        | 3365  | YES    |                                                       |
| 128  | 2'-9"       | 5'-5"        | DOUBLE HUNG         | PELLA        | 3365  | YES    |                                                       |
| 129  | 2'-9"       | 5'-5"        | DOUBLE HUNG         | PELLA        | 3365  | YES    |                                                       |
| 130  | 2'-9"       | 5'-5"        | DOUBLE HUNG         | PELLA        | 3365  | YES    |                                                       |
| 200  | 2'-9"       | 4'-11"       | DOUBLE HUNG         | PELLA        | 3359  | YES    |                                                       |
| 201  | 2'-9"       | 4'-11"       | DOUBLE HUNG         | PELLA        | 3359  | YES    |                                                       |
| 202  | 2'-9"       | 4'-8"        | DOUBLE HUNG         | PELLA        | TBD   | NO     |                                                       |
| 203  | 2'-9"       | 4'-8"        | DOUBLE HUNG         | PELLA        | TBD   | NO     |                                                       |
| 204  | 2'-11"      | 2'-5"        | AWNING              | PELLA        | 3529  | NO     |                                                       |
| 205  | 3'-10"      | 4'-5"        | CASEMENT            | PELLA        | 2353  | NO     |                                                       |
| 206  | 2'-10"      | 4'-4"        | DOUBLE HUNG         | PELLA        | TBD   | VIF    | NEW WINDOW IN EXISTING OPENING - VERIFY SIZE IN FIELD |
| 207  | 2'-10"      | 4'-4"        | DOUBLE HUNG         | PELLA        | TBD   | VIF    | NEW WINDOW IN EXISTING OPENING - VERIFY SIZE IN FIELD |
| 208  | 2'-10"      | 4'-4"        | DOUBLE HUNG         | PELLA        | TBD   | VIF    | NEW WINDOW IN EXISTING OPENING - VERIFY SIZE IN FIELD |
| 209  | 2'-10"      | 4'-4"        | DOUBLE HUNG         | PELLA        | TBD   | VIF    | NEW WINDOW IN EXISTING OPENING - VERIFY SIZE IN FIELD |
| 210  | 2'-10"      | 4'-4"        | DOUBLE HUNG         | PELLA        | TBD   | VIF    | NEW WINDOW IN EXISTING OPENING - VERIFY SIZE IN FIELD |
| 211  | 2'-9"       | 4'-11"       | DOUBLE HUNG         | PELLA        | 3359  | YES    |                                                       |
| 212  | 2'-9"       | 4'-11"       | DOUBLE HUNG         | PELLA        | 3359  | YES    |                                                       |
| 213  | 2'-9"       | 4'-11"       | DOUBLE HUNG         | PELLA        | 3359  | YES    |                                                       |
| 214  | 2'-9"       | 4'-11"       | DOUBLE HUNG         | PELLA        | 3359  | YES    |                                                       |
| 215  | 2'-9"       | 4'-11"       | DOUBLE HUNG         | PELLA        | 3359  | YES    |                                                       |
| 216  | 2'-9"       | 4'-11"       | DOUBLE HUNG         | PELLA        | 3359  | YES    |                                                       |
| 217  | 2'-9"       | 4'-11"       | DOUBLE HUNG         | PELLA        | 3359  | YES    |                                                       |
| 218  | 2'-9"       | 4'-11"       | DOUBLE HUNG         | PELLA        | 3359  | YES    |                                                       |
| 219  | 2'-9"       | 4'-11"       | DOUBLE HUNG         | PELLA        | 3359  | YES    |                                                       |
| 220  | 2'-9"       | 4'-11"       | DOUBLE HUNG         | PELLA        | 3359  | YES    |                                                       |
| 221  | 2'-9"       | 4'-5"        | DOUBLE HUNG         | PELLA        | 3359  | YES    |                                                       |
| 222  | 2'-9"       | 4'-11"       | DOUBLE HUNG         | PELLA        | 3359  | YES    |                                                       |
| 223  | 2'-9"       | 4'-11"       | DOUBLE HUNG         | PELLA        | 3359  | YES    |                                                       |
| 224  | 2'-9"       | 4'-11"       | DOUBLE HUNG         | PELLA        | 3359  | YES    |                                                       |
| 225  | 2'-9"       | 4'-11"       | DOUBLE HUNG         | PELLA        | 3359  | YES    |                                                       |
| 30   |             |              |                     |              |       |        |                                                       |

1. SEE EXTERIOR ELEVATIONS & WINDOW SCHEDULE FOR WINDOW TYPES, SIZES & DIVIDED LITE PATTERNS

CASEMENT, DOUBLE HUNG & FIXED WINDOW SPECIFICATIONS

- \* GLASS: CLEAR, INSULATING LOW-E II WITH ARGON GAS, INTEGRAL LITE TECHNOLOGY
- \* USE TEMPERED GLASS WHERE REQUIRED BY CODE
- \* EXTERIOR FINISH: ALUMINUM CLAD, WHITE
- \* INTERIOR FINISH: FACTORY PRIMED PINE - FIELD PAINTED
- \* EXTERIOR MUNTIN PROFILE: PUTTY GLAZED
- \* INTERIOR MUNTIN PROFILE: OGEE
- \* CASEMENT HARDWARE: FOLDING, FINISH: SATIN NICKEL
- \* DOUBLE HUNG HARDWARE: SPOON LATCH, FINISH: SATIN NICKEL
- \* INSET SCREENS: VIEW VENT FULL SCREEN WITH WHITE ALUMINUM FRAME
- \* GASKETS & WEATHERSTRIPPING: BLACK
- \* JAMB EXTENSIONS WHERE NECESSARY



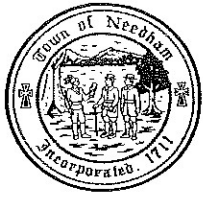
76 Fair Oaks Park, Needham, MA 02492

NO: 2402

## EXTERIOR LEVATIONS

# A201





**TOWN OF NEEDHAM, MASSACHUSETTS  
PUBLIC WORKS DEPARTMENT  
500 Dedham Avenue, Needham, MA 02492  
Telephone (781) 455-7550 FAX (781) 449-9023**

March 11, 2025

Needham Zoning Board of Appeals  
Needham Public Safety Administration Building  
Needham, MA 02492

RE: Case Review-Special Permit  
76 Fair Oaks Park- Special Permit

Dear Members of the Board,

The Department of Public Works has completed its review of the above referenced Special Permit for the proposed 2 story addition to the existing single-family home.

The documents submitted for review are as follows:

- Cover Letter by George Giunta Jr. Dated 2/24/25
- Application for Special Permit dated 02/14/25
- Memorandum for Support Dated 2/24/25
- Exhibit Assessors Information
- Exhibit B Building Permit Plot Plan Date 11/19/92
- Exhibit C Building Permit Plot Plan Date 1/2/98
- Exhibit D Cert. of Vote Date 3/3/23
- Architectural Plans by Hinderspace Architecture dated 05/11/22 consisting of 12 sheets.
- Existing Condition Plot Plan prepared by Chistopher Charton dated 12/18/24

Our comments and recommendations are as follows:

- It is recommended the proposed new structure includes a minimum combined volumetric capacity of 1 inch over the entire impervious area of the addition to being recharged. The plans could be revised, prior to receiving a building permit, showing the calculations that the infiltration system is sized to contain a minimum of 1-inch of the total impervious area of the addition for infiltration.

If you have any questions regarding the above, please contact our office at 781-455-7538.

Truly yours,

Thomas A Ryder  
Town Engineer

## Daphne Collins

---

**From:** Tom Conroy  
**Sent:** Wednesday, March 5, 2025 10:41 AM  
**To:** Daphne Collins  
**Subject:** RE: 76 Fair Oaks Park - ZBA Administrative Review - Due March 11, 2025.

Hi Daphne,  
No issues with the Fire Dept.  
Thanks,  
Tom



*Thomas M. Conroy*

Fire Chief - Needham Fire Department

[tconroy@needhamma.gov](mailto:tconroy@needhamma.gov)

Ph (781) 455-7580

---

**From:** Daphne Collins <dcollins@needhamma.gov>  
**Sent:** Tuesday, March 4, 2025 12:40 PM  
**To:** Donald Anastasi <DAnastasi@needhamma.gov>; Jay Steeves <steevesj@needhamma.gov>; John Schlittler <JSchlittler@needhamma.gov>; Joseph Prondak <jprondak@needhamma.gov>; Justin Savignano <jsavignano@needhamma.gov>; Ronnie Gavel <rgavel@needhamma.gov>; Tara Gurge <TGurge@needhamma.gov>; Thomas Ryder <tryder@needhamma.gov>; Tom Conroy <TConroy@needhamma.gov>  
**Subject:** 76 Fair Oaks Park - ZBA Administrative Review - Due March 11, 2025.

Good Afternoon –

**76 Fair Oaks Park** - Geoffrey R. Urquhart and Kate P. McDavitt Urquhart, Trustees. applied for a Special Permit to allow the extension, alteration, and enlargement of the lawful, pre-existing non-conforming single-family pursuant to Section 1.4.6 and any other applicable sections of the By-Law. The relief is associated with increasing the total length of the left side wall on the second floor from 43'1" to 55'3/4". The property is located in the Single-Residence B (SRB) zoning district.

Attached please find the application with its associated back-up documents for your information and review.

I appreciate your comments no later than **March 11, 2025** to allow time for the applicant to respond prior to the hearing.

If you have any questions, feel free to contact me.

Thank you,

Daphne

## Daphne Collins

---

**From:** Tara Gurge  
**Sent:** Tuesday, March 11, 2025 11:54 AM  
**To:** Daphne Collins  
**Subject:** RE: 76 Fair Oaks Park - ZBA Administrative Review - Due March 11, 2025/ Public Health comments

Daphne –

The Public Health Division conducted the Zoning Board review for the proposal for the property located **at #76 Fair Oaks Park**. The Public Health Division has no comments to share at this time.

Thanks,

TARA E. GURGE, R.S., C.E.H.T., M.S. (she/her/hers)  
ASSISTANT PUBLIC HEALTH DIRECTOR  
Needham Public Health Division  
Health and Human Services Department  
178 Rosemary Street  
Needham, MA 02494  
Ph- (781) 455-7940; Ext. 211/Fax- (781) 455-7922  
Mobile- (781) 883-0127  
Email - [tgurge@needhamma.gov](mailto:tgurge@needhamma.gov)  
Web- [www.needhamma.gov/health](http://www.needhamma.gov/health)



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---

**From:** Daphne Collins <[dcollins@needhamma.gov](mailto:dcollins@needhamma.gov)>  
**Sent:** Tuesday, March 4, 2025 12:40 PM  
**To:** Donald Anastasi <[DAnastasi@needhamma.gov](mailto:DAnastasi@needhamma.gov)>; Jay Steeves <[steevesj@needhamma.gov](mailto:steevesj@needhamma.gov)>; John Schlittler <[JSchlittler@needhamma.gov](mailto:JSchlittler@needhamma.gov)>; Joseph Prondak <[jprondak@needhamma.gov](mailto:jprondak@needhamma.gov)>; Justin Savignano <[jsavignano@needhamma.gov](mailto:jsavignano@needhamma.gov)>; Ronnie Gavel <[rgavel@needhamma.gov](mailto:rgavel@needhamma.gov)>; Tara Gurge <[TGurge@needhamma.gov](mailto:TGurge@needhamma.gov)>; Thomas Ryder <[tryder@needhamma.gov](mailto:tryder@needhamma.gov)>; Tom Conroy <[TConroy@needhamma.gov](mailto:TConroy@needhamma.gov)>  
**Subject:** 76 Fair Oaks Park - ZBA Administrative Review - Due March 11, 2025.

Good Afternoon –

## Daphne Collins

---

**From:** John Schlittler  
**Sent:** Tuesday, March 4, 2025 1:41 PM  
**To:** Daphne Collins  
**Subject:** RE: 76 Fair Oaks Park - ZBA Administrative Review - Due March 11, 2025.

No issues thanks

---

**From:** Daphne Collins <dcollins@needhamma.gov>  
**Sent:** Tuesday, March 4, 2025 12:40 PM  
**To:** Donald Anastasi <DAnastasi@needhamma.gov>; Jay Steeves <steevesj@needhamma.gov>; John Schlittler <JSchlittler@needhamma.gov>; Joseph Prondak <jprondak@needhamma.gov>; Justin Savignano <jsavignano@needhamma.gov>; Ronnie Gavel <rgavel@needhamma.gov>; Tara Gurge <TGurge@needhamma.gov>; Thomas Ryder <tryder@needhamma.gov>; Tom Conroy <TConroy@needhamma.gov>  
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If you have any questions, feel free to contact me.

Thank you,

Daphne



**Daphne M. Collins**

Zoning Specialist  
Planning and Community Development Dept.  
Public Services Administration Bldg.  
500 Dedham Avenue  
Needham, MA 02492

**Office:** (781) 455-7550 ext. 72261

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