

NEEDHAM
ZONING BOARD OF APPEALS
AGENDA
THURSDAY, March 21, 2024 - 7:30PM

Charles River Room Public Service Administration Building 500 Dedham Avenue Needham, MA 02492	Also livestreamed on Zoom Meeting ID: 869-6475-7241 To join the meeting click this link: https://us02web.zoom.us/j/86964757241
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- 1. Minutes** Review and approve Minutes from January 18, 2024 meeting.

- 2. 7:30PM – 20 Alder Brook Lane**
Amit Schwartz and Neta Levin Schwartz, owners, applied to the Board of Appeals for a Special Permit under section 1.4.6 and any other section of the Zoning By-Law to allow the change, extension, alteration and enlargement of a lawful, pre-existing, non-conforming structure for relief of a right setback from 9.6 feet to 8 feet; and a Variance under MGL 40A, Section 10, and Section 7.5.3 and any other section of the Zoning By-Law to allow a front setback at 15.4' where 25 feet are required due to unusual soil, shape of topography of the land. This request is associated with the addition and alterations to an existing single-family home. The property is located at 20 Alder Brook Lane, Needham, MA in the Single Residence B (SRB) zoning district.

Next ZBA Meeting – Wednesday, April 24, 2024
Select Board Chambers, Town Hall, 1471 Highland Ave, Needham

**NEEDHAM
ZONING BOARD OF APPEALS
MINUTES
THURSDAY, January 18, 2024 - 7:30PM
Zoom Meeting ID: 869-6475-7241**

Pursuant to notice published at least 48 hours prior to this date, a meeting of the Needham Board of Appeals was held on Zoom on Thursday, January 18, 2024 at 7:30 p.m.

BOARD MEMBERS PRESENT: Jonathan D. Tamkin, Chair, Howard S. Goldman, Vice-Chair, Nikolaos M. Ligris, Peter Friedenberg and Valentina Elzon.

STAFF PRESENT: Daphne M. Collins, Zoning Specialist; Joe Prondak, Building Commissioner.

Mr. Tamkin, Chair presided and opened the meeting at 7:30 p.m.

1. MINUTES OF DECEMBER 18, 2023

Mr. Goldman moved to approve the minutes of December 18, 2024. Mr. Ligris seconded the motion. The motion was unanimously approved.

2. 460 HILLSIDE AVENUE

APPROVED

Mr. Tamkin reported that there was a substantive change to the draft Decision to reflect that there will **not** be a generator installed in the parking lot as presented by the applicant at the December public hearing. The associated conditions pertaining to the generator were also removed.

Mr. Tamkin requested that documents requested at the public hearing – engineering reports, affidavits – be included in the documents section when submitted.

There was agreement to adopt the modifications presented in the final draft Decision and to prepare the Decision for signature.

There was a discussion about the Board's practice of imposing conditions pertaining to sound testing of generators and back-up batteries. In the upcoming months, the Board will review the By-Law Section 6.7.5(p) and the Board's policy on this matter.

Mr. Tamkin and Mr. Ligris left the meeting at 7:37 PM prior to the opening of the next meeting.

3. 1688 CENTRAL AVENUE

DENIED

Mr. Goldman served as Chair. The meeting was continued from December 14, 2023 for final deliberation and vote.

Mr. Friedenberg moved to deny the Appeal of Building Inspector Decision and uphold the issuance of Building Permit #BC-23-10079 issued to Matthew Borrelli and Needham Enterprises, LLC dated September 19, 2023 for the construction of a childcare facility located at 1688 Central Avenue. Ms. Elzon seconded the motion. The motion was unanimously approved.

The meeting adjourned at 8:04 p.m.

A summary of the discussions on each subject, a list of the documents and other exhibits used at the meeting, the decisions made, and the actions taken at each meeting, including a record of all votes, are set forth in a detailed decision signed by the members voting on the subject and filed with the Town Clerk. Copies of the Decisions are filed at the Board website linked here:

<https://needhamma.gov/Archive.aspx?AMID=141&Type=&ADID=>

or by contacting Daphne Collins, Zoning Specialist, dcollins@needhamma.gov or 781-455-7550, ext. 261.

The hearings can be viewed at <http://www.needhamchannel.org/watch-programs/> and <https://www.youtube.com/@TownofNeedhamMA/videos>



ZBA Application For Hearing

RECEIVED TOWN CLERK
NEEDHAM, MA 02492

2024 MAR -6 PM 2:27

Applicants must consult with the Building Inspector prior to filing this Application. Failure to do so will delay the scheduling of the hearing.

Applicant Information

Applicant Name	Amit Schwartz			Date:	03/06/2024
Applicant Address	20 Alder Brook Lane Needham, Massachusetts 02492				
Phone	(617) 678-9101	email	amit.schwartz@gmail.com		
Applicant is ☒ Owner; ☐ Tenant; ☐ Purchaser; ☐ Other _____					
If not the owner, a letter from the owner certifying authorization to apply must be included					
Representative Name	Benjamin Ber				
Address	2001 Beacon Street , Boston, Massachusetts 02135				
Phone	617-285 1985	email	bber@nehkoodah.com		
Representative is ☐ Attorney; ☐ Contractor; ☒ Architect; ☐ Other _____					
Contact ☒ Me ☒ Representative in connection with this application.					

Subject Property Information

Property Address	20 Alder Brook Lane, Needham , MA 02492		
Map/Parcel Number	199/202.0-0016-0000.0	Zone of Property	SR - B
Is property within 100 feet of wetlands, 200 feet of stream or in flood Plain? ☒ Yes ☐ No			
Is property ☒ Residential or ☐ Commercial			
If residential renovation, will renovation constitute "new construction"? ☒ Yes ☐ No			
If commercial, does the number of parking spaces meet the By-Law requirement? ☐ Yes ☐ No			
Do the spaces meet design requirements? ☐ Yes ☐ No			
Application Type (select one): ☒ Special Permit ☒ Variance ☐ Comprehensive Permit ☐ Amendment ☐ Appeal Building Inspector Decision			



ZBA Application For Hearing

Existing Conditions:

One story wood frame single family residence over a basement with a preexisting nonconforming side yard setback, with an unusual shape lot for SR-B District, with wetlands and riverfront restrictions.

Statement of Relief Sought:

Special Permit sought for changing and extending existing nonconforming side yard setback.
Variance sought for front yard set back of 15.4 feet where 25 feet is required for attached garage.

Applicable Section(s) of the Zoning By-Law:

1.4.6 Alterations; 7.5.3 Variances

If application under Zoning Section 1.4 above, list non-conformities:

	Existing Conditions	Proposed Conditions
Use	Single Family Residence	No Change
# Dwelling Units	One	No Change
Lot Area (square feet)	±10,280 SF	No Change
Front Setback (feet)	29.5'	15.4'
Rear Setback (feet)	NA	No Change
Left Setback (feet)	11'	No Change
Right Setback (feet)	9.6'	8'
Frontage (feet)	72.61'+24.64'+30.88'=128.13'	No Change
Lot Coverage (%)	20.3%	24.9%
FAR (Floor area divided by the lot area)	0.20	0.25
Numbers must match those on the certified plot plan and supporting materials		



ZBA Application For Hearing

Date Structure Constructed including additions:

1929

Date Lot was created:

1952

Submission Materials	Provided
Certified Signed Plot Plan of Existing and Proposed Conditions <i>(Required)</i>	
Application Fee, check made payable to the Town of Needham Check holders name, address, and phone number to appear on check and in the Memo line state: "ZBA Fee – Address of Subject Property" <i>(Required)</i>	
If applicant is tenant, letter of authorization from owner <i>(Required)</i>	
Electronic submission of the complete application with attachments <i>(Required)</i>	
Elevations of Proposed Conditions <i>(when necessary)</i>	
Floor Plans of Proposed Conditions <i>(when necessary)</i>	

Feel free to attach any additional information relative to the application.
Additional information may be requested by the Board at any time during the
application or hearing process.



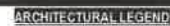
I hereby request a hearing before the Needham Zoning Board of Appeals. I have
reviewed the Board Rules and instructions.

I certify that I have consulted with the Building Inspector _____
8 September 2023
date of consult

Date: _____ 6 March 2024 _____ Applicant Signature _____


*An application must be submitted to the Town Clerk's Office at
townclerk@needhamma.gov and the ZBA Office at dcollins@needhamma.gov*

**Addition and Alterations
to 20 Alder Brook Lane.
Needham**



LIFE SAFETY LEGEND



COMMUNICATIONS LEGEND



G 001	Cover Sheet
G 002	Zoning Information
G 003	Code Information
S 101	Foundation Plan
AS 101	Architectural Site Plan
AS 102	Zoning Information
AS 103	Zoning Information
AD 101	Demolition Plans
AD 102	Demolition Plans
A 101	Floor Plan - Basement
A 102	Floor Plan - First Floor
A 103	Floor Plan - Upper Level
A 104	Roof Plan
A 151	Reflected Ceiling Basement
A 152	Reflected Ceiling Plan First
A 153	Reflected Ceiling Plan Second
A 201	Elevations
A 202	Elevations
A 203	Elevations
A 204	Elevations
A 301	Building Sections
A 302	Building Sections
A 303	Section through : Entry, Living Room, Garage & Rooms
A 304	Building Sections
A 305	Section Through Garage Stairs
A 306	Section Through Garage Stairs
A 307	Section Through Garage Door
A 308	Building Sections
A 401	Stair Plans, Sections, and Details
A 451	Entered Plans, Interior Elevations
A 501	Details
A 601	Partition Types
A 611	Door Schedule
A 612	Door Graphic Legend - Lower Floor
A 613	Door Graphic Legend - Upper Floor
A 621	Window Schedule
A 622	Window Graphic Legend
A-1 Vert	A-1 Vert
A-1 Horiz	A-1 Horiz
B-1 Horiz	B-1 Horiz
B-1 Vert	B-1 Vert
B-Pres Horiz	B-1 Pres Horiz
B-Pres Horiz-2	Sheet Title
B-1	Existing Conditions - Basement
B-2	Existing Conditions - First Floor
B-3	Existing Conditions - Second Floor
B-4	Existing Conditions - Second Floor
B-21	Proposed Nonconforming
B-22	Proposed Nonconforming
B-23	Existing Conditions View
B-24	Proposed Conditions View
B-25	Elevation - Front - Existing
B-26	Elevation - Front - Proposed
B-27	Elevation - Right - Existing
B-28	Elevation - Right - Proposed
G 006	Exploded Isometric View

No.	Date	Appr.	Revision Notes
No.	Date	Issue Notes	
			
Digitally signed by Bernie Berne Date: 2024.03.07 14:06:24 -05'00'			
Design Firm Neh-Koo-Dah 2001 Beacon Street #211 Boston, Massachusetts 02135			
Consultant © 2018/2019/2020/2021/2022			
Project Title Addition and Alterations to 20 Alder Brook Lane. Needham			
Drawing Title Cover Sheet			
Project Manager Drawn By: VKL/BB		Project ID 20032	
Reviewed By:		Scale Sheet Scale	
Date 07 March 2024		Drawing No. G 001	
CSD File Name 20032		_____ of _____	

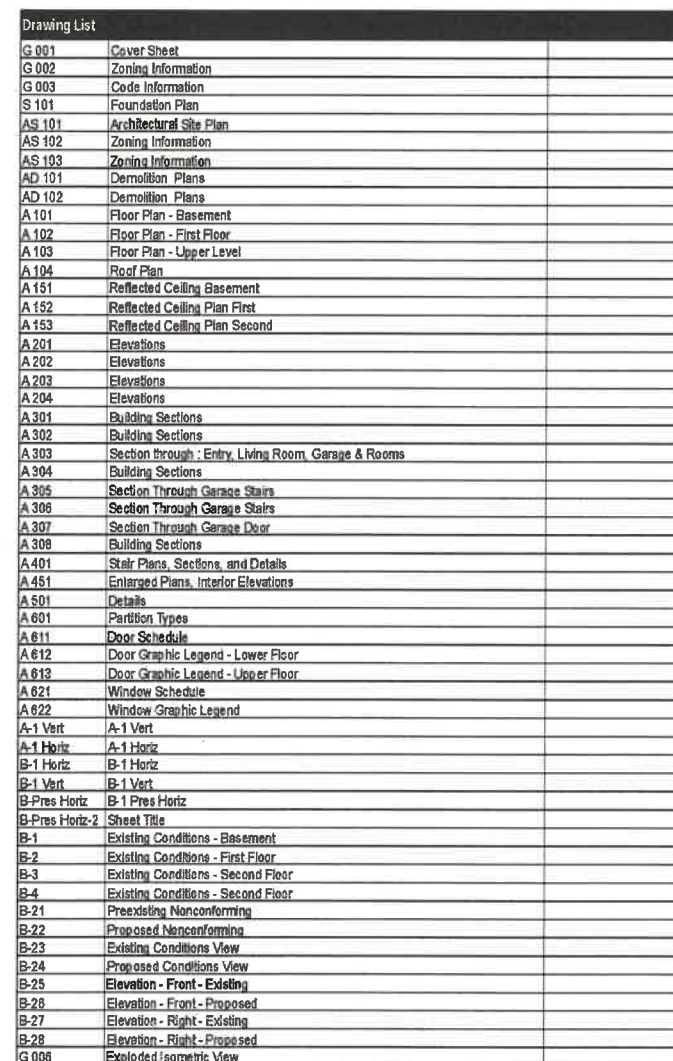
**Addition and Alterations
to 20 Alder Brook Lane.
Needham**



LIFE SAFETY LEGEND



COMMUNICATIONS LEGEND



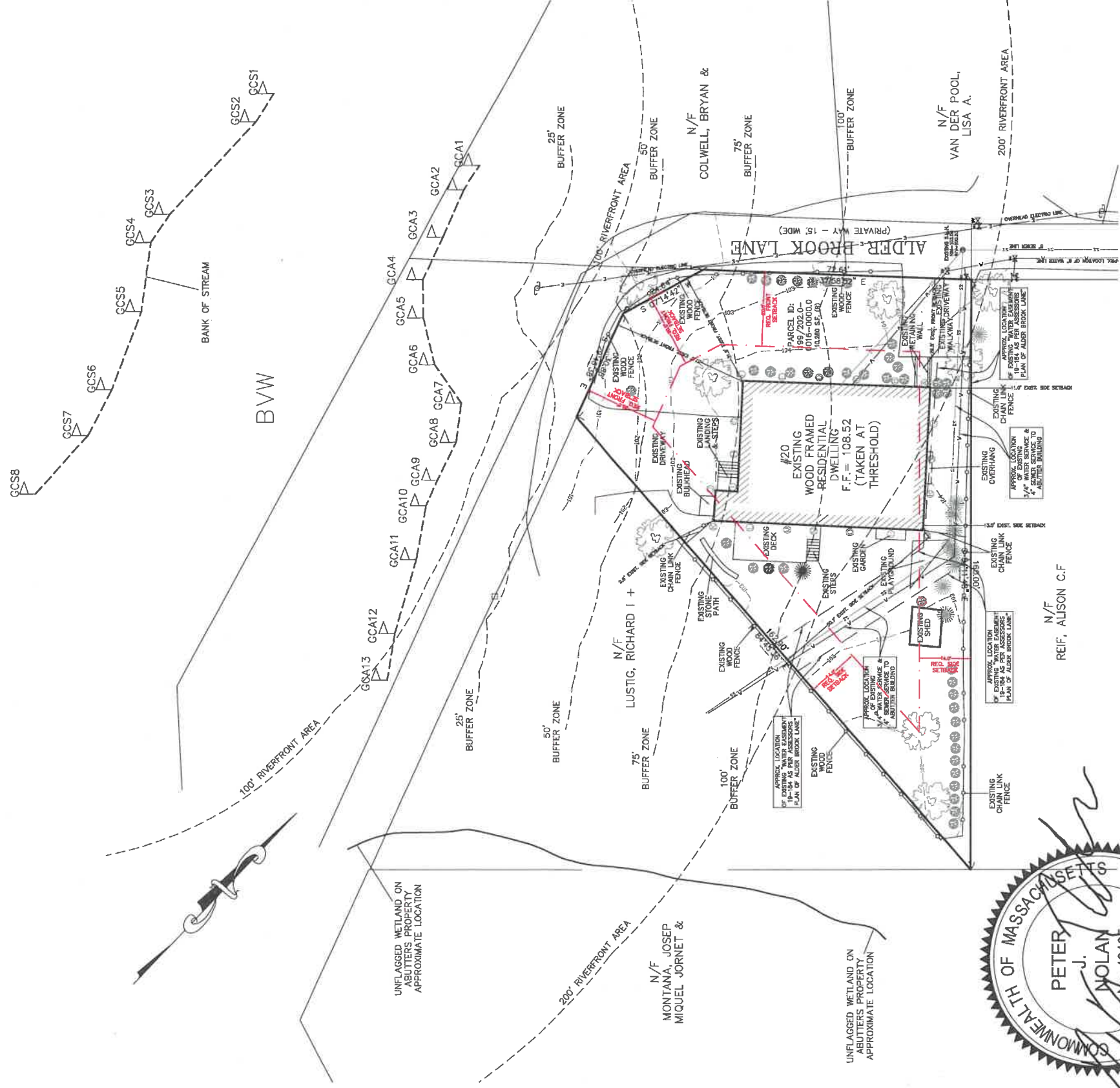
No.	Date	Appr	Revision Notes
No.	Date	Issue Notes	
		 Digitally signed by Bernie Bor / Date: 2024.03.07 14:06:24 -05'00'	
Design Firm: Neh-Koo-Dah 2001 Beacon Street #211 Boston, Massachusetts 02135			
Consultant: © March 2024			
Project Title: Addition and Alterations to 20 Alder Brook Lane. Needham			
Drawing Title: Cover Sheet			
Project Manager		Project ID	
		20032	
Drawn By		Scale	
VKLAB		Sheet Scale	
Reviewed By:		Drawing No.	
Date		G 001	
07 March 2024		_____ of _____	
Old File Name			
2002			

TOWN OF NEEDHAM, MASSACHUSETTS
BUILDING INSPECTION DEPARTMENT

Assessor's Map & Parcel Number: 202-0016
Building Permit No.:
Zoning District: SR-B, SINGLE RESIDENCE B
Lot Area: 10,280 ± S.F.
Address: NO. 20 ALDER BROOK LANE
Owner: AMIT SCHWARTZ & NETA LEVIN SCHWARTZ
Builder:

EXISTING CONDITION

SCALE: 1"= 40'

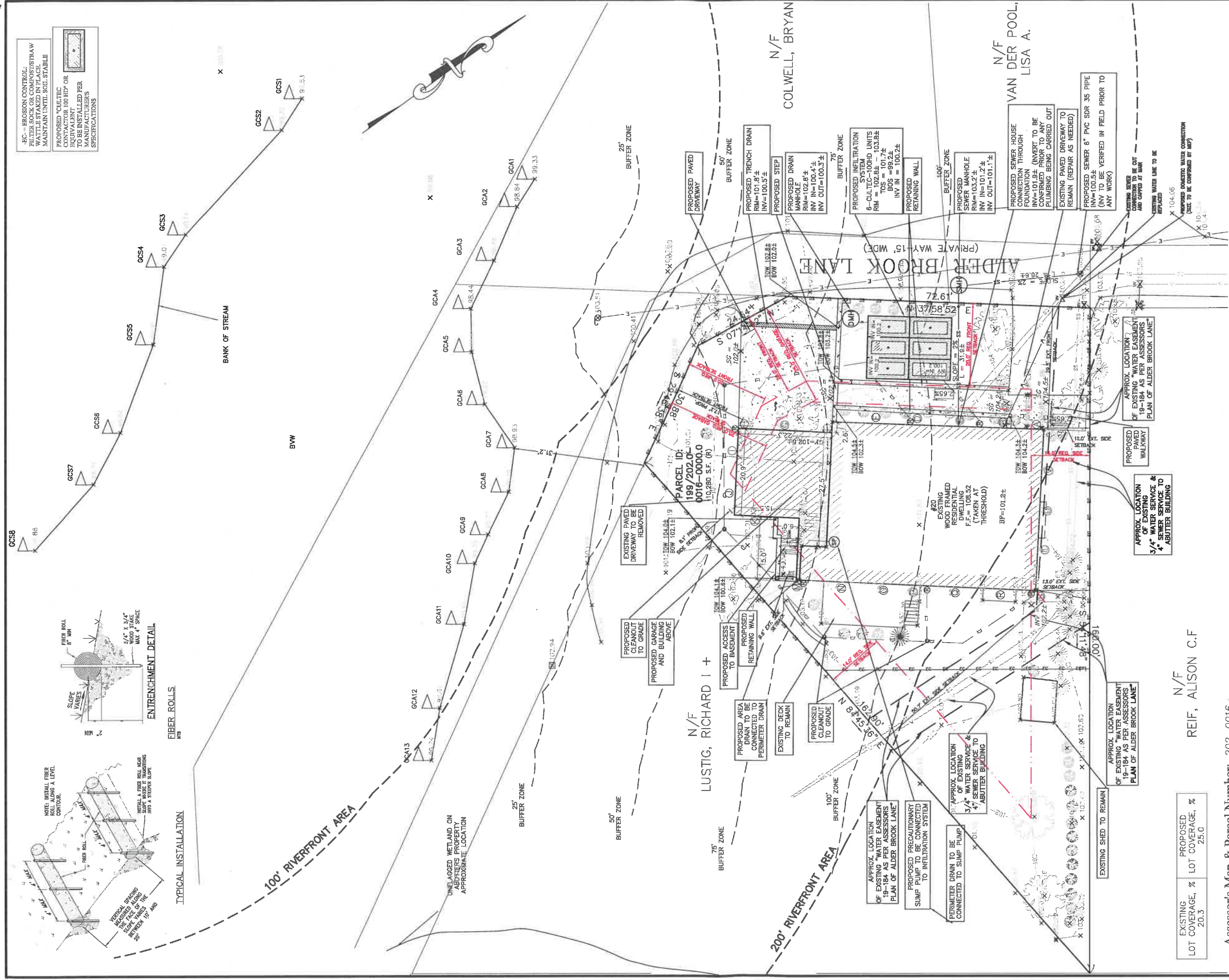


EXISTING LOT
COVERAGE = 20.3%

Note: Plot Plans shall be drawn in accordance with Sections 7.2.1 and 7.2.2 of the Zoning By-Laws for the Town of Needham. All plot plans shall show existing structures and public & private utilities, including water mains, sewers, drains, gas lines, etc.; driveways, septic systems, wells, Flood Plain and Wetland Areas, lot dimensions, lot size, dimensions of proposed structures, sideline, front and rear offsets and setback distances (measured to the face of structure) and elevation of top of foundations and garage floor. For new construction, lot coverage, building height calculations, proposed grading and drainage of recharge structures. For pool permits, plot plans shall also show fence surrounding pool with a gate, proposed pool and any accessory structures*, offsets from all structures and property lines, existing elevations at nearest house corners and pool corners, nearest storm drain catch basin (if any) and sewage disposal system location in areas with no public sewer.
*Accessory structures may require a separate building permit - See Building Code.

I hereby certify that the information provided on this plan is accurately shown and correct as indicated.

The above is subscribed to and executed by me this: 26TH day of: JUNE 2023
Name: PETER J. NOLAN Registered Land Surveyer #: 49185
Address: 80 JEWETT STREET (SUITE 1) City: NEWTON State: MA Zip: Tel. No: (857) 891 7478
Approved: Director of Public Works: Date
Approved: Building Inspector: Date



Assessor's Map & Parcel Number: 202-0016
Building Permit No.:
Lot Area: 10,280 ± S.F.
Zoning District: SR-B, SINGLE RESIDENCE B
Address: NO. 20 ALDER BROOK LANE
Builder:

Owner: AMIT SCHWARTZ & NEHA LEVIN SCHWARTZ
N/F ALISON C.F.
N/F RICHARD I. + LUSTIG

REVISION BLOCK		SHEET 1 OF 2	
BY	DESCRIPTION	DATE	SCALE
RV	AS PER ARCHITECTURAL CHANGES	3/11/2024	1"=10'
		DATE: 2/22/2024	
		DRAWN BY: R.V.	
		CHECKED BY: E.S.	
		APPROVED BY: P.N.	

PROPOSED ADDITION PLOT PLAN

All legal rights including, but not limited to, copyright and design patent rights, in the designs, arrangements and plans shown on this document are the property of Peter Nolan & Associates, LLC, or Spruhan Engineering, P.C. They may not be used or reused in whole or in part, except in connection with this project, without the prior written consent of Spruhan Engineering, P.C.. Written dimensions on these drawings shall take precedence over scaled dimensions. Contractors shall verify all conditions on this project, and Spruhan Engineering, P.C., must be notified of any variation from the dimensions and conditions shown by these drawings.

20 ALDER BROOK LANE, NEEDHAM, MA

PLAN FOR CONSERVATION COMMISSION

PETER NOLAN & ASSOCIATES, LLC
LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS
80 JEWETT ST., SUITE 11
NEEDHAM, MA 02458
Tel: 617-857-891-7478
617-782-1539
Fax: 617-202591

SPRUHAN ENGINEERING, P.C.
80 JEWETT ST., SUITE 11
NEEDHAM, MA 02458
Tel: 617-816-0722
Email: l.schmid@spruhaneng.com

SPOT LOCATION	EXISTING GRADE	PROPOSED GRADE
A	104.4	104.4
B	104.4	104.4
C	104.4	104.4
D	104.4	104.4
E	104.4	104.4
F	104.5	102.5
G	104.3	102.5
H	104.2	102.5
I	104.1	102.5
J	104.0	102.4
K	103.8	103.1
L	103.7	100.6
M	103.6	103.8
N	103.5	103.7
O	103.6	103.6
P	103.8	103.5
Q	103.8	103.6
R	103.9	103.8
S	104.1	103.8
T	104.2	103.9
U		104.1
V		104.2
TOTAL	2,081.1	2,276.1
AVERAGE	104.1	103.5

MAX BUILDING HEIGHT
AVERAGE GRADE +35=103.5 + 35=138.5±

STORMWATER MANAGEMENT CALCULATIONS

Design Criteria:
Roof = 2,524.6 SF
Driveway = 1,094.3 SF
Walkway/Basement access = 453.8 SF
Total = 4,072.7 SF
Design For 1" Rainstorm

Storage Volume Required:

$$V_k = (1"/12)(4,072.7 \text{ SF}) = 339.4 \text{ CF}$$

CAPACITY OF PROPOSED STORM TECH SYSTEM

Storage Capacity of single Cultec Contactor 100HD UNIT = 14 CF

$$\text{Void Ratio} = 0.4$$

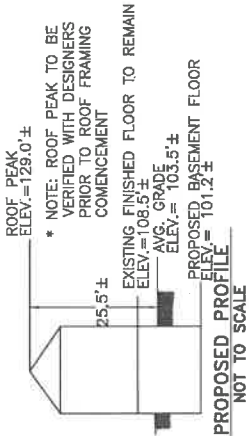
$$\text{Total Volume} = (5' \times 10' \times 6_{\text{units}} \times 2.5'_{\text{depth}}) = 750 \text{ CF}$$

$$\text{Capacity for 6 UNIT} = 84 \text{ CF}$$

$$\text{Storage Capacity in Crushed Stone} = (\text{Total Volume} - \text{Capacity of Units}) \times \text{Void Ratio} = (750 - 84) \times 0.4 = 266.0 \text{ CF}$$

$$\text{Total Storage Provided} = \text{Capacity in Crushed Stone} + \text{Total Capacity in Units} = 266.0 \text{ CF} + 84 \text{ CF} = 350.0 \text{ CF}$$

Since Total Storage Provided (350.0 CF) > Total Storage Required (339.4 CF/D)
Therefore, utilize 6-Cultec Contactor 100HD with 1 ft. of Crushed Stone Beneath to Contain 1" Storm Event



CULTEC CONTACTOR® 100HD CHAMBER PRODUCT SPECIFICATIONS

GENERAL
CULTEC CONTACTOR 100HD CHAMBERS ARE DESIGNED FOR UNDERGROUND STORMWATER MANAGEMENT. THE CHAMBERS MAY BE USED FOR RETENTION, RECHARGING, DETENTION OR CONTROLLING THE FLOW OF ON-SITE STORMWATER RUNOFF.

CHAMBER PARAMETERS

- THE CHAMBERS SHALL BE MANUFACTURED BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)
- THE CHAMBER SHALL BE VACUUM THERMOFORMED OF HIGH MOLECULAR WEIGHT HIGH DENSITY POLYETHYLENE (HDPE) WITH A BLACK INTERIOR AND BLUE EXTERIOR.
- THE CHAMBER SHALL BE ARCHED IN SHAPE.
- THE CHAMBER SHALL BE OPEN-BOTTOMED.
- THE CHAMBER SHALL BE JOINED USING AN INTERLOCKING OVERLAPPING RIB. NO SEPARATE COUPLINGS OR SEPARATE END WALLS.
- THE NOMINAL STORAGE VOLUME OF THE CULTEC CONTACTOR 100HD SHALL BE 12.5 INCHES (318 mm) TALL, 38 INCHES (914 mm) WIDE AND 8 FEET (2.44 m) LONG. THE INSTALLED LENGTH OF A JOINED CONTACTOR 100HD SHALL BE 7.5 FEET (2.29 m).
- MAXIMUM INLET OPENING ON THE CHAMBER ENDWALL IS 10 INCHES (250 mm).
- THE CHAMBER SHALL HAVE TWO SIDE PORTALS TO ACCEPT CULTEC HVLV® SFCX2 FEED CONNECTORS TO CREATE AN INTERNAL MANIFOLD. THE NOMINAL INSIDE DIMENSIONS OF EACH SIDE PORTAL SHALL BE 5.76 INCHES (146 mm) HIGH BY 7.6 INCHES (191 mm) WIDE. MAXIMUM ALLOWABLE OUTER DIAMETER (O.D.) PIPE SIZE IN THE SIDE PORTAL IS 6.8 INCHES (173 mm).
- THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC HVLV® SFCX2 FEED CONNECTOR SHALL BE 7.8 INCHES (194 mm) TALL, 12 INCHES (305 mm) WIDE AND 18.7 INCHES (460 mm) LONG.
- THE NOMINAL STORAGE VOLUME OF THE CONTACTOR 100HD CHAMBER SHALL BE 0.284 FT³ / FT (0.027 m³ / m) - WITHOUT STONE.
- THE CONTACTOR 100HD CHAMBER SHALL HAVE FORTY-FOUR DISCHARGE HOLES BORED INTO THE SIDEWALLS OF THE UNITS CORE TO PROMOTE LATERAL CONVEYANCE OF WATER.
- THE CONTACTOR 100HD CHAMBER SHALL HAVE 18 CORRUGATIONS.
- THE ENDWALL OF THE CHAMBER, WHEN PRESENT, SHALL BE AN INTEGRAL PART OF THE CONTINUOUSLY FORMED UNIT. SEPARATE END PLATES CANNOT BE USED WITH THIS UNIT.
- THE CONTACTOR 100HD STARTER UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO FULLY FORMED INTEGRAL ENDWALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS.
- THE CONTACTOR 100HD MID-LEND UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY FORMED INTEGRAL ENDWALL AND ONE FULLY OPEN END WALL AND HAVING NO SEPARATE END PLATES OR END WALLS.
- THE HVLV® SFCX2 FEED CONNECTOR MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO OPEN END WALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS. THE CONTACTOR 100HD AND ACT AS CROSS FEED CONNECTIONS.
- CHAMBERS MUST HAVE HORIZONTAL STIFFENING FLEX REDUCTION STEPS BETWEEN THE RIBS.
- THE CHAMBER SHALL BE DESIGNED TO WITHSTAND TRAFFIC LOADS WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS.
- HEAVY DUTY UNITS ARE DESIGNATED BY A COLORED STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER.
- THE CHAMBER SHALL HAVE A RAISED INTEGRAL GAP AT THE TOP OF THE ARCH IN THE CENTER OF EACH UNIT TO BE USED AS AN OPTIONAL INSPECTION PORT OR CLEAN-OUT.
- THE UNITS MAY BE TRIMMED TO CUSTOM LENGTHS BY CUTTING BACK TO ANY CORRUGATION.
- THE CHAMBER SHALL BE MANUFACTURED IN AN ISO 9001:2016 CERTIFIED FACILITY.
- THE CHAMBER SHALL BE DESIGNED AND MANUFACTURED TO MEET THE MATERIAL AND STRUCTURAL REQUIREMENTS OF ASTM PS 822018, INCLUDING RESISTANCE TO AASHTO H-10 AND H-20 HIGHWAY LIVE LOADS, WHEN INSTALLED IN ACCORDANCE WITH CULTEC'S INSTALLATION INSTRUCTIONS.
- MAXIMUM ALLOWED COVER ON TOP OF UNIT SHALL BE 12.0 FEET (3.66 m)

CULTEC HVLV® SFCX2 FEED CONNECTOR

GENERAL
CULTEC HVLV® SFCX2 FEED CONNECTORS ARE DESIGNED TO CREATE AN INTERNAL MANIFOLD FOR CULTEC CONTACTOR 100HD STORMWATER CHAMBERS.

CHAMBER PARAMETERS

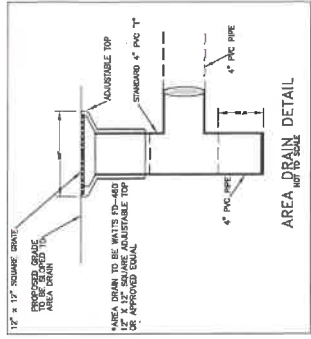
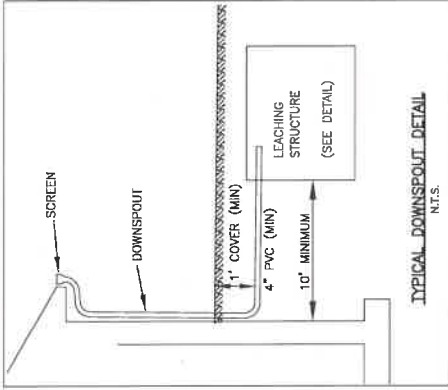
- THE CHAMBERS SHALL BE MANUFACTURED BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)
- THE CHAMBER SHALL BE VACUUM THERMOFORMED OF HIGH MOLECULAR WEIGHT HIGH DENSITY POLYETHYLENE (HDPE) WITH A BLACK INTERIOR AND BLUE EXTERIOR.
- THE CHAMBER SHALL BE ARCHED IN SHAPE.
- THE CHAMBER SHALL BE OPEN-BOTTOMED.
- THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC HVLV® SFCX2 FEED CONNECTOR SHALL BE 12.5 INCHES (318 mm) TALL, 12 INCHES (305 mm) WIDE AND 18.7 INCHES (460 mm) LONG.
- THE NOMINAL STORAGE VOLUME OF THE HVLV® SFCX2 FEED CONNECTOR SHALL BE 0.284 FT³ / FT (0.027 m³ / m) - WITHOUT STONE.
- THE HVLV® SFCX2 FEED CONNECTOR CHAMBER SHALL HAVE 3 CORRUGATIONS.
- THE HVLV® SFCX2 FEED CONNECTOR MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO OPEN END WALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS. THE UNIT SHALL FIT INTO THE SIDE PORTALS OF THE CONTACTOR 100HD STORMWATER CHAMBER AND ACT AS CROSS FEED CONNECTIONS CREATING AN INTERNAL MANIFOLD.
- THE CHAMBER SHALL BE DESIGNED TO WITHSTAND TRAFFIC LOADS WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS.
- THE CHAMBER SHALL BE MANUFACTURED IN AN ISO 9001:2008 CERTIFIED FACILITY.

CULTEC NO. 4800™ WOVEN GEOTEXTILE

CULTEC NO. 4800 WOVEN GEOTEXTILE IS DESIGNED AS A UNDERLAYMENT TO PREVENT SCOURING CAUSED BY WATER MOVEMENT WITHIN THE CULTEC CHAMBERS AND FEED CONNECTORS. IT IS A NON-WOVEN, NON-TEARABLE, NON-FLAMMABLE, NON-DEGRADABLE COMPONENT OF THE CULTEC SEPARATOR ROW TO ACT AS A BARRIER TO PREVENT SOIL/CONTAMINANT INTRUSION INTO THE STONE WHILE ALLOWING FOR MAINTENANCE.

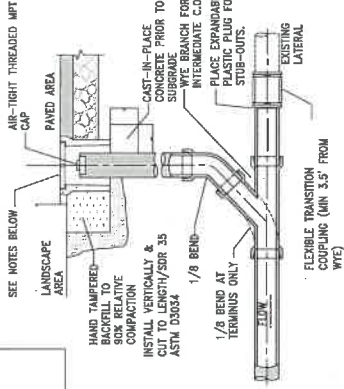
GEOTEXTILE PARAMETERS

- THE GEOTEXTILE SHALL BE PROVIDED BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)
- THE GEOTEXTILE SHALL BE BLACK IN APPEARANCE.
- THE GEOTEXTILE SHALL HAVE A TENSILE STRENGTH OF 550 X 550 LBS (2,448 X 2,448 N) PER ASTM D4632 TESTING METHOD.
- PER ASTM D4632 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A ELONGATION @ BREAK RESISTANCE OF 20 X 20% LBS/FT
- (74 X 74 KN/M) PER ASTM D4595 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE OF 5,070 X 5,070 LBS/FT
- (14 X 16 KN/M) PER ASTM D4595 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE @ 5% STRAIN OF 2,740 X 2,740 LBS/FT (40 X 40 KN/M) PER ASTM D4595 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE @ 10% STRAIN OF 4,800 X 4,800 LBS/FT (70 X 70 KN/M) PER ASTM D4595 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A CBR PUNCTURE RESISTANCE OF 1,700 LBS (7,560 N) PER ASTM D6241 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A TRAPEZOIDAL TEAR RESISTANCE OF 180 X 180 LBS (801 X 801 N) PER ASTM D4533 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE AN APPARENT OPENING SIZE OF 40 US STD. SIEVE (0.425 MM) PER ASTM D4751 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A PERMITIVITY RATING OF 0.15 SEC-1 PER ASTM D4491 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A WATER FLOW RATING OF 11.5 GPM/FT² (470 LPM/M²) PER ASTM D4491 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A UV RESISTANCE OF 80% @ 500 HRS. PER ASTM D4555 TESTING METHOD.



TYPICAL DOWNSPOUT DETAIL

N.T.S.



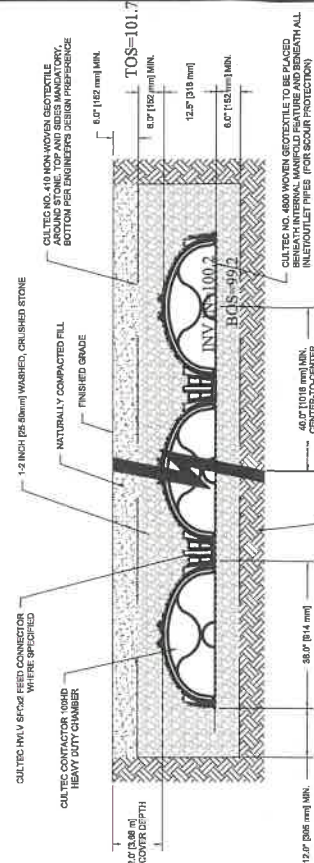
NOTES:

- RECTANGULAR OR CIRCULAR BOXES ARE PERMITTED.
- CONCRETE/FIBERGLITE LIDS ARE ACCEPTABLE IN NON-VEHICULAR AREAS. H-20 CAST IRON TRAFFIC LIDS AND BOXES IN VEHICULAR AREAS.
- ALL CLEANOUT LIDS SHALL BE MARKED WITH AN "S" OR THE WORD "SEWER" FOR SANITARY SEWER CLEANOUTS
- CLEANOUT PIPE SHALL BE THE SAME DIAMETER AS THE CONNECTED SITE PIPE.
- TERMINATE C.O. AT CLOSEST JOINT TO SURFACE WITH TEMPORARY PLUG. AFTER ALL BACKFILL IS COMPLETE AND SUB-GRADE MADE IN AREAS TO BE PAVED, THE FINAL RISER PIPE AND BOX SHALL BE INSTALLED AS SHOWN.

CLEANOUT TO GRADE

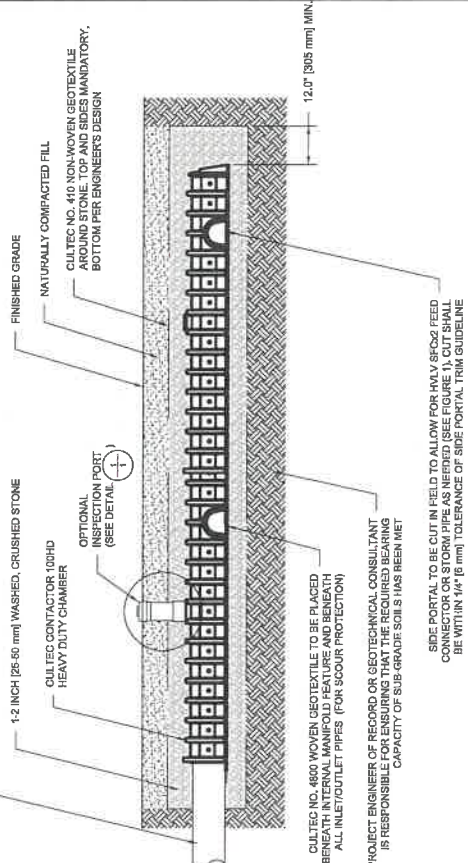
N.T.S.

INFILTRATION SYSTEM #1

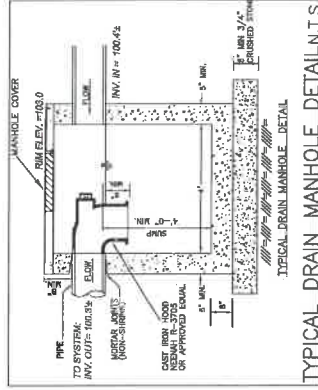


CULTEC CONTACTOR 100HD HEAVY DUTY SYSTEM CROSS SECTION

INLET/OUTLET PIPE PER ENGINEER DESIGN.
PIPE TO BE INSERTED 12.0" (305 mm) MIN. INTO CHAMBER.
MAXIMUM PIPE SIZE:
10.0" (250 mm) HDPE
10.0" (250 mm) PVC



CULTEC MANIFOLD - OPTIONAL INSPECTION PORT DETAIL



TYPICAL DRAIN MANHOLE DETAIL N.T.S.

BY	REVISION BLOCK	DATE	SCALE	NTS
RV	AS PER ARCHITECTURAL CHANGES	3/11/2024	DATE:	2/22/2024
		DRAWN BY:	B.V	
		CHECKED BY:	G.P	
		APPROVED BY:	E.S	

PROPOSED ADDITION PLOT PLAN

All legal rights including, but not limited to, copyright and design patent rights, in the designs, arrangements and plans shown on this document are the property of Peter Nolan & Associates, LLC, a registered Engineering, P.C. They may not be used or reused in whole or in part without the prior written consent of Spruhan Engineering, P.C. Written consents on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on this project, and Spruhan Engineering, P.C., must be notified of any variation from the dimensions and conditions shown by these drawings.

20 ALDER BROOK LANE,
NEEDHAM, MA

PLAN FOR
CONSERVATION
COMMISSION



PETER NOLAN &
ASSOCIATES, LLC

LAND SURVEYORS/CIVIL
ENGINEERING CONSULTANTS
89 JENNETT ST., SUITE 11
NEWTON, MA 02458
Tel: 617-891-7478
617-781-5551
Fax: 617-225-5551

SPRUHAN
ENGINEERING, P.C.

89 JENNETT ST., SUITE 11
NEWTON, MA 02458
Tel: 617-891-0722
Email: info@spruhan.com



Assessor's Map & Parcel Number: 202-0016

Building Permit No.:

Lot Area: 10,280 ± S.F.

Owner: AMIT SCHWARTZ & NETA LEVIN SCHWARTZ

Builder:

Address: NO. 20 ALDER BROOK LANE

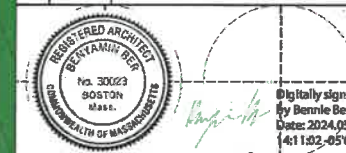
Zoning District: SR-B, SINGLE RESIDENCE B

Addition and Alterations
to 20 Alder Brook Lane,
Needham

NEH-KOO-DAH

No.	Date	Appr	Revision Notes
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No.	Date	Issue Notes
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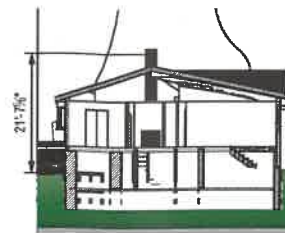
Design Firm
Neh-Koo-Dah
3001 Beacon Street #211
Boston, Massachusetts 02135

Created At
© Neh-Koo-Dah 2024-2025

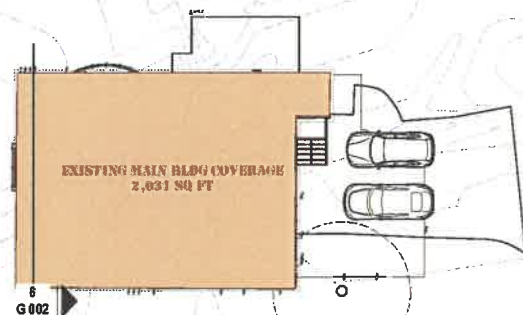
Project Title
Addition and Alterations
to 20 Alder Brook Lane,
Needham

Drawing Title
Zoning Information

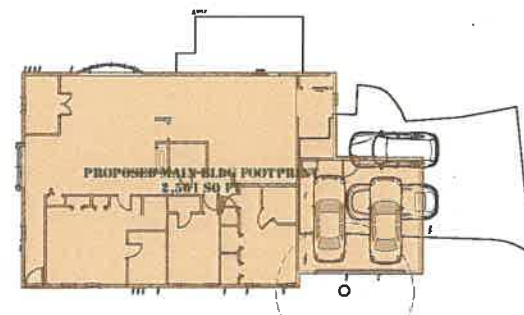
Project Manager	Project ID
Drawn By	Scale
Reviewed By	Sheet Scale
Date	Drawing No.
07 March 2024	G 002
010 File Name	20032



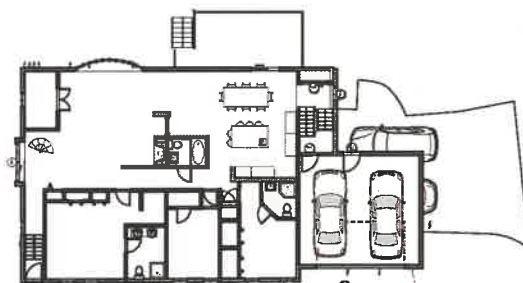
6 EXISTING SITE SECTION THROUGH ENTRY DOOR
SCALE: 1/16" = 1'-0"



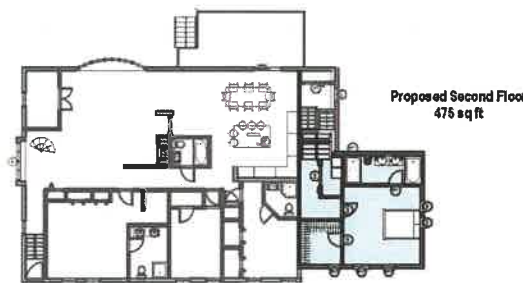
1 ZONING COVERAGE DIAGRAM - EXISTING CONDITIONS
SCALE: 1/16" = 1'-0"



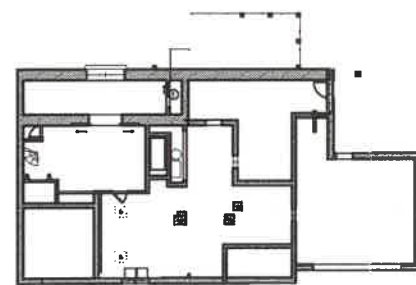
2 ZONING COVERAGE DIAGRAM - PROPOSED WORK
SCALE: 1/16" = 1'-0"



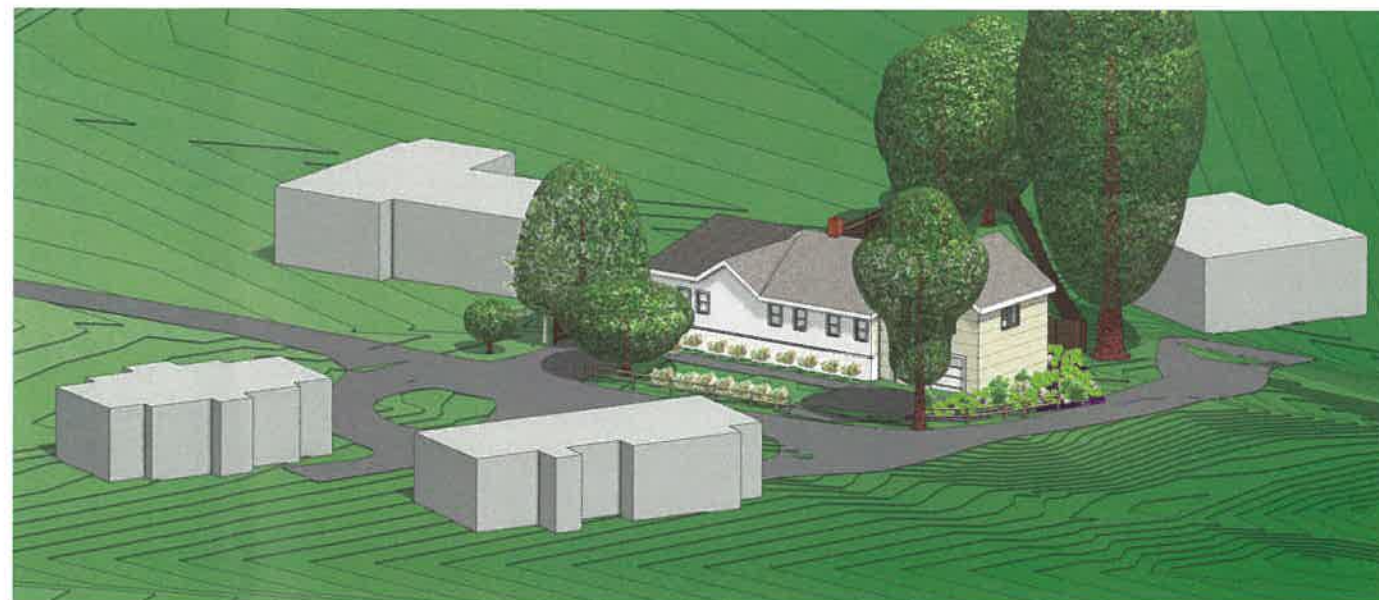
4 ZONING FAR DIAGRAM - FIRST FLOOR PROPOSED WORK
SCALE: 1/16" = 1'-0"



5 ZONING FAR DIAGRAM - UPPER LEVEL PROPOSED WORK
SCALE: 1/16" = 1'-0"



3 ZONING FAR DIAGRAM - BASEMENT PROPOSED WORK
SCALE: 1/16" = 1'-0"



7 ISOMETRIC VIEW
SCALE: 1/16" = 1'-0"

SELF-KOOL-DELL



Addition and Alterations
to 20 Alder Brook Lane.
Needham

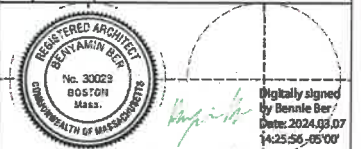
NEH-KOO-DAH

No.	Date	Appr	Revision Notes
No.	Date	Issue Notes	
 REGISTERED ARCHITECT BENJAMIN BEP No. 30023 BOSTON MASS. COMMONWEALTH OF MASSACHUSETTS Digitally signed by Benjamin Beep Date: 2024.03.07 14:16:17 -05'00' Design Firm Neh-Koo-Dah 2001 Beacon Street #211 Boston, Massachusetts 02135 Contributor © Neh-Koo-Dah 2024 Project Title Addition and Alterations to 20 Alder Brook Lane. Needham Drawing Title Zoning Information Project Manager 20032 Drawn By VK/EBB Reviewed by Date 07 March 2024 Old File Name 20032 Scale Sheet Scale Drawing No. AS 102 of			



No.	Date	Appr.	Revision Notes
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No.	Date	Issue Notes
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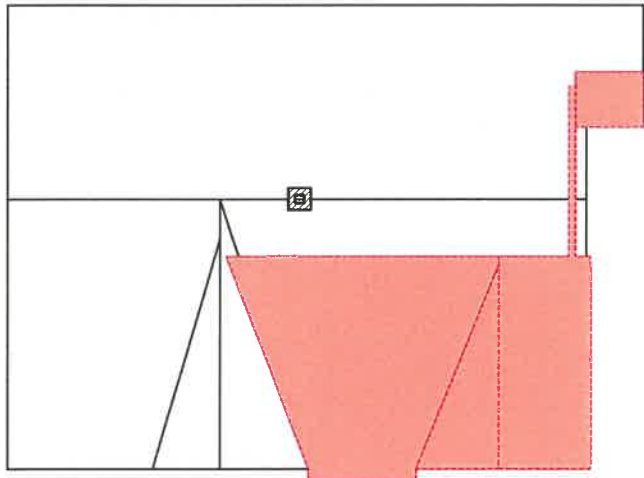
Design Firm
Neh-Koo-Dah
2001 Beacon Street #211
Boston, Massachusetts 02135

Consultant
©Neh-Koo-Dah 2020-2023

Project Title
Addition and Alterations
to 20 Alder Brook Lane.
Needham

Drawing Title
Demolition Plans

Project Manager	Project ID
Drawn By VKL/BB	20032
Reviewed By	Scale Sheet Scale
Date 07 March 2024	Drawing No. AD 101
Client File Name 20032	of



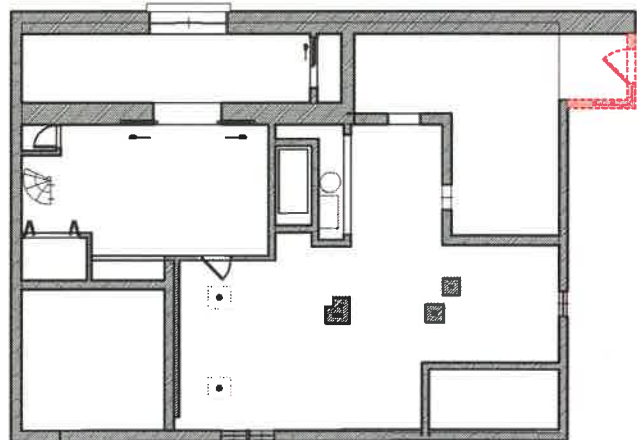
3 DEMOLITION PLAN - SECOND FLOOR/ROOF
SCALE: 1/8" = 1'-0"



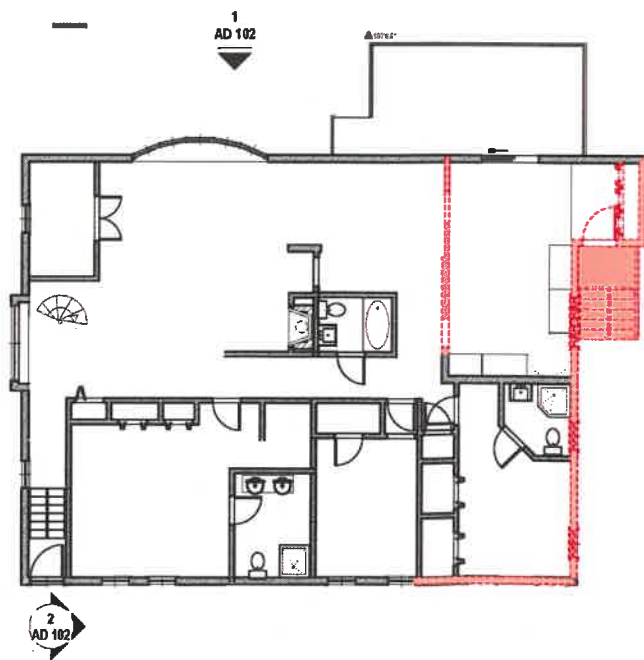
4 DEMOLITION - ISOMETRIC VIEW 01
SCALE: 1/8" = 1'-0"
NKD - Demolition 01
<All Objects>



5 DEMOLITION ISOMETRIC VIEW 02
SCALE: 1/8" = 1'-0"
NKD - Demolition 01
<All Objects>



1 DEMOLITION PLAN - BASEMENT
SCALE: 1/8" = 1'-0"



2 DEMOLITION PLAN - FIRST FLOOR
SCALE: 1/8" = 1'-0"

YERKES • KUD • D&V

[illegible]



Addition and Alterations
to 20 Alder Brook Lane.
Needham



No.	Date	Appr.	Revision Notes

No.	Date	Issue Notes

Digitally signed
by Benjamin Ber
Date: 2024.03.07
14:37:34 -05'00'

Design Firm:	Neh-Koo-Dah 2001 Beacon Street #211 Boston, Massachusetts 02135		
Client:			
Project Title:	Addition and Alterations to 20 Alder Brook Lane. Needham		
Drawing Title:	Floor Plan - First Floor		
Project Manager:	Project ID:	20032	
Drawn By:	Scale:	Sheet Scale	
Reviewed By:	Drawing No.:	A 102	
Date:		07 March 2024	
CAD File Name:		20032	

Addition and Alterations
to 20 Alder Brook Lane.
Needham



No.	Date	Appr.	Revision Notes
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No.	Date	Issue Notes
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Design Firm
Neh-Koo-Dah
2001 Beacon Street #211
Boston, Massachusetts 02135

Client
2001 Alder Brook Lane, Needham, MA 02454

Project Title
Addition and Alterations
to 20 Alder Brook Lane.
Needham

Drawing Title
Floor Plan - Upper Level

Project Manager	Project C
Drawn By	Scale
Reviewed By	Sheet Scale
Date	Drawing No.
Old Title Name	

A 103

of

20032

1 FLOOR PLAN - UPPER FLOOR
SCALE: 1/4" = 1'-0"

1 A 302
2 A 301

1 A 306

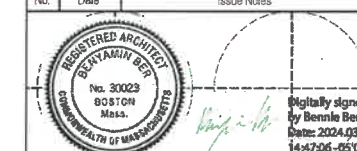
2 A 305

2 A 307

0 5 10 15 20 25 FT

YER KUDDAH

No	Date	Appr	Revision Notes



Neh-Koo-Dah
2001 Beacon Street #211
Boston, Massachusetts 02135

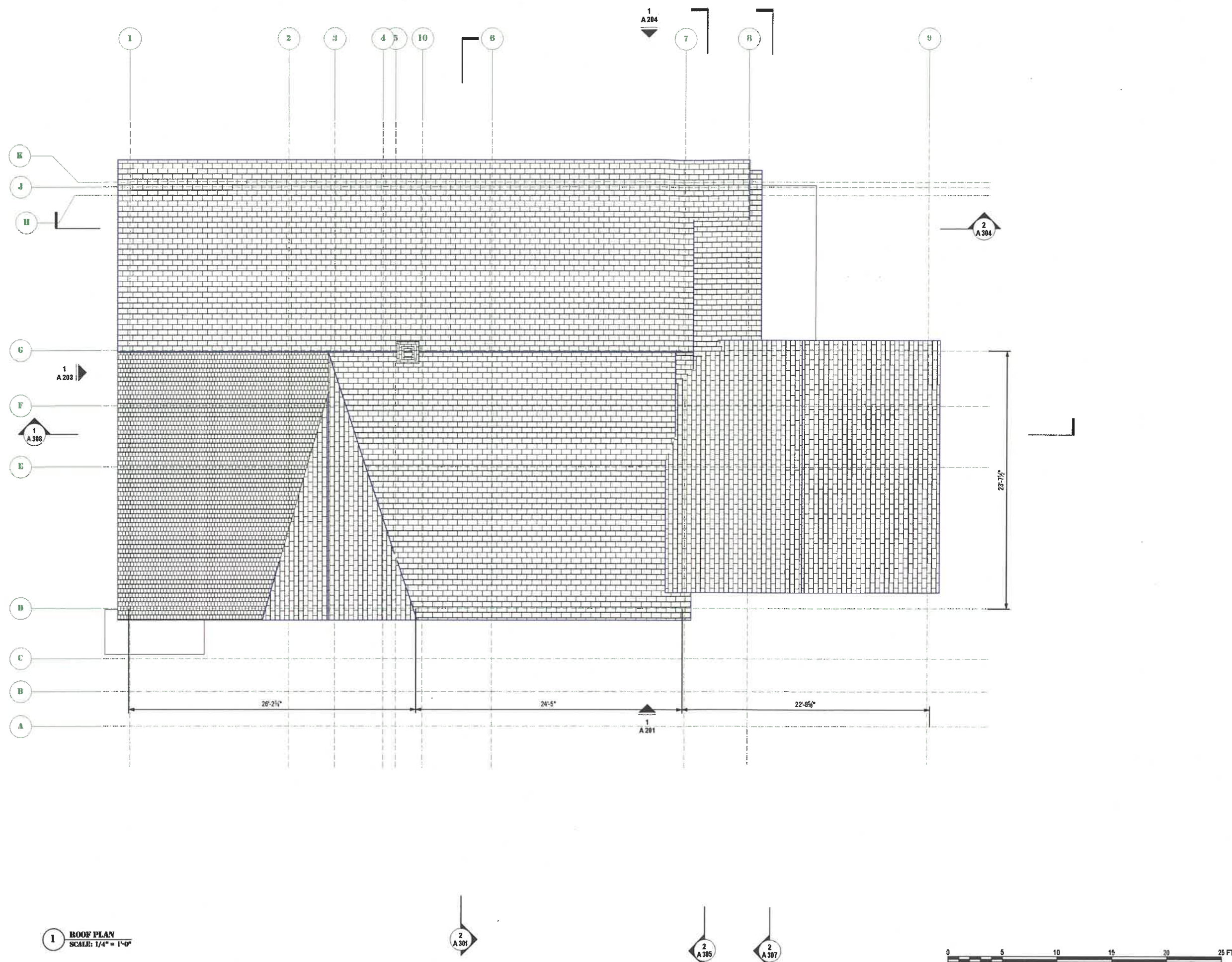
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Project Title

Addition and Alterations
to 20 Alder Brook Lane.
Needham

Drawing Title **Roof Plan**

Project Manager	Project ID	20032
Drawn By	Scale	Sheet Scale
Reviewed By	Drawing No.	A 104
Date		_____ of _____
CAD File Name		



Addition and Alterations
to 20 Alder Brook Lane.
Needham



No.	Date	Appr	Revision Notes
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No.	Date	Issue Notes
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		Digitally signed by Benjamin R. Ber Date: 2024.03.07 14:53:21 -05'00'
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Design Firm:
Neh-Koo-Dah
2001 Beacon Street #211
Boston, Massachusetts 02135

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Project Title
Addition and Alterations
to 20 Alder Brook Lane.
Needham

Drawing Title
Elevations

Project Manager	Project ID	20032
Drawn By	Scale	Sheet Scale
Reviewed By	Drawing No.	A 201
Date		of
Old File Name		

20032



1 ELEVATION - FRONT (NORTH)
SCALE: 1/4" = 1'-0"

0 5 10 15 20 25 FT

Addition and Alterations
to 20 Alder Brook Lane.
Needham



No.	Date	Appr	Revision Notes
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No.	Date	Issue Notes
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Neh•Koo•Dah
2001 Beacon Street #211
Boston, Massachusetts 02135

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Project Title
Addition and Alterations
to 20 Alder Brook Lane.
Needham

Drawing Title
Elevations

Project Manager	Project ID
Drawn By	Scale
Reviewed By	Sheet Scale
Date	Drawing No.
Client Name	

1 ELEVATION - WEST
SCALE: 1/4" = 1'-0"



Addition and Alterations
to 20 Alder Brook Lane.
Needham



No.	Date	Appr.	Revision Notes
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No.	Date	Issue Notes
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Date: 2024.03.07
14:59:33 -05'00'

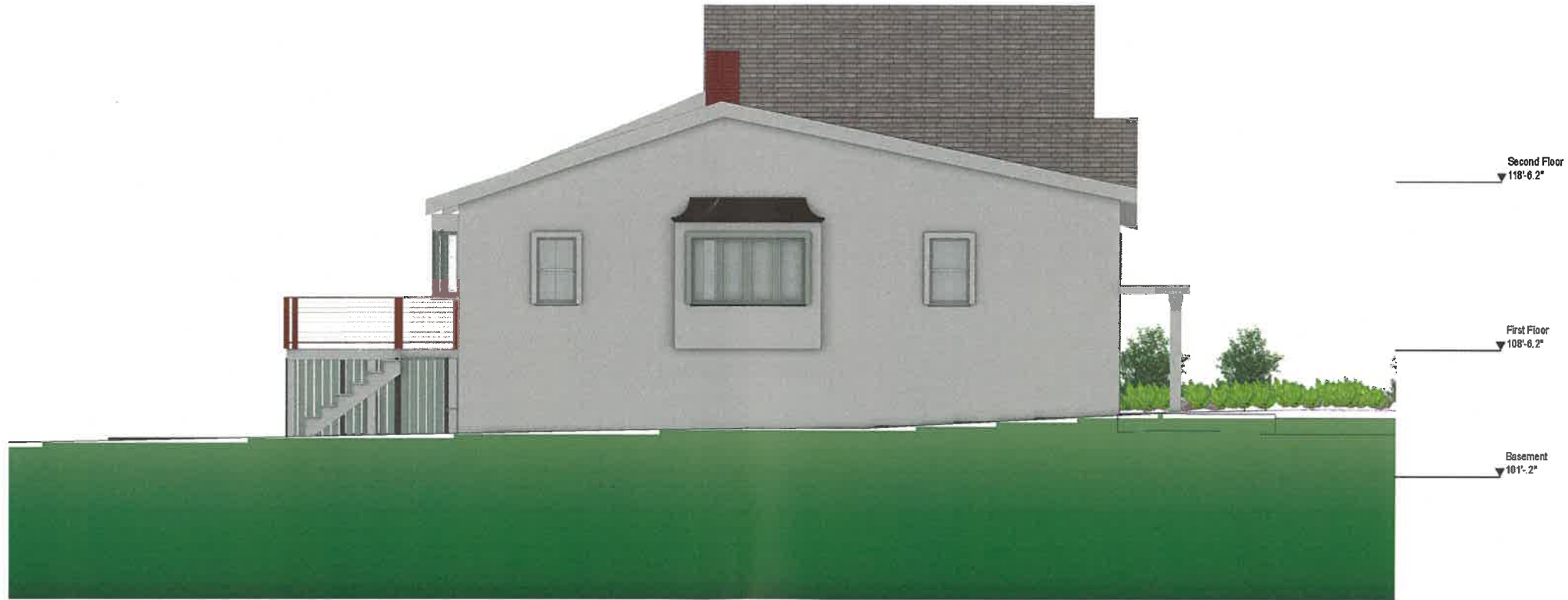
Design Firm
Neh-Koo-Dah
2001 Beacon Street #211
Boston, Massachusetts 02135

Client
© Neh-Koo-Dah 2025-2023

Project Title
Addition and Alterations
to 20 Alder Brook Lane.
Needham

Drawing Title
Elevations

Project Manager	Project ID
Drawn By	Scale
Reviewed By	Drawing No.
Date	
Old File Name	



1 ELEVATION -EAST (LEFT)
SCALE: 1/4" = 1'-0"



Addition and Alterations
to 20 Alder Brook Lane.
Needham



No.	Date	Appr	Revision Notes
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No.	Date	Issue Notes
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Digitally signed
by Bennie Beyl
Date: 2024.03.07
15:04:02 -05'00'

Design Firm: **Neh-Koo-Dah**
2001 Beacon Street #211
Boston, Massachusetts 02135

Created: 01/10/2024

Page 4 Title

Addition and Alterations
to 20 Alder Brook Lane.
Needham

Drawing Title: Elevations

Project Manager	Project ID
Drawn By: KLB	20032
Reviewed By:	Scale
Date: 07 March 2024	Sheet Scale
CD File Name: 20032	



1 ELEVATION - REAR
SCALE: 1/4" = 1'-0"



Addition and Alterations
to 20 Alder Brook Lane.
Needham

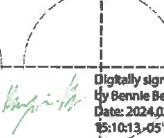
NEH-KOO-DAH

No.	Date	Appr.	Revision Notes
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No.	Date	Issue Notes
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Design Firm:
Neh-Koo-Dah
2001 Beacon Street #211
Boston, Massachusetts 02135

Grand: © Neh-Koo-Dah 2024-2025

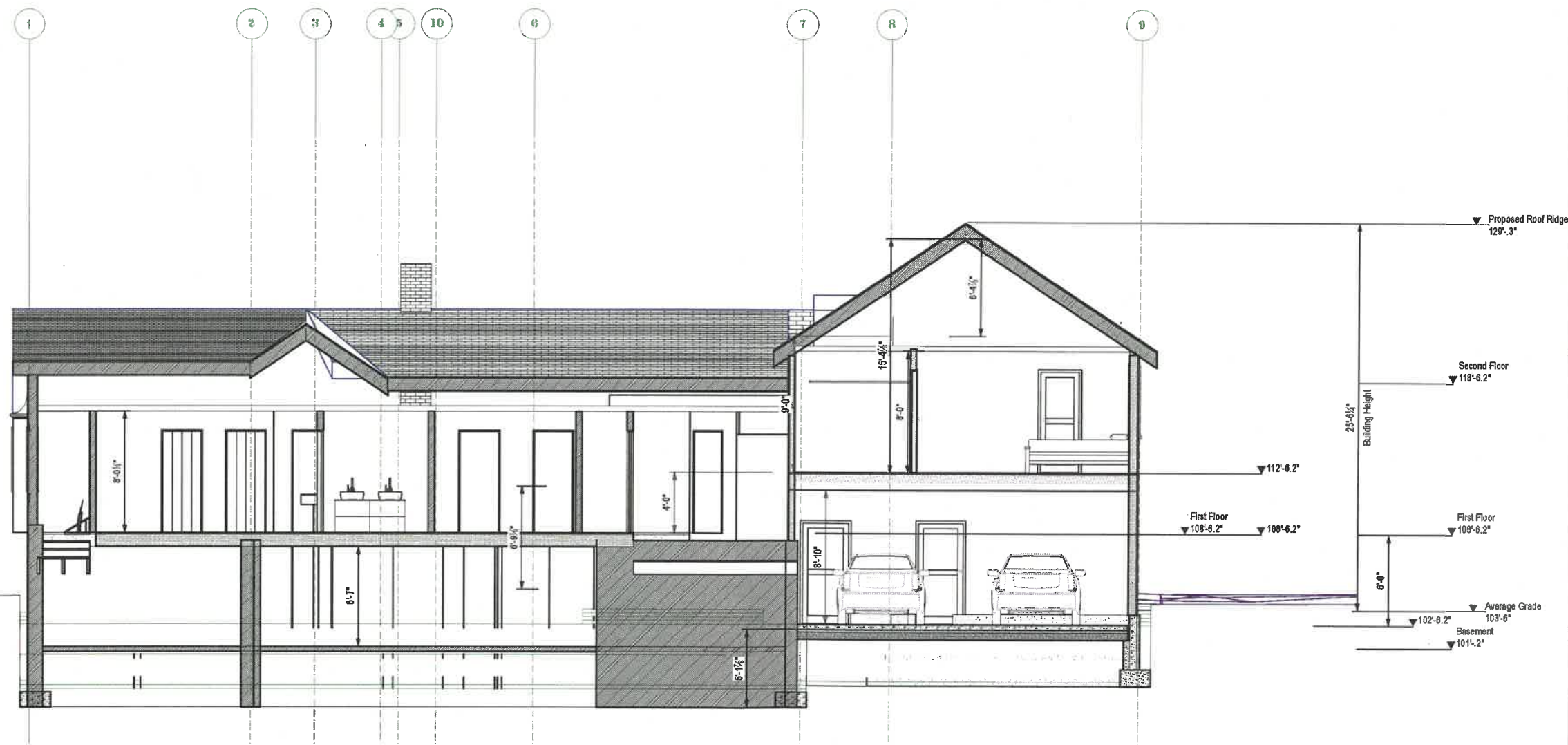
Project Title:
Addition and Alterations
to 20 Alder Brook Lane.
Needham

Section through: Entry, Living Room, Garage & Rooms

Project Manager	Project ID
Drawn By	Scale
Revised By	Drawing No.
Date	
CDR File Name	

A 303

of



2 LONGITUDINAL SECTION : ENTRY ; LIVING ROOM; GARAGE
SCALE: 1/4" = 1'-0"



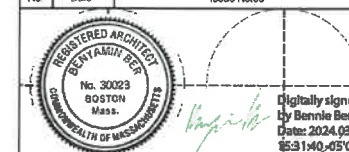
Addition and Alterations
to 20 Alder Brook Lane.
Needham



No.	Date	Appr.	Revision Notes
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No.	Date	Issue Notes
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Design Firm
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2001 Beacon Street #211
Boston, Massachusetts 02135

Client
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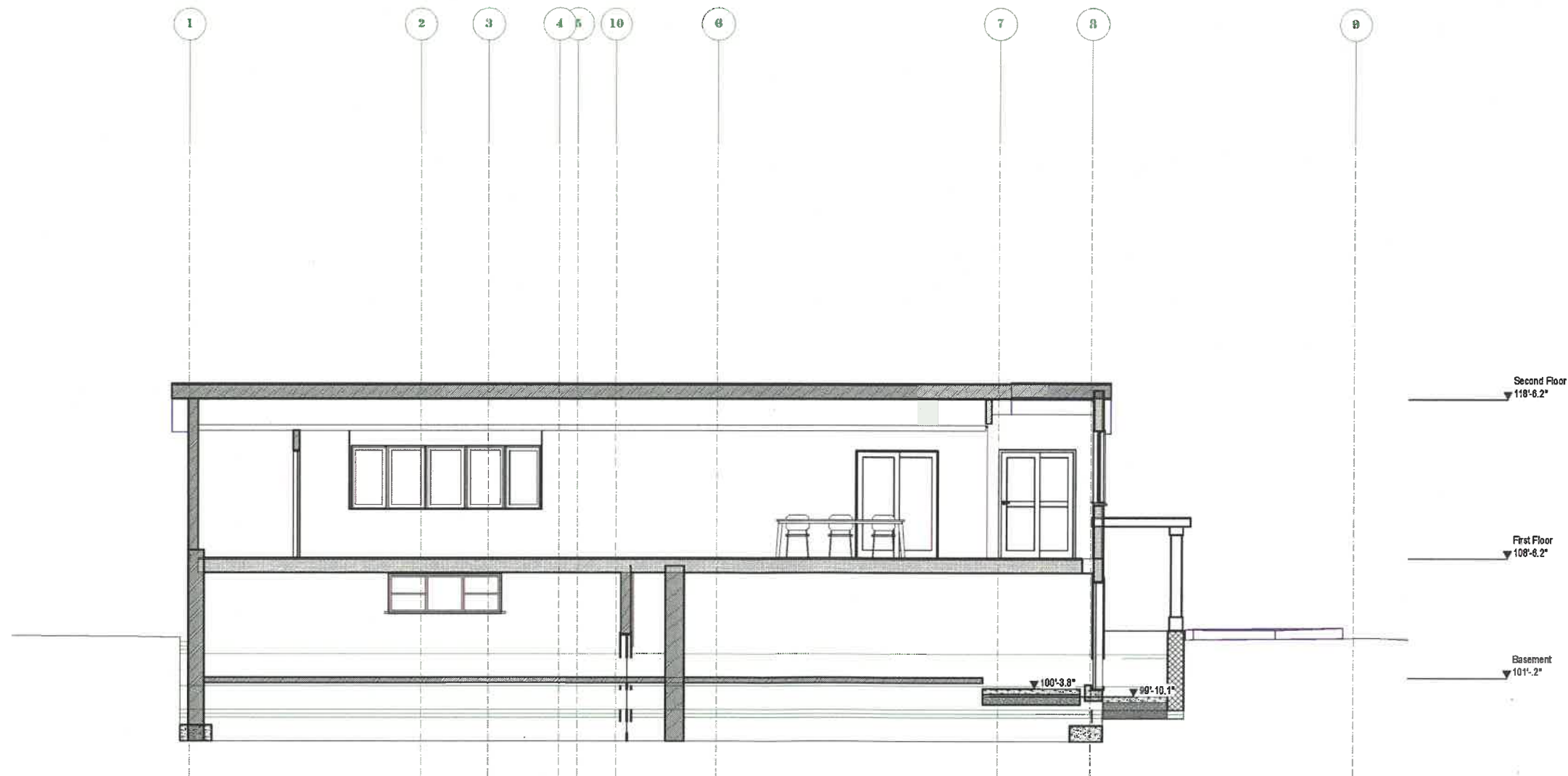
Project Title
Addition and Alterations
to 20 Alder Brook Lane.
Needham

Drawing Title
Building Sections

Project Manager	Project ID
Drawn By	Scale
Reviewed By	Drawing No.
Date	
Client File Name	

A 304

of



2 SECTION THROUGH LIVING ROOM KITCHEN AND PRIMARY BEDROOM
SCALE: 1/4" = 1'-0"



Addition and Alterations
to 20 Alder Brook Lane.
Needham

NEH-KOO-DAH

No.	Date	Appr.	Revision Notes
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No.	Date	Appr.	Revision Notes

No.	Date	Issue Notes
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No.	Date	Issue Notes

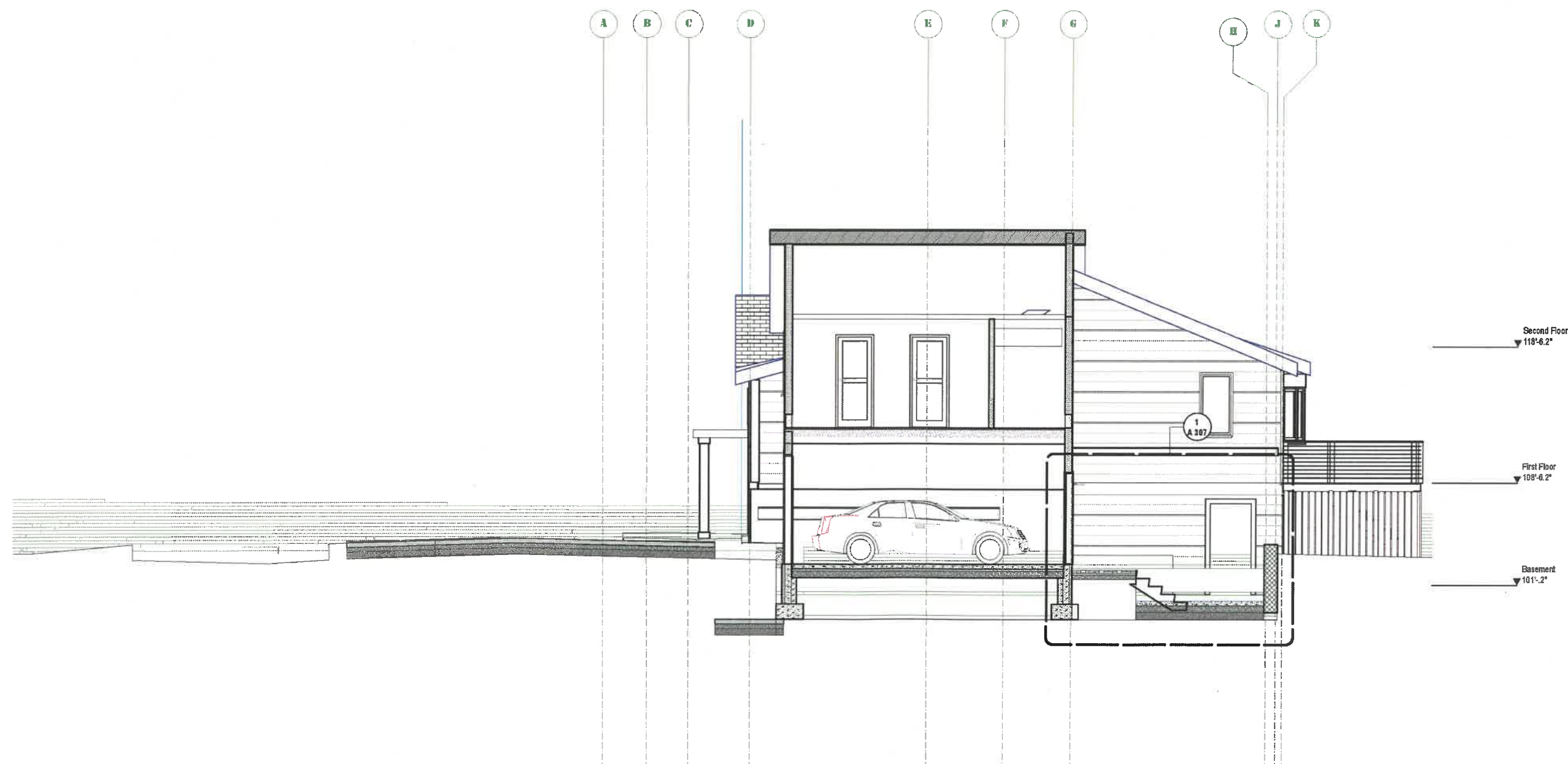
Design Firm
Neh-Koo-Dah
2001 Beacon Street #211
Boston, Massachusetts 02135

Checklist

Project Title
Addition and Alterations
to 20 Alder Brook Lane.
Needham

Drawing Title
Section Through Garage Door

Project Manager	Project ID	20032
Drawn By	Scale	Sheet Scale
Reviewed By	Drawing No.	A 307
Date	07 March 2024	of
Old File Name	20032	



2 SECTION THROUGH GARAGE DOOR
SCALE: 1/4" = 1'-0"

0 5 10 15 20 25 FT

Memorandum

To: Zoning Board of Appeals **Proj.#:** 20032
Town of Needham

From: Bennie Ber **Proj. Name** Addition and Alteration to
20 Alder Brook Lane, Needham

The applicants, Amit Schwartz & Neta Levin Schwartz ("Applicant" or "Petitioner"), seek zoning relief for an addition and alterations to a single-family residential dwelling located at 20 Alder Brook Lane. Specifically, Applicant requests a Variance, pursuant to Section 7.5.3 of the Town of Needham Zoning By-Law, and a Special Permit, pursuant to Section 1.4.6 of the By-Law.

Existing Conditions Descriptions

The lot Area is ±10,280 square feet.

The existing house was constructed ca. 1929, according to Town of Needham Assessors' Database. The lot was created ca. 1952, according to Town of Needham Engineering Division. Both the construction of the structure and the creation of the lot predated the current dimensional regulations of Town of Needham Zoning By-Law.

The structure was relocated ca. 1951-1952.

An addition was constructed ca. 1976.

Currently, the residence is three bedroom and two bathrooms, with a total of 2,025 square feet.

There exists a water easement on the property per Assessors' map; it is documented on Existing Conditions Plan prepared by Peter Nolan & Associates LLC.

The property is located in proximity to vegetated wetlands; the project team is preparing materials for review and approval by the Town of Needham Conservation Commission.

The lot is a corner lot with a highly unusual shape. it has a front yard and two side yards.

There are two paved driveways for open-air parking of vehicles in the front yard; one in front of the entry door, and another on the right side of the house.

The structure is a lawful pre-existing non-conforming use. It is non-conforming in regards to required side yard setbacks on both right and left sides.

March 1, 2024

The existing house has no garage. Members of the household usually park their cars on the right side of the house, near the side door to the kitchen. The existing driveway is paved and positioned in a way that in entering and exiting the driveway, cars must drive over land owned by the abutter at 34 Alder Brook Lane.

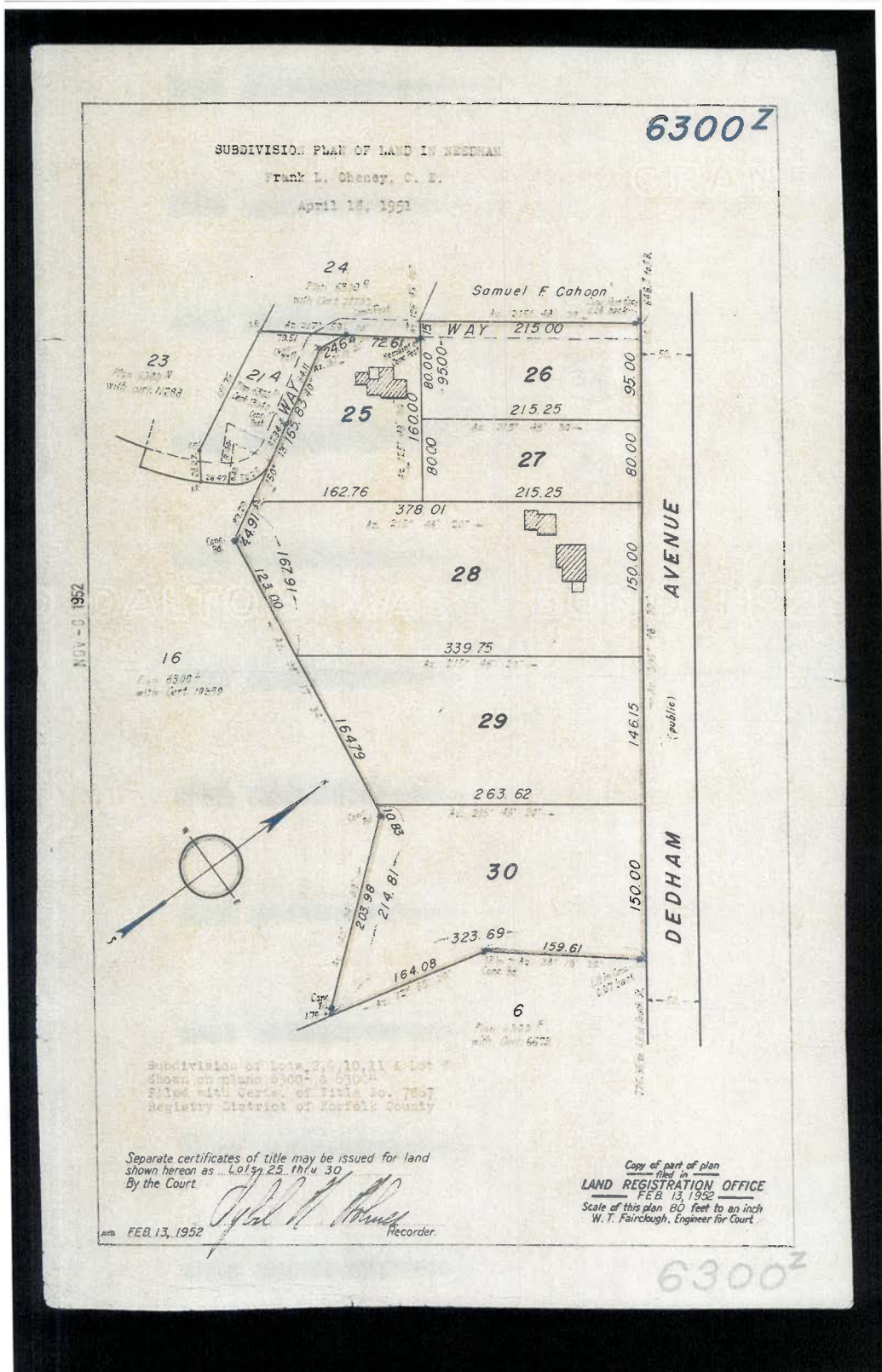
TOWN OF NEEDHAM, MASS.
Building Inspection Department
"Note" (Formerly House #419)
This House being moved from Lot 2

Building Permit No. 8777 No. 407 Dedham Road Dedham
Street Avenue
Avenue

Area 9634 sq. ft. Setback of adjacent buildings None
Owner E.W. Enman Builder _____
Sewer No Water Yes Drain No

(Cellar floor should be high enough to provide ample drainage for sewer and storm-water drain.)
Plot plans to be made at 40' scale. #201
Ho. #399
Lot #11
Lot #10
Lot #2
Ho. #423
Ho. #403
DEDHAM AVE.
I hereby certify that the lot corners, dimensions and offsets to the proposed building are accurately shown on this plan and will conform with the completed construction.
Signed: C. Grazzetta
Civil Engineer
Approved in accordance with Art. 37 of 1940
Date 2/19/51
Town Engineer
Supt. of Public Works
FILE
12-9-2015
Plan 169

Building Permit dated 2/19/51 Indicating Structure being Moved



Subdivision Plan recorded Feb 13, 1952

March 1, 2024

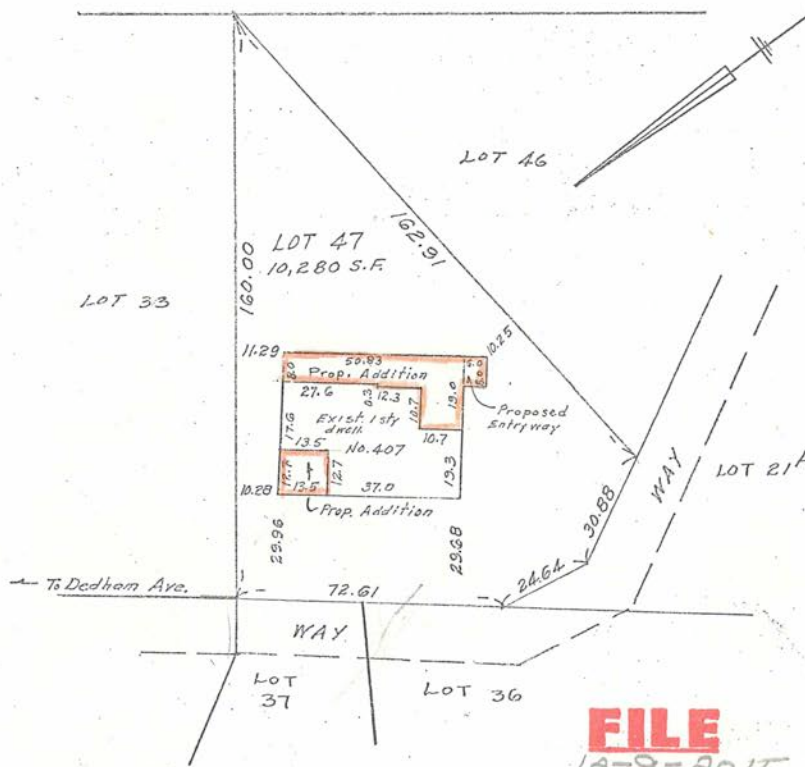
Engineer
TOWN OF NEEDHAM, MASS.
Building Inspection Department

Sewer ☒
Water ☒
Drain ☐

Building Permit No. 4173 At No. 407 DEDHAM AVE.
Lot Area 10,280 S.F. Zone Setback ADDITION
Owner Bernard P. Manzoli Builder _____

PLOT PLAN
40' Scale 6.2

To be drawn according to specifications set forth in Section 12.2, Zoning By-Laws of the Town of Needham.



I hereby certify that the existing and approved street grades, existing sewers, drains, gas lines, water mains and other Public Utilities are accurately shown on this plan and that the dimensions, side line offsets and setback distances (allowing for overhangs), elevation of the top of the foundation and garage floor, and elevations at lot corners on street line for grading along lot line bordering the street are correct as indicated on this plan.

The above is subscribed to and executed by me this 6th day of March 1976.

Approved George N. Guinta Civil Engineer or Surveyor
Approved George N. Guinta Supt. of Public Works Date 4/20/76
Approved George N. Guinta Building Inspector Date 4/20/76

Occupancy permit will not be issued until the conditions as to lines and grades and drainage facilities have been fully complied with.

Building Permit dated March 6, 1976 (Addition); Shape of Lot has Changed (further subdivided)

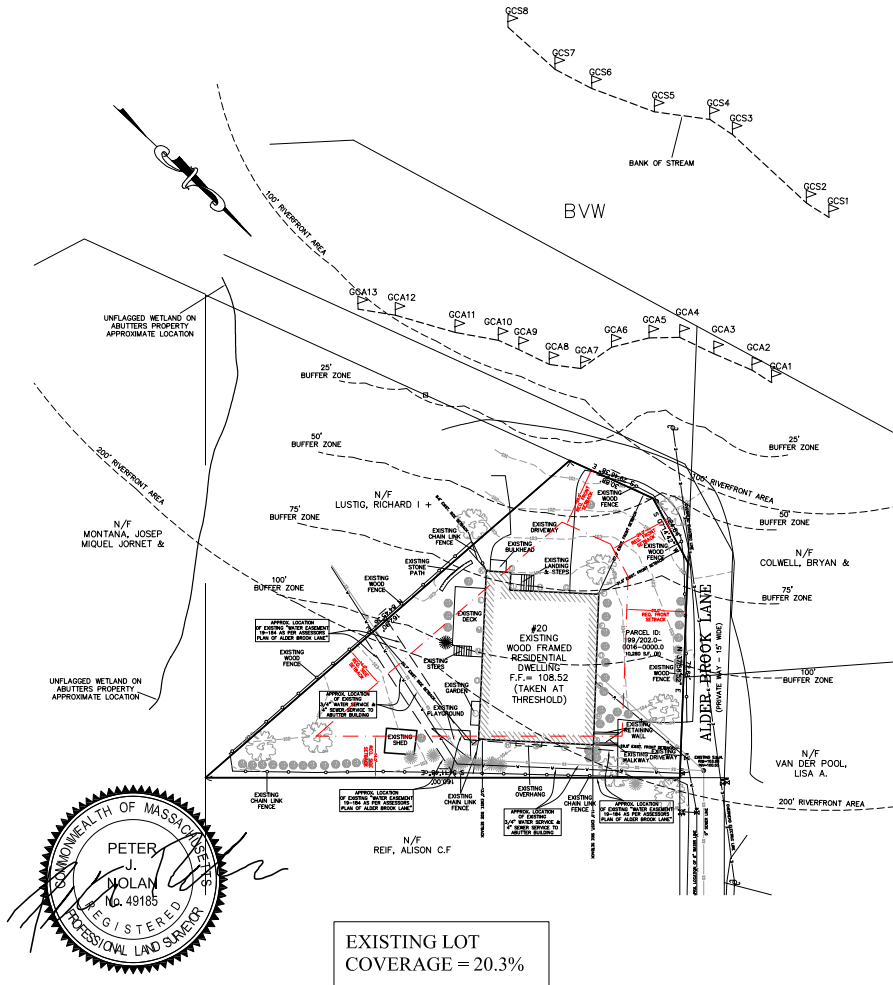
TOWN OF NEEDHAM, MASSACHUSETTS

BUILDING INSPECTION DEPARTMENT

Building Permit No.: _____ Assessor's Map & Parcel Number: 202-0016
 Lot Area: 10,280 ± S.F. Zoning District: SR-B, SINGLE RESIDENCE B
 Owner: AMIT SCHWARTZ & NETA LEVIN SCHWARTZ Address: NO. 20 ALDER BROOK LANE
 Builder: _____

EXISTING CONDITION

SCALE: 1"= 40'



Note: Plot Plans shall be drawn in accordance with Sections 7.2.1 and 7.2.2 of the Zoning By-Laws for the Town of Needham. All plot plans shall show existing structures and public & private utilities, including water mains, sewers, drains, gas lines, etc.; driveways, septic systems, wells, Flood Plain and Wetland Areas, lot dimensions, lot size, dimensions of proposed structures, sideline, front and rear offsets and setback distances (measured to the face of structure) and elevation of top of foundations and garage floor. For new construction, lot coverage, building height calculations, proposed grading and drainage of recharge structures. For pool permits, plot plans shall also show fence surrounding pool with a gate, proposed pool and any accessory structures*, offsets from all structures and property lines, existing elevations at nearest house corners and pool corners, nearest storm drain catch basin (if any) and sewage disposal system location in areas with no public sewer.
 *Accessory structures may require a separate building permit - See Building Code.

I hereby certify that the information provided on this plan is accurately shown and correct as indicated.

The above is subscribed to and executed by me this: 26TH day of: JUNE 2023
 Name: PETER J. NOLAN Registered Land Surveyer #: 49185
 Address: 80 JEWETT STREET (SUITE 1) City: NEWTON State: MA Zip: _____ Tel. No.: (857) 891 7478
 Approved: _____ Director of Public Works: _____ Date _____
 Approved: _____ Building Inspector: _____ Date _____

Existing Conditions Plan

March 1, 2024



View of 20 Alder Brook Lane from corner of lot, September 2020



View of 20 Alder Brook Lane, showing driveway proposed to be removed

Proposed Work

Applicant proposes to construct an addition consisting an attached two-car garage at grade and a primary bedroom suite directly above it, half a story above the existing first floor.

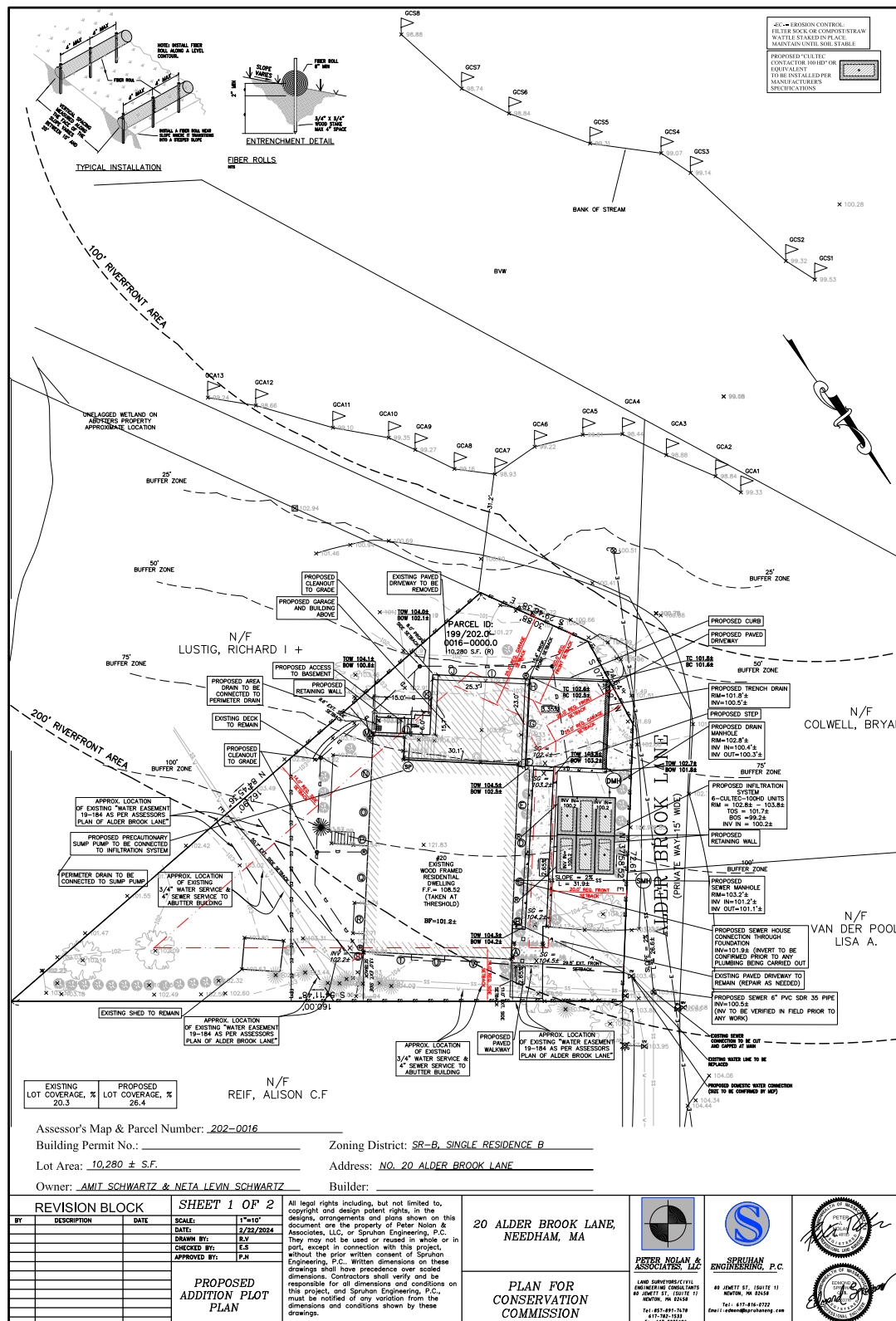
The proposed project is subject to review and approval by the Town of Needham Conservation Commission, due to its proximity to vegetated wetlands and riverfront. It has been designed with sensitivity to resource areas on site.



Existing Conditions

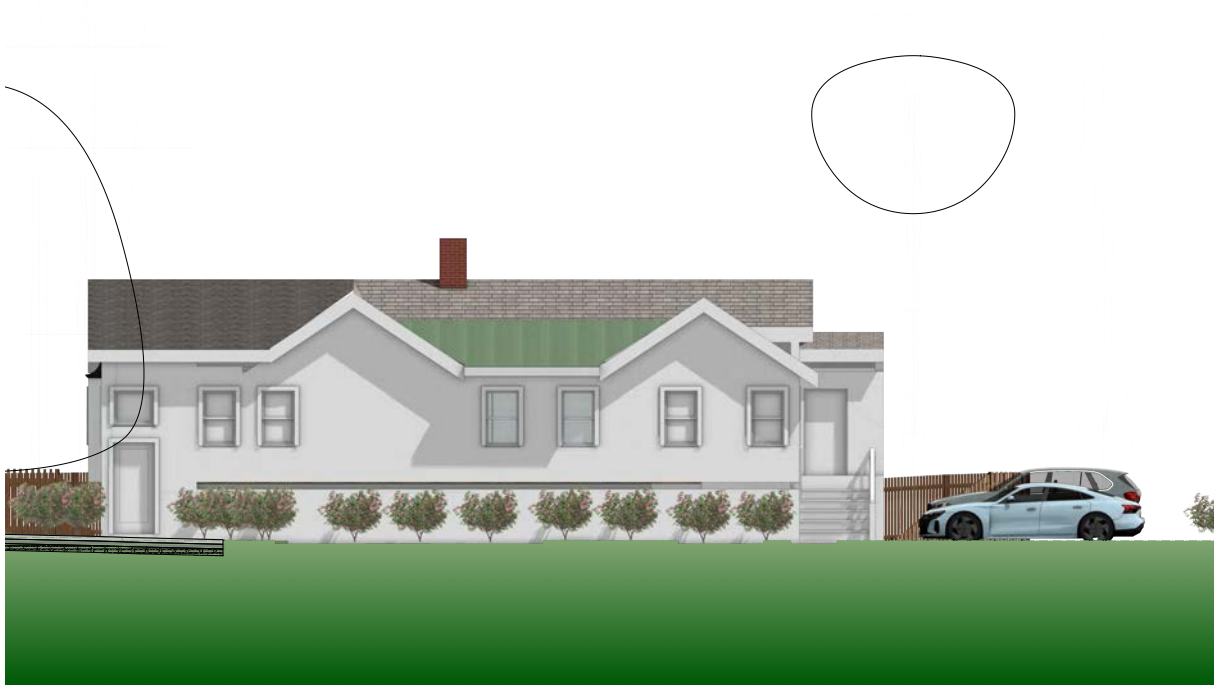


Proposed Addition



Proposed Site Plan

March 1, 2024

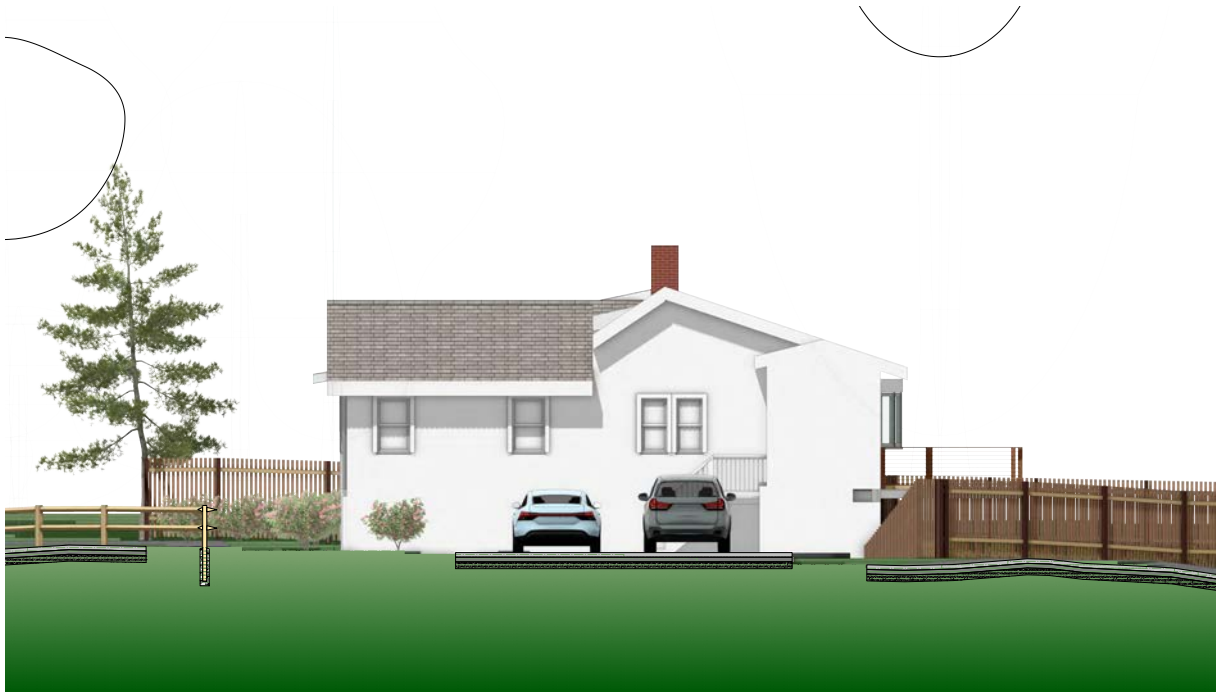


Front Elevation - Existing Conditions



Front Elevation - Proposed Addition

March 1, 2024



Right Elevation - Existing Conditions

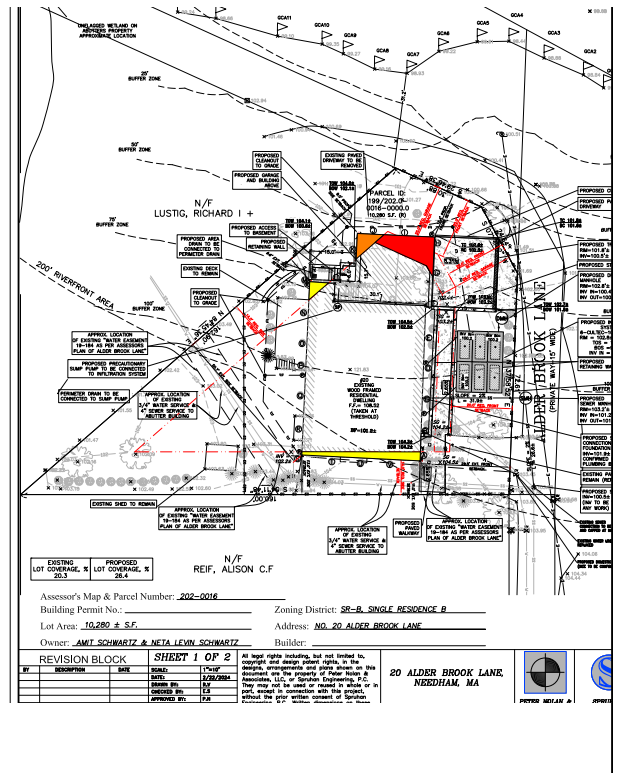
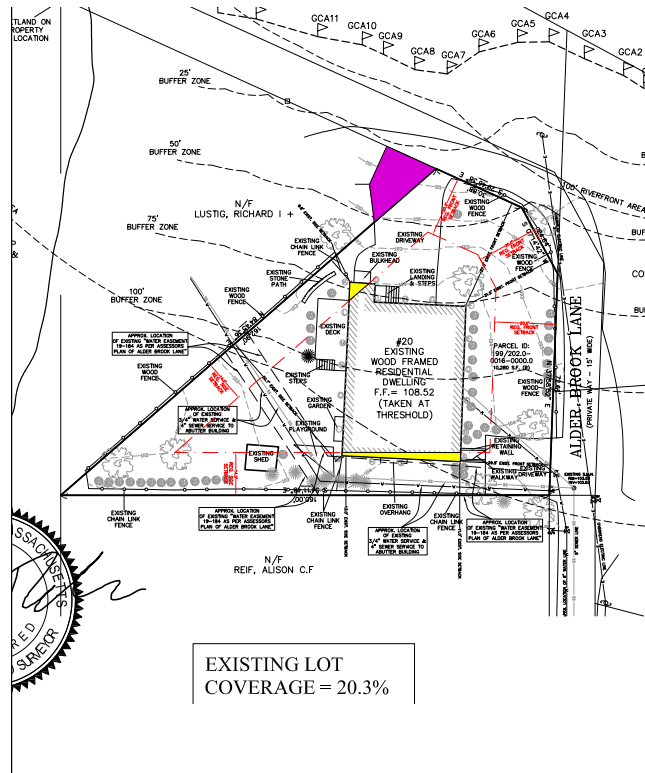


Right Elevation - Proposed Addition

Zoning Relief Sought

Special Permit for extension of pre-existing non-conforming side yard setback per Section 1.4.6 of the Town of Needham Zoning By-Law:
Existing Side Yard setback is 9.6'; proposed 8.0'.

Variance per Section 7.5.3 of the Town of Needham Zoning By-Law for Front Yard setback for attached garage: Required 25'; Proposed 15.4'.



*Pre-existing non-conforming side yards (Yellow);
Driveway access encroachment shown in
Magenta*

*Proposed extension of non-conforming side yard
(Orange);
Proposed non-conforming front yard (Red)*

Argument for Special Permit

20 Alder Brook Lane is a lawful, pre-existing use. The proposed work would change and extend the non-conforming use, and it would structurally alter and enlarge it.

The proposed work:

1. Is designed in a manner that is compatible with the existing natural features of the site and is compatible with the characteristics of the surrounding area.
2. Would not be substantially more detrimental than the existing non-conforming use to the neighborhood.
3. will not result in conditions that unnecessarily add to traffic congestion or the potential for traffic accidents on the site or in the surrounding area.
4. The proposed work would not adversely impact the surrounding area resulting from:
 - a. excessive noise, level of illumination, glare, dust, smoke, or vibration which are higher than levels now experienced from uses permitted in the surrounding area,
 - b. emission or discharge of noxious or hazardous materials or substances, or
 - c. pollution of waterways or groundwater. The proposed work would remove existing driveway paving in portions of the site nearest to identified wetland and to (perennial) Alder Brook, and replace it with native vegetation.

Argument for Variance

The current use of the property is permitted in the SR-B zoning district, and no change is proposed.

The shape of the lot at 20 Alder Brook Lane is highly unusual and quite uncommon compared to the majority of properties located within the SR-B zoning district. Additionally, its proximity to wetlands and riverfront, plus an existing water easement on the property result in constraints on where on the lot an addition may be constructed. These constraints represent a hardship to the Petitioner.

The requested relief would enable Petitioner to correct the existing situation where in entering and exiting their parking spaces they technically encroach on an abutter's land. Denial of the requested relief would cause Petitioner hardship in continuation of this encroachment, with all the future uncertainty that it entails.

The desired relief for the proposed work would not nullify or substantially derogate from the intent of the Town of Needham Zoning By-Law, and it may be granted without substantial detriment to the public good.



**Town of Needham
Building Department
500 Dedham Avenue
Needham, MA 02492
Tel: 781-455-7550, Ext. 537**

Town of Needham Zoning Board of Appeals
500 Dedham Avenue
Needham, MA 02492

March 13, 2024

Re: Application Review for the March Public Hearing – 20 Alder Brook Lane

Dear Board Members,

The owners, Amit Swartz and Neta Levin Swartz, are proposing to extend and add to an existing single-family. The proposal includes a two-car garage on the first floor and a 507 square foot bedroom/bathroom suite on the second floor at their property at 20 Alder Brook Lane.

The property lies in the SRB zoning district. The existing home is considered pre-existing, non-conforming with respect to side setbacks with the left side at 11 feet and a right side at 9.6 feet when 14 feet is required. All other existing dimensional and density requirements are compliant.

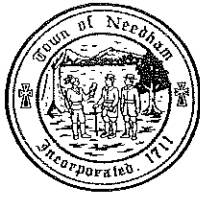
The proposal seeks to build an addition to the existing home at a distance of 8 feet on the right-side setback. Under 1.4.6 Alteration of the By-Law, a lawful pre-existing non-conforming building may be structurally altered or enlarged pursuant to a Special Permit by the Board of Appeals.

In addition, the proposal seeks relief of the front setback of 17.5 feet where the By-Law requires garages be setback at 25 feet. Currently the front setback is compliant at 29.5 feet. This introduction of a non-conforming front setback requires a Variance. The owners have the right to seek relief in the form of a Variance from the Zoning Board of Appeals.

This office has no objections to the proposal.

Sincerely,


Joseph Prondak, Building Commissioner



**TOWN OF NEEDHAM, MASSACHUSETTS
PUBLIC WORKS DEPARTMENT
500 Dedham Avenue, Needham, MA 02492
Telephone (781) 455-7550 FAX (781) 449-9023**

March 12, 2024

Needham Zoning Board of Appeals
Needham Public Safety Administration Building
Needham, MA 02492

RE: Case Review-Special Permit
20 Alder Brook Lane

Dear Members of the Board,

The Department of Public Works has completed its review of the above referenced Special Permit for the proposed garage addition with permission sought for changing and extending existing nonconforming side lot setbacks. Also, there is a variance sought for front yard setback of 15.4 feet where 25 feet is required for attached garage addition.

The documents submitted for review are as follows:

- Application for Special Permit dated 03/06/24.
- Cover letter Memorandum by Bennie Ber dated 3/1/24.
- Building Permit plan dated 2/19/1951, Indicating structure being moved.
- Subdivision Plan recorded 2/13/1952.
- Proposed building permit plot plan dated 3/6/1976.
- Certified Existing Conditions plan dated 6/26/23 by Peter J Nolan
- Pictures of Existing Home dated September 2020
- Existing and Proposed Renderings of project
- Proposed Plot Plan by Peter J Nolan dated 2/22/24.
- Architectural Elevation Views of Existing and Proposed Addition

Our comments and recommendations are as follows:

- We have no comment or objection to the relief.

If you have any questions regarding the above, please contact our office at 781-455-7538.

Truly yours,

Thomas A Ryder
Town Engineer

Daphne Collins

From: Tom Conroy
Sent: Tuesday, March 12, 2024 12:43 PM
To: Daphne Collins
Cc: Donald Anastasi; Jay Steeves; Ronnie Gavel
Subject: RE: 20 Alder Brook Lane - ZBA Review Due March 12, 2024

Hi Daphne,
No issue with Fire Dept.
Thank you.



Thomas M. Conroy

Fire Chief - Needham Fire Department

tconroy@needhamma.gov

Ph (781) 455-7580

From: Daphne Collins <dcollins@needhamma.gov>
Sent: Tuesday, March 12, 2024 9:31 AM
To: Donald Anastasi <DAnastasi@needhamma.gov>; Jay Steeves <steevesj@needhamma.gov>; Joseph Prondak <jprondak@needhamma.gov>; Justin Savignano <jsavignano@needhamma.gov>; Ronnie Gavel <rgavel@needhamma.gov>; Thomas Ryder <tryder@needhamma.gov>; Tom Conroy <TConroy@needhamma.gov>
Subject: FW: 20 Alder Brook Lane - ZBA Review Due March 12, 2024

Good Morning-
Friendly reminder ZBA reviews are due today **March 12, 2024.**
Thanks,
Daphne

Daphne M. Collins

Zoning Specialist

Phone 781-455-7550, x 261

Web <https://www.needhamma.gov/>

<https://needhamma.gov/1101/Board-of-Appeals>

www.needhamma.gov/NeedhamYouTube

Town of Needham
Planning and Community Development
500 Dedham Avenue
Needham, MA 02492

Regular Office Hours: Mon-Wed 8:00am – 5:00pm

Remote Hours: Thurs 8:00am-5:00pm

From: Daphne Collins
Sent: Monday, March 4, 2024 11:56 AM
To: Deb Anderson <andersond@needhamma.gov>; Clayton Hutchinson <chutchinson@needhamma.gov>
Subject: FW: 20 Alder Brook Lane - ZBA Review Due March 12, 2024

Daphne Collins

From: Tara Gurge
Sent: Monday, March 4, 2024 4:11 PM
To: Daphne Collins
Cc: Sainath Palani
Subject: RE: 20 Alder Brook Lane - ZBA Review Due March 12, 2024

Daphne –

The Public Health Division conducted the Zoning Board review for the proposed addition and alteration of the existing property located at **#20 Alder Brook Lane**. See comments noted below:

- Prior to these proposed extensive renovations/demolition, the owner must apply for this Demolition review online, via the Towns ViewPoint Cloud online permitting system through Public Health Division. See direct link to this permit review application- <https://needhamma.viewpointcloud.com/categories/1073/record-types/1006508>. This form will need to be completed along with the uploading of the required supplemental report documents for our review and approval (as noted on the form.) **PLEASE NOTE:** Pest control reports, along with the asbestos sampling reports, etc., must be uploaded to our online system for review and approval, prior to the issuance of a Demolition permit by the Building Department.
- On-going pest control must be conducted during demolition AND on-going pest control must be conducted throughout construction.

Please let us know if you have any follow-up questions or if you need any additional information from us on those requirements.

Thanks,



TARA E. GURGE, R.S., C.E.H.T., M.S. (she/her/hers)
ASSISTANT PUBLIC HEALTH DIRECTOR
Needham Public Health Division
Health and Human Services Department
178 Rosemary Street
Needham, MA 02494
Ph- (781) 455-7940; Ext. 211/Fax- (781) 455-7922
Mobile- (781) 883-0127
Email - tgurge@needhamma.gov
Web- www.needhamma.gov/health



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Daphne Collins

From: John Schlittler
Sent: Monday, March 4, 2024 2:58 PM
To: Daphne Collins
Subject: RE: 20 Alder Brook Lane - ZBA Review Due March 12, 2024

Police has no issue

From: Daphne Collins <dcollins@needhamma.gov>
Sent: Monday, March 4, 2024 12:07 PM
To: Donald Anastasi <DAnastasi@needhamma.gov>; Jay Steeves <steevesj@needhamma.gov>; John Schlittler <JSchlittler@needhamma.gov>; Joseph Prondak <jprondak@needhamma.gov>; Justin Savignano <jsavignano@needhamma.gov>; Ronnie Gavel <rgavel@needhamma.gov>; Tara Gurge <TGurge@needhamma.gov>; Thomas Ryder <tryder@needhamma.gov>; Tom Conroy <TConroy@needhamma.gov>
Subject: FW: 20 Alder Brook Lane - ZBA Review Due March 12, 2024

Hi All-

The plans for 20 Alder Brook Lane were too large to attached and can be accessed through the Town's Sharefile

Daphne

Daphne M. Collins

Zoning Specialist

Phone 781-455-7550, x 261

Web <https://www.needhamma.gov/>

<https://needhamma.gov/1101/Board-of-Appeals>

www.needhamma.gov/NeedhamYouTube

Town of Needham
Planning and Community Development
500 Dedham Avenue
Needham, MA 02492

Regular Office Hours: Mon-Wed 8:00am – 5:00pm

Remote Hours: Thurs 8:00am-5:00pm

From: Daphne Collins
Sent: Monday, March 4, 2024 9:42 AM
To: Donald Anastasi <DAnastasi@needhamma.gov>; Jay Steeves <steevesj@needhamma.gov>; John Schlittler <JSchlittler@needhamma.gov>; Joseph Prondak <jprondak@needhamma.gov>; Justin Savignano <jsavignano@needhamma.gov>; Ronnie Gavel <rgavel@needhamma.gov>; Tara Gurge <TGurge@needhamma.gov>; Thomas Ryder <tryder@needhamma.gov>; Tom Conroy <TConroy@needhamma.gov>
Subject: 20 Alder Brook Lane - ZBA Review Due March 12, 2024

Good Morning All-

20 Alder Brook Lane – Amit Swartz and Neta Levin Schwartz, owners, are proposing to extend and add to a single-family pre-existing non-conforming structure and are seeking a Special Permit under 1.4.6 to allow a right side setback from 9.6 feet to 8 feet; and a Variance to allow relief of a front setback of 15.4' where 25 feet are allowed. The project is restricted by the property's shape and resource area.

Daphne Collins

From: Josep Miquel Jornet Montaña <jmjornet@gmail.com>
Sent: Monday, March 11, 2024 4:32 PM
To: Daphne Collins
Subject: Re: 20 Alder Brook Lane
Attachments: 20 Alder Brook Ln - Application Rev.pdf

Good afternoon, Daphne,

Thank you very much!

I have been able to check the materials, and everything looks great. There is nothing to comment on from "the back neighbors."

Best regards,

Josep

> On Mar 11, 2024, at 3:22 PM, Daphne Collins <dcollins@needhamma.gov> wrote:

>

> Good Afternoon Josep-

>

> Files for 20 Alder Brook Lane are too large to email. They can be accessed in the Town Sharefile under ZBA as follows:

>

> <http://needhamma.sharefile.com>

> Username: guest@needhamma.gov

> Password: Guest1471

>

> They have revised the application attached above.

>

> If you have any questions, feel free to contact me.

>

> Daphne

>

> Daphne M. Collins

> Zoning Specialist

>

> Phone 781-455-7550, x 261

> Web

> https://linkprotect.cudasvc.com/url?a=https%3a%2f%2fwww.needhamma.gov%2f&c=E,1,EP7HRcVR8SM6_0Q_moqD3HQbX-tbbxiUCYQaxN_4uENdevOIMwu9c2QOr2BmnbrpvFpw4htxhsBisSToIRTGIC1VYBOLU-nk_FqjZe6vwz8qpl1yaA,,&typo=1

> https://linkprotect.cudasvc.com/url?a=https%3a%2f%2fneedhamma.gov%2f1101%2fBoard-of-Appeals&c=E,1,B0DQAOU_GohVABfSMNwv7mUII6cNifkBxMu_S8iYDFbHM5UJJv6LLAIOqng-xMX6yFuI8_tEtrO_v5mvJOi5FYOAHWhRkizJm_KAslxIht6-OA,,&typo=1

>

> https://linkprotect.cudasvc.com/url?a=https%3a%2f%2f%2f%2fwww.needhamma.gov%2fNeedhamYouTube&c=E,1,pISruUrZdSf8y1MRZq47i2YAVxB37WvaPx2Hd_KLqNvyMmpb4BaictjI16PXPuXVD3jFFoGv6yr5Lp6NtZwlHt7352UDdsBpQ0ziAEN4eo,&typo=1